



Regina Planning Commission

**Tuesday, October 4, 2022
4:00 PM**

Henry Baker Hall, Main Floor, City Hall



OFFICE OF THE CITY CLERK

**Public Agenda
Regina Planning Commission
Tuesday, October 4, 2022**

Approval of Public Agenda**Adoption of Minutes**

Minutes of the meeting of August 9, 2022.

Administration Reports

RPC22-31 Waiver of Official Community Plan Phasing Policy Application - Part of 4801
E Victoria Avenue - PL202100237

Recommendation

Regina Planning Commission recommends that City Council:

1. Waive the applicability of the residential phasing requirements of *Design Regina: The Official Community Plan Bylaw 2013-48* (OCP), Policy 14.20, as it relates to a part of SE 23-17-19-2 Ext 4, the Subject Property, in accordance with Policy 14.20B and subject to the following conditions:
 - a. The exemption to the residential phasing requirements shall be limited to the Subject Property, as shown in Appendix A-1.
 - b. Development approval shall be contingent on the landowner or applicant demonstrating, to the satisfaction of the Development Officer, compliance with the urban design aspects of Policy 14.20B of the OCP, as determined through applicable planning process and consultation with the City Administration.
2. Approve these recommendations at its meeting on October 12, 2022.

RPC22-32 Heritage Designation

Recommendation

Regina Planning Commission recommends that City Council:

1. Approve the application for designation of each of the following addresses as a Municipal Heritage Property:



OFFICE OF THE CITY CLERK

Common Name	Address	Parcel
1. Watchler Residence	77 Leopold Crescent	Lot: ½, Block: 1, Plan: DV 678
2. Mounteer Residence	276 Angus Crescent	Lot: 27, Block: J, Plan: DV 678; Lot: 50, Block: J, Plan: 101172002
3. Balfour Residence	1300 College Avenue	Lot: 12, Block: 468, Plan: OLD33
4. Dixon Residence	1410 College Avenue	Lot: 11, Block: 467, Plan: OLD33
5. Omand Residence	2234 Angus Street	Lot: 16, Block: 435, Plan: OLD 33
6. Prince Charles Apartment	2121 15 th Avenue	Lot: 18/19, Block: 460, Plan: OLD 33; Lot: 28, Block: 460, Plan: 101187008
7. Mackenzie Residence	2544 Albert Street	Lot: 36, Block: 505B, Plan: CM3942; Lot: 44, Block: 505B, Plan: 101222086
8. Neal Institute	3124 Victoria Avenue	Lot: 46, Block: 336, Plan: 99RA05074
9. Portnall Residence	109 Angus Crescent	Plan: DV678 Block: 3 Lot: 3; Plan: 101218047 Block: 3 Lot: 12

2. Instruct the City Solicitor to issue and serve notice of Council's intention to consider a bylaw to designate each of the properties at the following addresses as Municipal Heritage Properties in accordance with *The Heritage Property Act*: 77 Leopold Crescent, 276 Angus Crescent, 1300 College Avenue, 1410 College Avenue, 2234 Angus Street, 2121 15th Avenue, 2544 Albert Street, 3124 Victoria Avenue, and 109 Angus Crescent.
3. Instruct the City Solicitor to prepare the necessary Municipal Heritage Property bylaws to be considered by Council at its first meeting following the statutory notice period to:
 - a. Designate each of the subject properties as a Municipal Heritage Property;
 - b. Identify the reasons for the designation and character-defining elements as stated in Appendix A, B, C, D, E, F, G, H, and I, respectively, and attached to this report, for 77 Leopold Crescent, 276 Angus Crescent, 1300 College Avenue, 1410 College Avenue, 2234 Angus Street, 2121 15th Avenue, 2544 Albert Street, 3124 Victoria Avenue, and 109 Angus Crescent respectively;
 - c. Provide that any subsequent alterations to the property be consistent with the "Standards and Guidelines for the Conservation of Historic Places in Canada";
 - d. Upon adoption of a bylaw designating each of the subject properties as



OFFICE OF THE CITY CLERK

Municipal Heritage properties, instruct the Office of the City Clerk to remove the properties from the Heritage Inventory and add them to the Heritage Registry.

4. Approve these recommendations at its meeting on October 12, 2022.

RPC22-33 Hillsdale Neighbourhood Land-Use Plan

Recommendation

Regina Planning Commission recommends that City Council:

1. Approve an amendment to Part B of *Design Regina: The Official Community Plan Bylaw No. 2013-48* by adding the Hillsdale Neighbourhood Land-Use Plan as Part B.20, with such amendments to come into force on the date of Ministerial Approval.
2. Instruct the City Solicitor to prepare the necessary bylaw to give effect to the recommendations to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
3. Approve these recommendations at its meeting on October 12, 2022.

RPC22-34 Proposed Concept Plan & Zoning Bylaw Amendment - 1500 N Winnipeg Street- PL202200043 & PL202200041

Recommendation

Regina Planning Commission recommends that City Council:

1. Approve the application to amend the Somerset Concept Plan by redesignating the low and medium density residential land uses within the area identified as the subject property (being part of SW 07-18-19-2 Ext 105 and SE 07-18-19-2 Ext 3 to the north of the plan area) to Rail and Infrastructure Corridor/Buffer land use and adopt the amended Concept Plan as set out in Appendix A-3.
2. Approve the application to rezone portion of land from the Somerset neighbourhood, being part of SW 07-18-19-2 Ext 105 and SE 07-18-19-2 Ext 3, located within the Somerset Concept Plan area from UH - Urban Holding Zone to RW - Railway Zone.
3. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to the meeting of City



OFFICE OF THE CITY CLERK

Council following approval of these recommendations and the required public notice.

4. Approve these recommendations at its meeting on October 12, 2022, following the required public notice.

Adjournment

AT REGINA, SASKATCHEWAN, TUESDAY, AUGUST 9, 2022

AT A MEETING OF REGINA PLANNING COMMISSION
HELD IN PUBLIC SESSION

AT 4:00 PM

These are considered a draft rendering of the official minutes. Official minutes can be obtained through the Office of the City Clerk once approved.

Present: Councillor John Findura
Councillor Terina Shaw
Councillor Shanon Zachidniak
John Aston
Frank Bojkovsky
Biplob Das
Cheri Moreau (Videoconference)
Tak Pham
Maynard Sonntag
Kathleen Wilson
Celeste York

Also in Attendance: Council Officer, Elaine Gohlke
Legal Counsel, Cheryl Willoughby
Acting Executive Director, City Planning & Community Development,
Autumn Dawson
Manager, Current Planning, Ben Mario
Manager, City Revitalization, Emmaline Hill
City Planner II, Amarpreet Guliani

APPROVAL OF PUBLIC AGENDA

Councillor Terina Shaw moved, AND IT WAS RESOLVED, that the agenda for this meeting be approved, as submitted, and that the items and delegations be heard in the order they are called by the Chairperson.

ADOPTION OF MINUTES

Celeste York moved, AND IT WAS RESOLVED, that the minutes for the meeting held on July 5, 2022 be adopted, as circulated.

ADMINISTRATION REPORTS AND COMMUNICATION

RPC22-27 Official Community Plan Amendment & Zoning Bylaw Amendment
- 1555 14th Avenue - PL202200037

Recommendation

Regina Planning Commission recommends that City Council:

1. Approve amendments to *Design Regina: The Official Community Plan Bylaw No. 2013-48* (OCP) to provide an exemption to Policy 9 in the OCP Part B.8 Core Area Neighbourhood Plan to allow for mixed-use development at 1555 14th Avenue.
2. Approve the application to rezone 1555 14th Avenue, being Lots 1 & 2, Parcel 423, Plan No. OLD33, and Lot 21, Parcel 423, Plan No. 101193410 Ext 21 in the Old33 Subdivision, from RL – Residential Low-Rise Zone to ML – Mixed Low-Rise Zone.
3. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
4. Approve these recommendations at its meeting on August 17, 2022.

(Celeste York declared a conflict of interest, citing her daughter's partnership in 1080 Architecture Planning + Interiors, abstained from discussion and voting, and temporarily left the meeting.)

Shawn Farrow, representing the owner of the property, Regina, addressed the Commission.

Maynard Sonntag moved, AND IT WAS RESOLVED, that the recommendation contained in the report be concurred in.

RESULT:	CARRIED [Unanimous]
MOVER:	Commission member Bojkovsky
IN FAVOUR:	Councillors: Shaw, Zachidniak and Findura Commission members: Aston, Bojkovsky, Das, Moreau, Pham, Sonntag, Wilson
ABSENT:	York

(Celeste York returned to the meeting.)

RPC22-29 Neighbourhood Character - Lakeview and Cathedral

Recommendation

Regina Planning Commission recommends that City Council:

1. Direct Administration to return with a report before the end of 2022 recommending a bylaw with procedures to implement a nomination-based heritage conservation district application process.
2. Approve these recommendations at its meeting on August 17, 2022

Alan Wallace, Wallace Insights, made a PowerPoint presentation to the Commission.

The following addressed the Commission:

- Susan Hollinger, representing Heritage Regina; and
- Trish Elliott, representing Cathedral Area Community Association.

Frank Bojkovsky moved, AND IT WAS RESOLVED, that the recommendation contained in the report be concurred in.

RESULT:	CARRIED [Unanimous]
MOVER:	Commission member Bojkovsky
IN FAVOUR:	Councillors: Shaw, Zachidniak and Findura Commission members: Aston, Bojkovsky, Das, Moreau, Pham, Sonntag, Wilson, York

RPC22-30 Dr. Patricia Elliott, Cathedral Area Community Association: Neighbourhood Character - Lakeview and Cathedral

Recommendation

That this communication be received and filed.

Tak Pham moved, AND IT WAS RESOLVED, that this communication be received and filed.

RESULT:	CARRIED [Unanimous]
MOVER:	Commission member Pham
IN FAVOUR:	Councillors: Shaw, Zachidniak and Findura Commission members: Aston, Bojkovsky, Das, Moreau, Pham, Sonntag, Wilson, York

RECESS

Pursuant to the provisions of Section 34 (13.1) of City Council's Procedure Bylaw No. 9004, Councillor Findura called for a 5 minute recess.

Regina Planning Commission recessed at 5:36 p.m.

(Cheri Moreau left the meeting.)

Regina Planning Commission reconvened at 5:43 p.m.

RPC22-28 Zoning Bylaw Amendments - Al Ritchie Neighbourhood

Recommendation

Regina Planning Commission recommends that City Council:

1. Approve amendments to *The Regina Zoning Bylaw, 2019* by:
 - a. Adding a new subsection (3) to section 1F.1.2 of Chapter 1 – Part 1F as follows:

Notwithstanding subsection (1), authority to vary regulations, requirements and standards pursuant to this section shall not apply to any proposed development located in the Assiniboia Place and Arnhem Place Sub-Area, as identified in the Al Ritchie Neighbourhood Land-Use Plan (Part B.19 of the Design Regina: The Official Community Plan Bylaw No. 2013-48).
 - b. Adding a new Part 8O, as attached to this report as Appendix A, to Chapter 8.
 - c. Rezoning the properties legally described as Lot 8-Blk/Par 33A-Plan 102280700 Ext 0 and Lot 9-Blk/Par 33A-Plan 102280700 Ext 0, from RN – Residential Neighbourhood Zone to ML – Mixed Low-Rise Zone.
2. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to a meeting of City Council following approval of these recommendations and the required public notice.
3. Approve these recommendations at its meeting on August 17, 2022.

Maynard Sonntag moved, AND IT WAS RESOLVED, that the recommendation contained in the report be concurred in.

RESULT:	CARRIED [Unanimous]
MOVER:	Commission member Sonntag
IN FAVOUR:	Councillors: Shaw, Zachidniak and Findura Commission members: Aston, Bojkovsky, Das, Moreau, Pham, Sonntag, Wilson, York

ADJOURNMENT

Councillor Terina Shaw moved, AND IT WAS RESOLVED, that the meeting adjourn.

The meeting adjourned at 5:49 p.m.

Chairperson

Secretary



Waiver of Official Community Plan Phasing Policy Application - Part of 4801 E Victoria Avenue - PL202100237

Date	October 4, 2022
To	Regina Planning Commission
From	City Planning & Community Development
Service Area	Planning & Development Services
Item No.	RPC22-31

RECOMMENDATION

Regina Planning Commission recommends that City Council:

1. Waive the applicability of the residential phasing requirements of *Design Regina: The Official Community Plan Bylaw 2013-48* (OCP), Policy 14.20, as it relates to a part of SE 23-17-19-2 Ext 4, the Subject Property, in accordance with Policy 14.20B and subject to the following conditions:
 - a. The exemption to the residential phasing requirements shall be limited to the Subject Property, as shown in Appendix A-1.
 - b. Development approval shall be contingent on the landowner or applicant demonstrating, to the satisfaction of the Development Officer, compliance with the urban design aspects of Policy 14.20B of the OCP, as determined through applicable planning process and consultation with the City Administration.
2. Approve these recommendations at its meeting on October 12, 2022.

ISSUE

The applicant, Aurora Retail Corp, requests that City Council waive the residential phasing requirements of the *Design Regina: The Official Community Plan Bylaw 2013-48* (OCP), in accordance with Policy 14.20B of the OCP. The subject property, located at 4801 E. Victoria Avenue (Appendix A-1), is in a Phase 3 growth area and is also designated as “Urban Centre”, per OCP policy. Because

of the Phase 3 designation, residential development may only occur in accordance with the phasing schedule or if it “can be demonstrated, to the City’s satisfaction, that a mixed-use environment will be developed, which reflects a high quality urban design that is pedestrian-oriented” (the criteria).

There is no associated development application being considered at this time. The applicant intends to secure City Council concurrence that the subject property demonstrates the criteria to allow residential development to advance.

This application is being considered pursuant to *The Planning and Development Act 2007* (Act), the OCP, the Southeast Regina Neighbourhood Plan (SENP), East Victoria Concept Plan (Concept Plan). The proposal has been assessed and is deemed to comply.

IMPACTS

Policy/Strategic Impact

The subject property is in an area designated as Urban Centre; therefore, development in this location will need to support pedestrian and transit-oriented mixed-use development and be a hub for community interaction and identity (OCP Section D5, Goal 3). Residential development in this area will contribute towards this objective by adding residential use to an area where commercial development is the major land-use.

The subject property is in a Phase 3 growth area, which is a future growth area, pending the consecutive build-out of Phase 1 and 2 (Phase 1 is still being developed). However, Policy 14.20B allows Council to waive the phasing schedule where a proposed residential development is in an Urban Centre and meets the Urban Centre policy and the criteria. Conformity with this policy is discussed in the Discussion section.

The Proposed Development supports other OCP objectives relating to:

- The efficient use of City services (Section C - Goal 2)
- Increasing housing supply and housing diversity (Section D6 – Goals 1 and 3)

There are no financial, accessibility and environmental impacts associated with this report

OTHER OPTIONS

Alternative options would be:

1. Refer the application back to Administration. If RPC or City Council has specific concerns with the proposal, it may refer the application back to Administration for revisions or additional information or consultation and may direct that the report be reconsidered by the RPC or brought directly to Council following such further review. Referral of the report back to the Administration will delay approval of the development until the requested information has been gathered or changes to the proposal have been made.

2. Deny the application. Future proposed development could not proceed.

COMMUNICATIONS

The Applicant and other interested parties will receive a copy of the report and notification of their right to appear as a delegation at the Council meeting when the application will be considered. The applicant will receive written notification of City Council's decision.

DISCUSSION

An application for a discretionary use to permit two apartment buildings on the subject property was initially submitted to support the request. During the review process, the discretionary use application was withdrawn, but the request for waiver of policy continued to be sought by property owners "Aurora Retail Corp." (owners). The owners request that the application be processed without an active development application and seeks waiver of the OPC Policy 14.20B on the subject property to allow any future residential development to proceed, as per the MLM - Mixed Large Market Zone regulation. The benefit to the owners is confirmation that Council supports residential development, as they advance discussions with builders.

The subject property is a 1.75-hectare site adjacent to the "Aurora" commercial centre. It is bound by future commercial development land to the north, Highway 1 Bypass to the east, Anaquod Road and Costco to the west, and future mixed-use and residential development to the south (Appendix A-1). The subject property will flank a major commercial centre on one side and a freeway on the other and will tie in to the future residential and mixed-use area to the south.

The subject property is located within the policy area covered by the Southeast Regina Neighbourhood Plan (SENP) and the East Victoria Concept Plan, approved in September 2016, which identify the subject property as forming part of an Urban Centre and mixed-use area. The Urban Centre corresponds to the "Aurora" commercial centre, which is in the process of being developed, and lands to the south, which are also included in the future Phase 3 growth area (Appendix A-5.1). The proposed development would be the first residential development in this Urban Centre.

The adjacent street, Anaquod Road, is a collector roadway primarily serving a large-scale commercial centre. However, it includes a sidewalk with a separated landscaped boulevard and transit service is intended to start in the fall of 2022.

In support of this application, the applicant has submitted a detailed planning study completed by a Registered Professional Planner (Appendix A-3.1 – A-3.3) which outlines the specific areas in which the application meets the intention of the waiver policy.

Zoning and Land-use

The subject property is zoned MLM - Mixed Large Market Zone. A discretionary use would be required if the proposed development is higher than 11m or if no commercial uses are proposed on site. Subdivision is required before issuance of a development permit.

OCP Assessment

The subject property is in an area designated as Phase 3 growth area and “Urban Centre” according to the OCP. Because of the Phase 3 designation, residential development may only occur if is in accordance with the phasing schedule or if it meets the Urban Centre policy and the criteria. As Phase 3 conformity does not apply, Council must confirm that the Urban Centre criteria is being met:

14.20B: Notwithstanding policy 14.20A, where an URBAN CENTRE or URBAN CORRIDOR is located within an area subject to phasing, as shown on Map 1b – Phasing of New Neighbourhoods, the timing of residential development shall conform with the phasing schedule; however, Council may waive this requirement where it can be demonstrated, to the City’s satisfaction, that a mixed-use environment will be developed, which reflects a high quality urban design that is pedestrian-oriented.

During its initial review, Administration was concerned the portion of the Urban Centre currently planned and developed (“Aurora” commercial centre) did not meet the “mixed-use”, “high quality urban design” and “pedestrian-oriented” aspects of the Urban Centre concept, as it was planned and designed as a major commercial centre (large blocks; large parking areas fronting streets; auto-oriented land-use); and currently lacks such qualities as:

- Civic and passive recreation (e.g. park) destinations; and
- A pedestrian-oriented street network (e.g. highly permeable network [smaller blocks; multiple travel options]; buildings/ entranceways situated close to street; traffic calming).

However, as detailed in the planning study completed by a Registered Professional Planner retained by the applicant (Appendix A-3.1 – A-3.3), it is highlighted that the future development of the subject property would infuse the existing commercial centre with residential, thus adding to the land-use mix, and will tie into the future residential and mixed-use area directly to the south. Taking into consideration the existing commercial centre and future residential and mixed-use area to the south, as a whole, Administration concurs that adding residential in this location would help the larger area to eventually evolve as an Urban Centre in accordance with the intent of the OCP.

Should the application be approved, this will be the first instance where a residential development has been approved in a proposed new Urban Centre, which is in a future phasing area (thus, first time Policy 14.20B has been invoked and phasing waived). Support of the residential phasing exclusion may be considered a precedent setting decision. There may be a small risk of other development areas also seeking Urban Centre development ahead of phasing being triggered ahead of which may affect planned growth areas.

The subject property is in an area within the Southeast Regina Neighbourhood Plan (SENP) designated as both Commercial Area and Urban Centre. Both the Commercial Area and the Urban Centre designation allow for residential development; however, policy 4.9(g) requires that: “Residential and commercial development shall be appropriately integrated within the Urban Centre, providing compatible interfaces and transitions between uses.” It has not been demonstrated, at this time, that the proposed development complies with this policy, considering proximity to large-format retail and a freeway; however, there is a vacant lot between the Subject Property and Costco that could serve as “interface” and “transition” potential and future residential development will help fulfill the intent of the policy.

Servicing Assessment

The Subject Property receives full range of services, and no issues were identified during the review of this application. A servicing agreement must be executed when the property is subdivided.

This application is being considered pursuant to the Act, the OCP and the Zoning Bylaw for suitability based on the prescribed evaluation criteria for discretionary uses established in Sub Part IE.3 of the Zoning Bylaw. The proposal has been assessed and is deemed to comply with all applicable policies, regulations and standards.

Community Engagement

In accordance with the public notice requirements of *The Public Notice Policy Bylaw, 2020*, neighbouring property owners within 75 metres of the proposed development received written notice of the application, and a sign was posted on the subject site as a part of the original application (discretionary use). No comments were received.

DECISION HISTORY

On October 17, 2016, City Council approved the rezoning of the development area from UH - Urban Holding to MAC - Major Arterial Commercial Zone and MAC (H) - Major Arterial Commercial (Holding Overlay) Zone (CR16-123).

Respectfully Submitted,

Respectfully Submitted,


Autumn Lawson, Director, Planning & Development Services

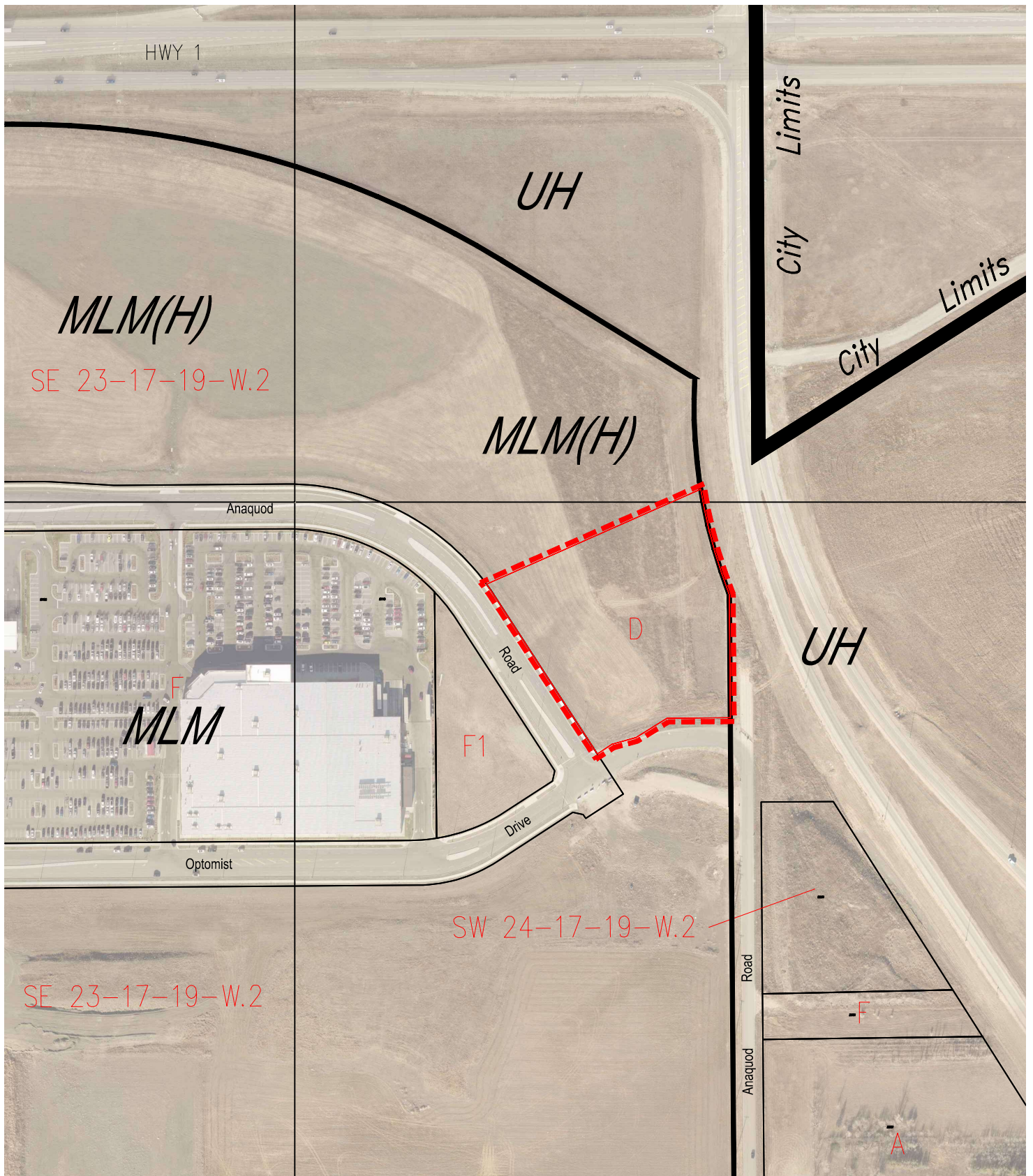
8/19/2022


Deborah Bryden, Executive Director

9/20/2022

ATTACHMENTS

Appendix A-1 (Subject Property Map) Amended
Appendix A-2 (Aerial Map) Amended
Appendix A-3.1 (Supporting Report Summary)
Appendix A-3.2 (Supporting Information Report)
Appendix A-3.3 (Proposed Master Development Plan)
Appendix A-4.1 (SENP Land Use Map)
Appendix A-4.2 (Approved Concept Plan)



Date of Photography : 2020



Subject Property





Subject Property

Date of Photography: 2020



**B&A PLANNING GROUP**

600, 215 - 9 Avenue SW

Calgary, AB | T2P 1K3

bapg.ca

June 23, 2022

City of Regina
City Planning and Development

Attn. Binod Poudyal
City Planner II

**Re: Aurora Urban Centre High Density Residential Development
Supportive Rationale and Justification Report
Supplemental Information in Response to May 3, 2022 Meeting**

Dear Binod,

Introduction

The purpose of this letter is to respond to the comments received from City Administration during our May 3, 2022, Teams meeting. We understand that it is the opinion of Administration the previously proposed residential development within the Aurora Urban Centre did not meet the criteria of OCP Policy 14.20B to allow for an exemption to the residential phasing plan.

This response is provided in addition to the previously provided **High Density Supportive Rationale & Justification Report**, dated June 2022. In this letter we break down the wording of Policy 14.20B, explain how high density residential development meets the criteria and provide additional rationale. We have also included within this supplemental position **Appendix A: Comparative Urban Centre Examples**. These comparative examples provide a visual overview and observations of a series of mixed-use Urban Centres that have been implemented in other comparative municipalities over the last 10-15 years.

Applicable Planning Policy

Based on City email correspondence and our meeting discussion, City Administration expressed their opinion that the previously proposed multi-residential development did not meet the criteria as defined in policy 14.20B or conform with the definition of Urban Centre.

According to the OCP, an Urban Centre is defined as:

*The **lands around an established or new intersection of an urban corridor with major or arterial roads**, and/or a major transit node, that are to provide a focus for **high density, mixed-use, transit-oriented development**, that is easily accessible to a large segment of the population. Urban centres will be hubs for community interaction and identity.*

Given that the Aurora development is identified in the OCP as an Urban Centre and the proposed residential site is located on lands at the intersection of major or arterial roads, the location clearly meets the criteria.

The Official Community Plan (OCP) Policy 14.20B states:

*Notwithstanding policy 14.20A, where an URBAN CENTRE or URBAN CORRIDOR is located within an area subject to phasing, as shown on Map 1b – Phasing of New Neighbourhoods, the timing of residential development shall conform with the phasing schedule; **however, Council may waive this requirement where it can be demonstrated, to the City’s satisfaction, that a mixed-use environment will be developed, which reflects a high quality urban design that is pedestrian-oriented.***

1. Aurora is Evolving as a Mixed Use Urban Environment

With the existing retail commercial and with any proposed high density residential use, we are demonstrating that a mixed-use environment is being developed.

By City definition, an Urban Centre must consist of “**high density, mixed-use**” development. The addition of high density residential development adds a use to a predominantly retail commercial area to make the development “mixed-use”. Without high density residential uses, the vision of an Urban Centre cannot be achieved. Denying the ability to construct high density residential within an area clearly denoted as a future Urban Centre directly conflicts with one of the key parameters of the City’s Urban Centre policy.

2. Aurora Consists of High Quality Urban Design

The Southeast Neighbourhood Plan has been designed comprehensively, concentrating the higher density Urban Centre at the north end of the plan area next to major roadways. It also contemplates a transit node and park space that is within 10 minute walking distance of future residents.

Very important to note, high density residential does provide the density and form required to create a more compact urban environment that the City wants to encourage, in compliance with City planning policy and aligned with Council’s strategic housing strategy. It also contributes to meeting residential density targets and provides an appropriate transition between commercial and anticipated lower density residential to the south.



The initial and future phases of the development will continue to be designed comprehensively with high quality design. Existing buildings have been designed with the use of high quality materials, articulations, and varied facades to create visual interest. For added visual interest, storefronts also incorporate canopies, varied building materials, colours, and specialized lighting to add to building aesthetics.

The East Victoria Concept Plan, as approved by the City, identifies public realm areas to be built to City standards requiring road boulevard tree plantings for visual appeal, and well-lit separated sidewalks and crosswalks at recognized intersections for pedestrian safety. Intersection crosswalks will be signalized in the future once traffic volumes approach requisite levels for added pedestrian safety.

Buildings and parking lots have been set back from City sidewalks to provide opportunities for a greater sense of openness while the addition of on-site landscaping will provide for improved visual aesthetics. In addition, buildings have been separated from one another to provide site permeability and to avoid an enclosed walling effect. This improves pedestrian visibility while enhancing their sense of security.

As two of four blocks belonging to Forster Harvard have yet to be developed, there is ample opportunity for residential to be built within the Urban Centre. Should more retail be sought, the city will have the ability to review and comment on commercial urban design with future applications.

3. Aurora is Pedestrian-Oriented

The OCP does not define or provide criteria for “pedestrian-oriented” design. Although the policy may have been written with the vision of stores fronting city sidewalks as the only type of pedestrian-oriented design, there is no specific policy wording requiring this form of development within Urban Centres. Furthermore, there is not enough residential density in the immediate area to support this form of commercial development at this time.

The Master Development Plan for Aurora includes a pedestrian circulation plan that shows how residents as part of any high density residential development could easily walk to destinations such as the future transit hub and restaurants, retail, and entertainment in less than 10 minutes. Once the community is further built-out with city standard roads and sidewalks, the destination of Pacer Park will also be within a short walk. This proximity to destinations will encourage residents to walk instead of using their vehicle for daily tasks.

The start of transit service to the area in August 2022 will also help contribute to developing an urban environment that is less dependent on private vehicles. Adding residents to the area will increase transit ridership and will provide the city with a return on their soft infrastructure investment. At present, restricting high density residential development from occurring within the Urban Centre will only encourage future vehicle-oriented development and limit options for travel modes.



Aurora is Comparative to Other Successful Urban Centres

As detailed in **Appendix A: Comparative Urban Centre Examples**, we have provided aerial images of projects in other municipalities that are further established than Aurora and have successfully integrated higher density residential with commercial retail to create new mixed-use projects. These examples illustrate forms of development other municipalities are actively approving and represents Urban Centres that Aurora aspires to become. Having developed three of the referenced projects (Grove, Currents & Seasons) Forster Harvard has the experience and expertise required to create successful Urban Centres.

Additional Rationale and Justification

Beyond the key aspects of the OCP policy as addressed (mixed use environment, high quality urban design, pedestrian orientation), we wish to provide the following additional rationale and justification as to the merits of the proposal before City Administration.

- As identified in our previously submitted **High Density Residential Development Supportive Rationale & Justification Report**, high density residential complies with all planning policies. Denying the ability to add high density residential development to a commercial area would be at odds with Urban Centre planning policy.
- As demonstrated by examples of Urban Centres found in Appendix A, high density residential can successfully be located next to major transportation corridors and has been effectively used to transition between retail and low density residential.
- Allowing high density residential at various locations within the Urban Centre would enable builders to cater to various socio-economic segments of the residential market and provide product at different price points.
- Allowing high density residential to be built within the Urban Centre adds people closer to employment opportunities and creates a local customer base.
- A mixed-use Urban Centre provides a return on investment for city hard and soft infrastructure by adding residential property taxes and transit ridership.
- The residential phasing plan was put in place to manage growth to areas that make sense in keeping with the City's financial strategy to minimize the financial implications on rate payers. It is not intended to apply to, or discourage, high density residential development within Urban Centres where infrastructure capacity already exists.
- High density residential use addresses affordable housing, creates more compact, livable communities that helps facilitate new jobs, supports less reliance on the private vehicles and supports recent transit investment, all of which satisfy City policy directives.



Conclusion

This letter has demonstrated how high density residential development complies with OCP Policy 14.20B, provides examples of similar developments in various municipalities, and has provided additional rationale in support of high density residential within the Aurora Urban Centre.

We trust that the rationale provided is sufficient to enable the residential phasing schedule to be waived for the Aurora Urban Centre, removing an obstacle that would otherwise discourage future high density residential proposals. We thank you for your consideration.

Sincerely,

Nathan Petherick

NATHAN PETHERICK

Partner, RPP, MCIP

D | 403-692-4356 C | 587-216-7505

npetherick@bapq.ca



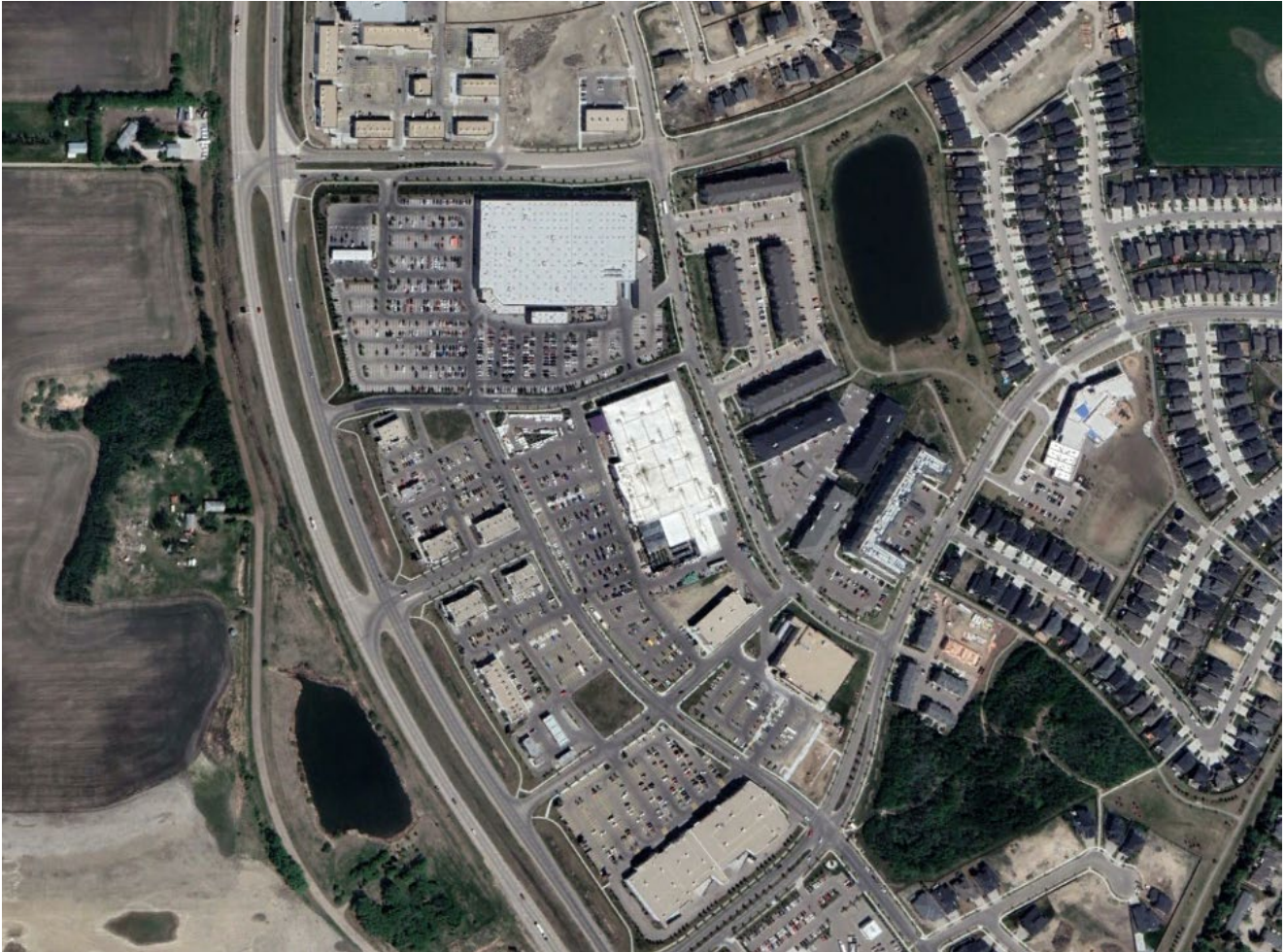
Appendix A :

Comparative Urban Centre Examples



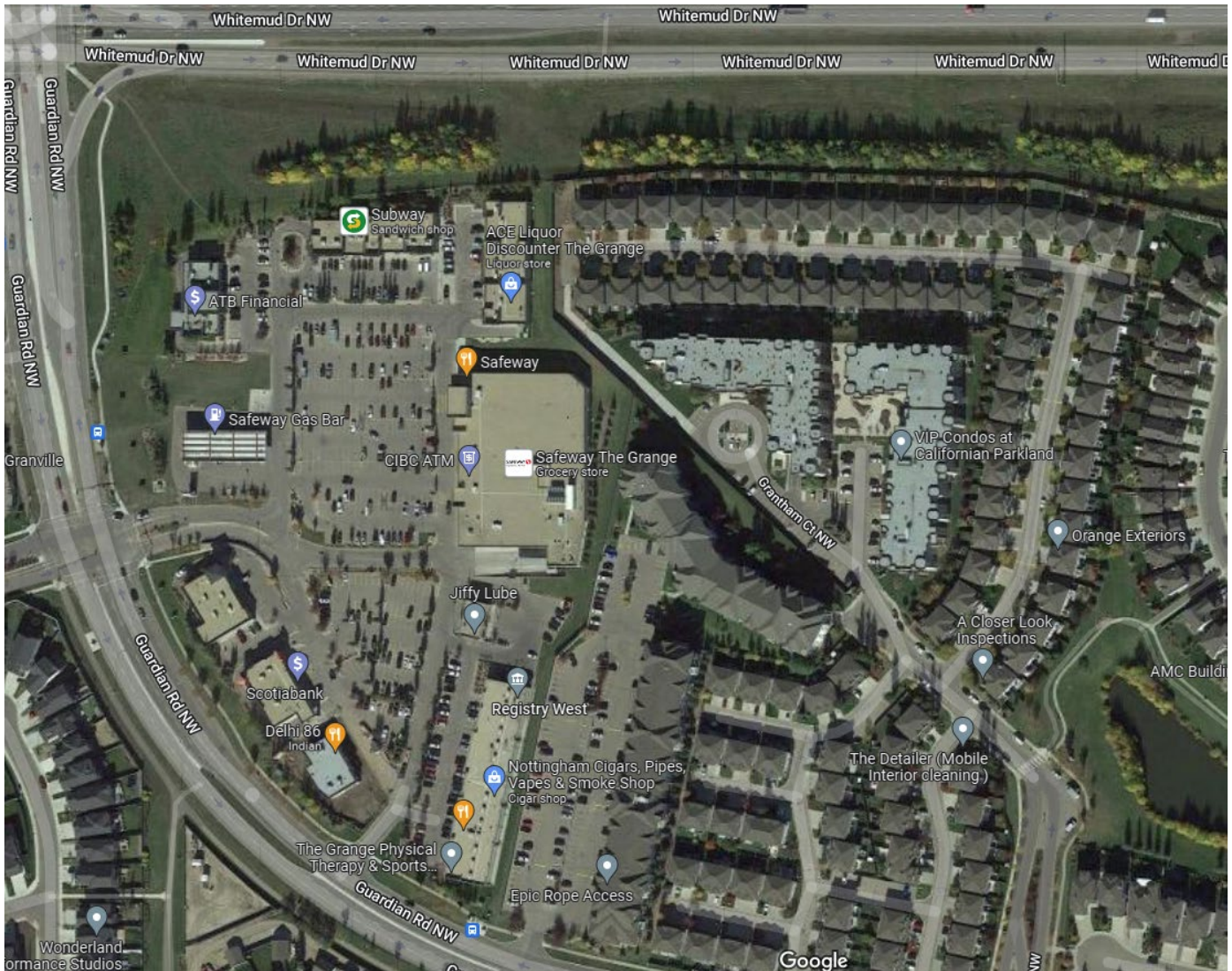
Comparative Example #1: Erin Ridge Urban Centre – St. Albert, Alberta

- Suburban location, with higher density residential transitioning from retail commercial to lower density residential.
- Apartment dwellings across the street from a Costco and Lowe's Home Improvement Centre.



Comparative Example #2: The Grange Urban Centre – Edmonton, Alberta

- Multi-residential adjacent to retail commercial and major roadway.



Comparative Example #3: The Windermere Grange Urban Centre – Edmonton, Alberta

- Forster Harvard project
- High density multi-residential across the street from Urban Centre along major roadway.
- Apartments built east of and adjacent to major freeway, demonstrating apartments can be located next to highways.



Comparative Example #4: Grove on 17th Urban Centre – Edmonton, Alberta

- Forster Harvard project
- Suburban location where high density multi-residential is located adjacent to retail commercial, a rail line and freeway.
- Various multi-residential apartments in support of Town Centre development.





Comparative Example #5: Emerald Hills Urban Centre – Sherwood Park, Alberta

- Multi-residential apartments included with and adjacent to retail commercial.



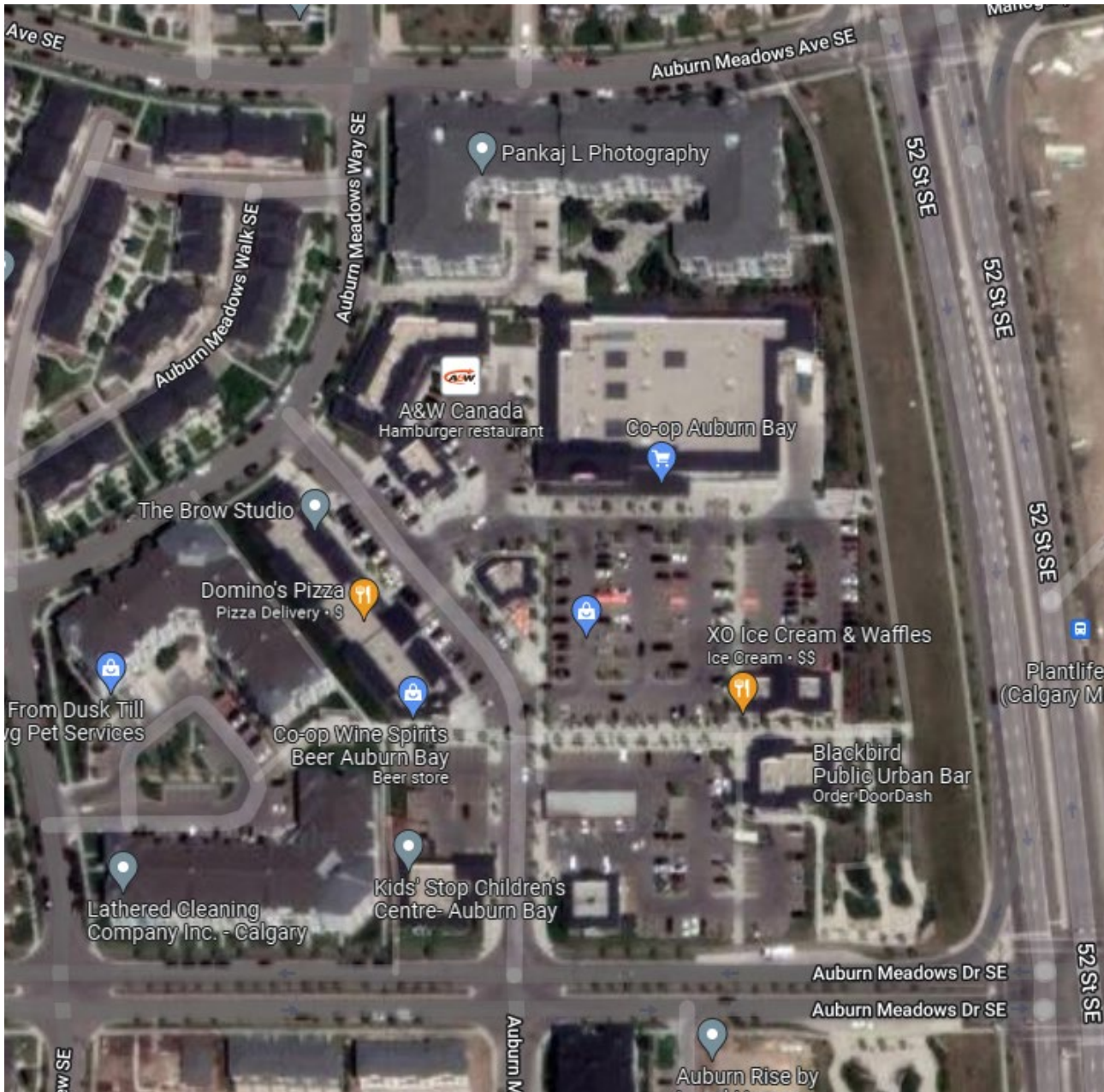
Comparative Example #6: Legacy Urban Centre – Calgary, Alberta

- Multi-residential adjacent to retail commercial.
- Multi-residential transition from retail commercial to lower density residential.
- Future multi-residential planned for vacant parcel in middle of centre.



Comparative Example #7: Auburn Urban Centre – Calgary, Alberta

- Multi-residential adjacent to retail commercial.
- Multi-residential transition from retail commercial to lower density residential.
- Site located next to a future Light Rail Transit (LRT) station.



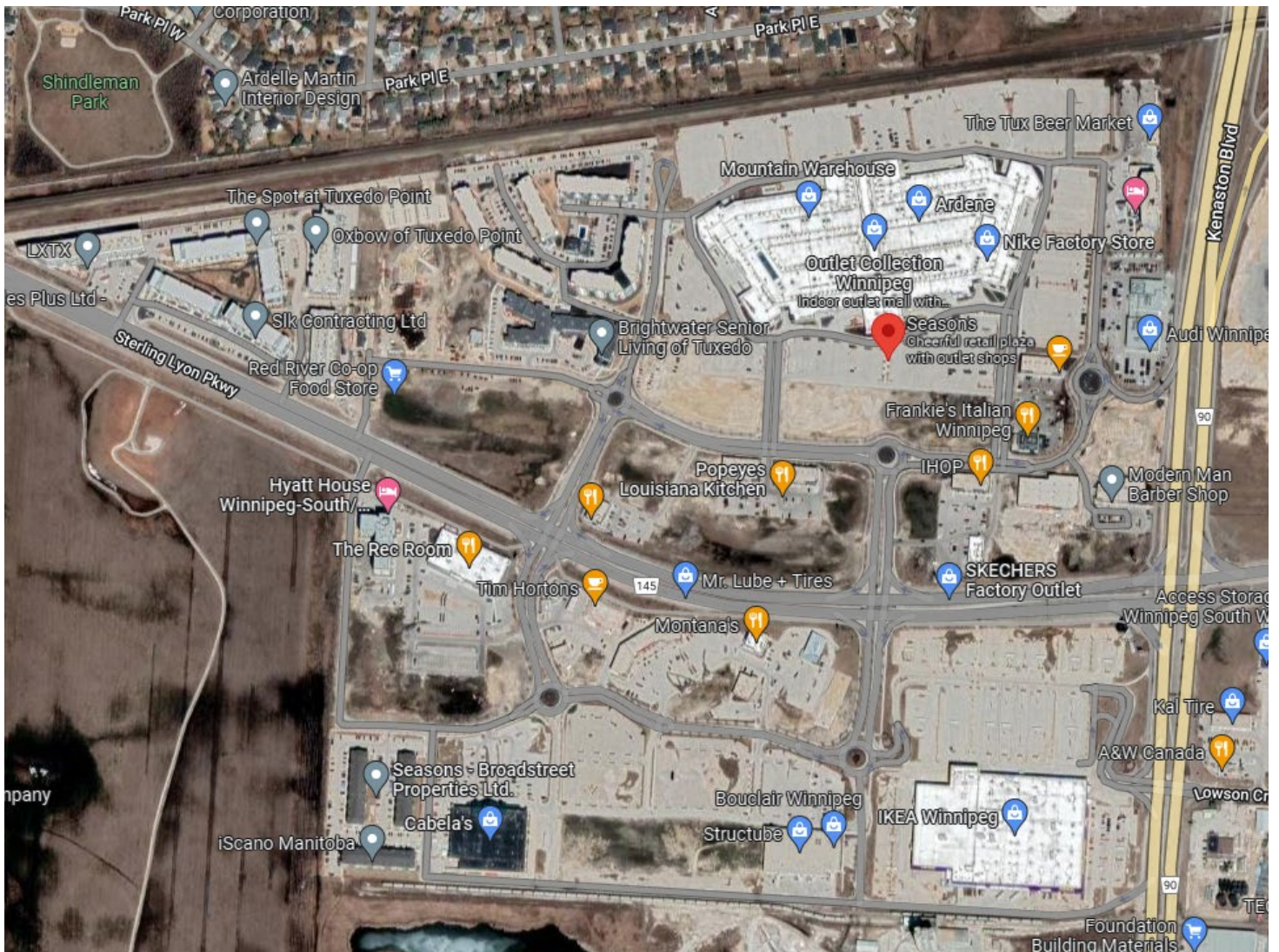
Comparative Example #8: Stonebridge Urban Centre – Saskatoon, Saskatchewan

- High density multi-residential adjacent to commercial retail
- High density multi-residential adjacent to major freeway demonstrating apartments can be located next to highways.
- Multi-residential transition from retail commercial to lower density residential.



Comparative Example #9: Seasons Urban Centre – Winnipeg, Manitoba

- Forster – Harvard project
- Suburban location where high density multi-residential is located adjacent to retail commercial and rail line.
- Various multi-residential apartments in support of Town Centre development.







Aurora Urban Centre High Density Residential Development

Supportive Rationale & Justification Report

JUNE 2022



b&a



Aurora Urban Centre High Density Residential Development



Landowner: Aurora Retail Group

Prepared By: B&A Planning Group

In Association: Forster Harvard Development Corp.

Submitted To: City of Regina

Contact: **Blair Forster.** President, Forster Harvard Development Corp.

Veronica Eno. Vice President, Forster Harvard Development Corp.

Grant Mihalcheon. Associate, B&A Planning Group

Nathan Petherick. Partner, B&A Planning Group

Submitted By,

Nathan Petherick

Nathan Petherick | RPP | MCIP

Partner | Planner

B&A Planning Group

Blair Forster

President

Forster Harvard Development Corp

Contents



	Executive Summary	iv
1.0	Introduction and Context	1
2.0	Zoning Context and Infrastructure	2
3.0	Policy Context and Analysis	4
3.1	Overview	4
3.2	OCP Analysis	4
3.3	OCP Phasing	5
3.4	OCP Policy Comparison	6
3.5	SENP Analysis	7
3.6	SENP Policy Comparison	8
3.7	EVCP Policy Comparison	9
4.0	Master Development Plan	10
4.1	Overview	10
4.2	Vision and Key Design Principles	11
4.3	Land Use / Development Program	12
4.4	Pedestrian Circulation	13
4.5	Circulation Plan	14
4.6	Transit Plan	15
5.0	Regulatory Context and Analysis	16
5.1	Mixed Large Market (MLM)	16
6.0	High Density Residential Justification Summary	17
7.0	Conclusion	18
8.0	Appendices	19

Figures/ Tables



Figure 1	Municipal Context	2
Figure 2	Zoning Context	2
Figure 3	Aerial	3
Figure 4	OCP Growth Plan	4
Figure 5	OCP Phasing Context	5
Figure 6	SENP Land Use Concept	7
Figure 7	Aurora Master Development Plan	10
Figure 8	Aurora Pedestrian Circulation Plan	13
Figure 9	Circulation Plan	14
Figure 10	Transit Plan	15
Figure 11	High Density Residential Example	18
Table 1:	OCP Goals and Policies	6
Table 2:	SENP Goals and Policies	8
Table 3:	EVCP Goals and Policies	9

Appendices



Appendix A:	OCP Land Use And Built Environment Goals & Policies	19
Appendix B:	SENP Land Use And Built Environment Goals & Policies	21
Appendix C:	EVCP Land Use Strategy	23

Executive Summary



- High density residential development meets the Official Community Plan goals to achieve complete communities and mixed-use neighbourhoods that support diverse housing types and tenures;
- High density residential development is part of the Urban Centre as identified in the Southeast Regina Neighbourhood Plan / East Victoria Concept Plan. The Urban Centre includes both Mixed-use and Commercial areas which support the development of high density residential uses;
- High density residential development is consistent with the provisions of the Regina zoning bylaw MLM zone which provides for “Dwelling, Units” as an allowable use;
- High density residential development will add full-time residents to the area which supports the City’s investment in transit infrastructure;
- High density residential development can be linked to the commercial and service uses via a planned pedestrian system on public sidewalks and private pedestrian connections installed by the developer;
- High density residential development supports a logical transition between existing commercial and future neighborhood to the south;
- High density residential development adds residential units to the city in anticipation of the increasing economic activity and growth and increases the rental housing stock and quality available to support growth;
- High density residential development brings 24-hour life to the area which increases safety and creates a more vibrant commercial area;
- High density residential development offers an affordable residential option and the variety of unit types accommodate singles, shared units, and families;
- High density residential development is part of a larger development based on a high-quality urban design and is also pedestrian-oriented.

SECTION 1.0

Introduction



B&A Planning Group (B&A), on behalf of Forster Harvard Development Corp. (Forster-Harvard), is pleased to provide City of Regina planning administration and Council with the following planning analysis and justification rationale in support of high density multi-unit residential development within the rapidly advancing Aurora development which is identified by the City of Regina Official Community Plan (OCP) and other statutory planning policy as an Urban Centre.

Under the OCP, residential development proposed on lands within an urban centre may be considered on a discretionary basis by Council where the proposed development contributes to a mixed-use environment, is of higher quality urban design and supports a pedestrian oriented environment.

In this context, the purpose of this analysis and justification report is to demonstrate that the high density residential development:

- Aligns with approved statutory planning policy;
- Forms an integral component of an evolving Urban Centre;
- Shall contribute to a mixed-use environment, is of higher quality urban design and shall support a pedestrian oriented environment.

The purpose of this report is to gain council's support and provide direction to Administration to allow high density residential anywhere within the Urban Centre.



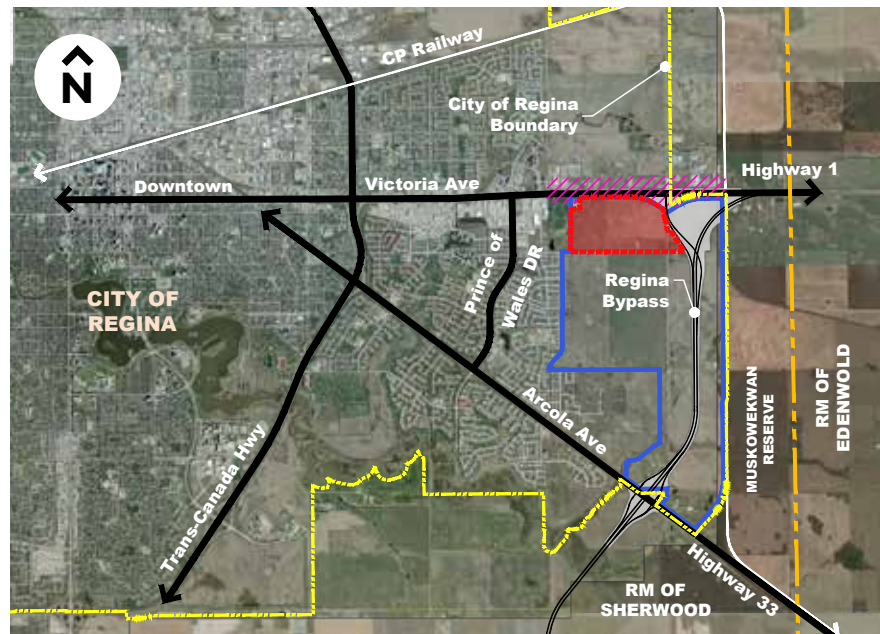
SECTION 2.0

Zoning Context and Infrastructure



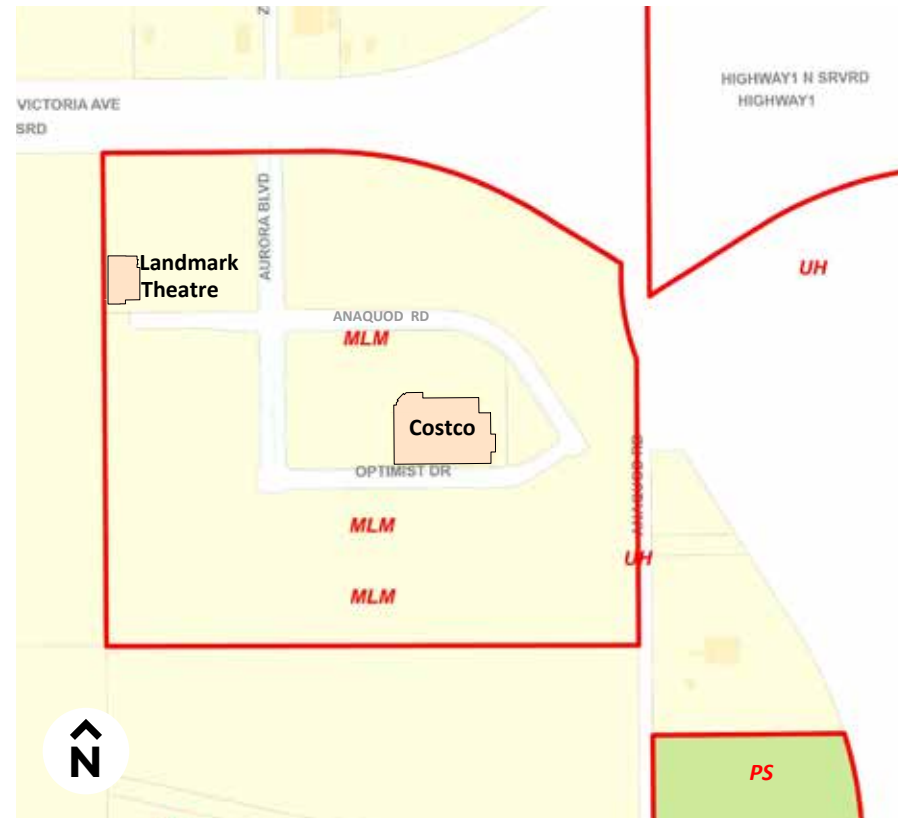
Lands within Aurora are zoned Mixed Large Market (MLM) which under the City of Regina zoning bylaw allows for high-intensity commercial and mixed-use development around arterial streets and key transportation corridors.

Figure 1: Municipal Context



- Plan Area Boundary
- South East Neighbourhood Plan
- City Boundary
- RM of Edenwold Boundary
- /// East Victoria Commercial Corridor

Figure 2: Zoning Context



- MLM - MIXED LARGE MARKET ZONE
- UH - URBAN HOLDING ZONE
- PS - PUBLIC SERVICE ZONE

Figure 3: Aerial

Developed lands including the Costco and Landmark theatre sites, are zoned MLM while undeveloped agricultural lands to the south, southeast and west are zoned Urban Holding (UH) Zone. Lands associated with the Regina Bypass are located to the east while the Pacers Park regional recreation area is located to the southeast.

Significant intersection improvements at Aurora Boulevard and Victoria Avenue have recently been undertaken to support the development of Aurora as well as the balance of the southeast sector.

Combined with new roadway construction adjacent to the site, these intersection improvements provide convenient access to Aurora from Victoria Avenue as well as the Regina Bypass. In addition to adjacent transportation improvements full municipal services including future transit service, are provided within Aurora.



--- East Victoria Boundary

Policy Context and Analysis



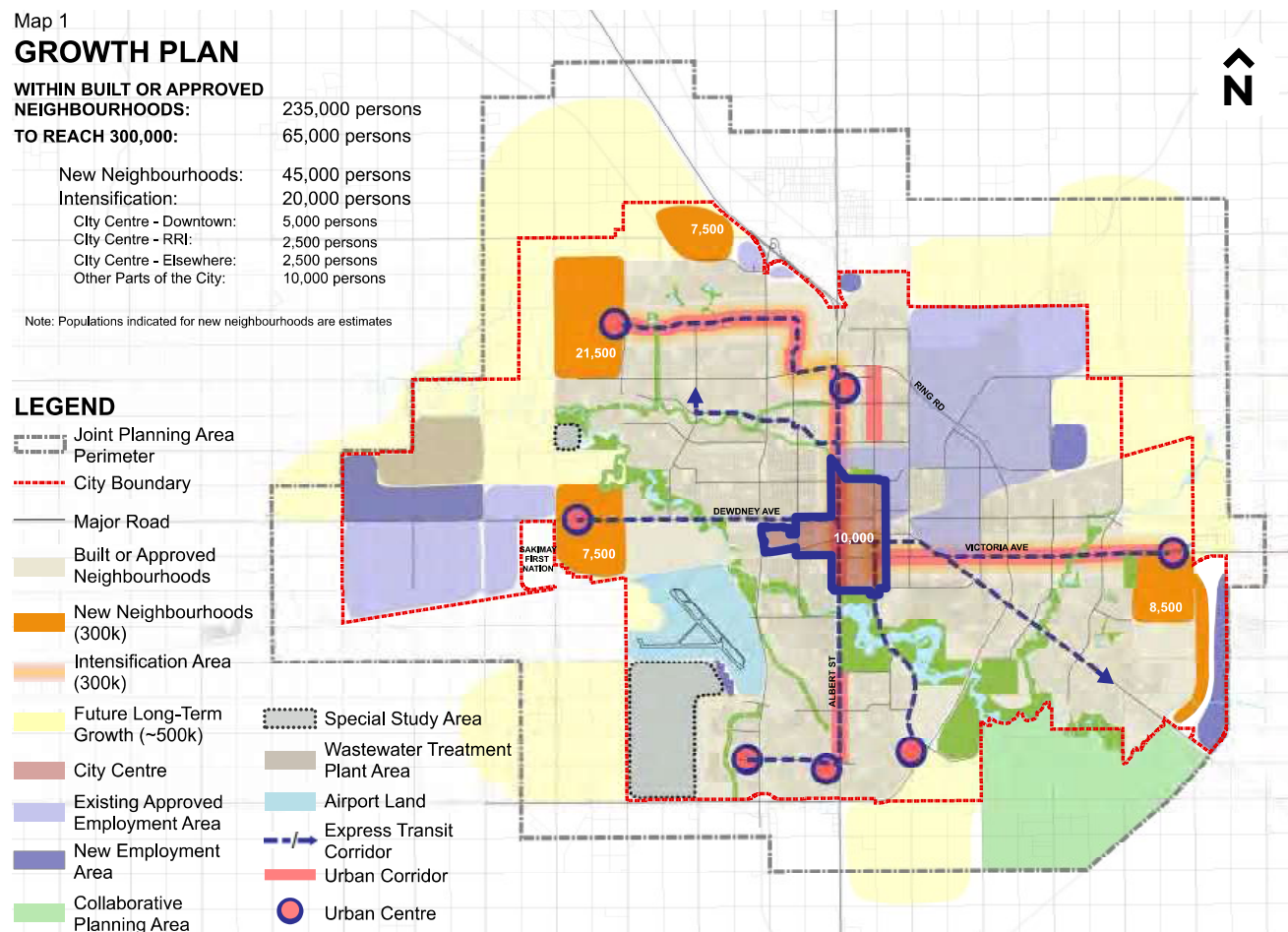
3.1 OVERVIEW

Development within the area must comply with the hierarchy of Regina's statutory plans. At the broadest scale is Design Regina – Official Community Plan (OCP), cascading down to the Southeast Regina Neighbourhood Plan (SENP) and finally the East Victoria Concept Plan (EVCP). These are the key policy documents that apply to the subject lands and are applicable to evaluation of the development proposal.

3.2 OCP ANALYSIS

The Official Community Plan (OCP) was adopted by City Council in 2013 to manage the city's growth using a comprehensive policy framework. The OCP designates the subject site and surrounding area as an "Urban Centre" and as part of New Neighbourhoods (300k).

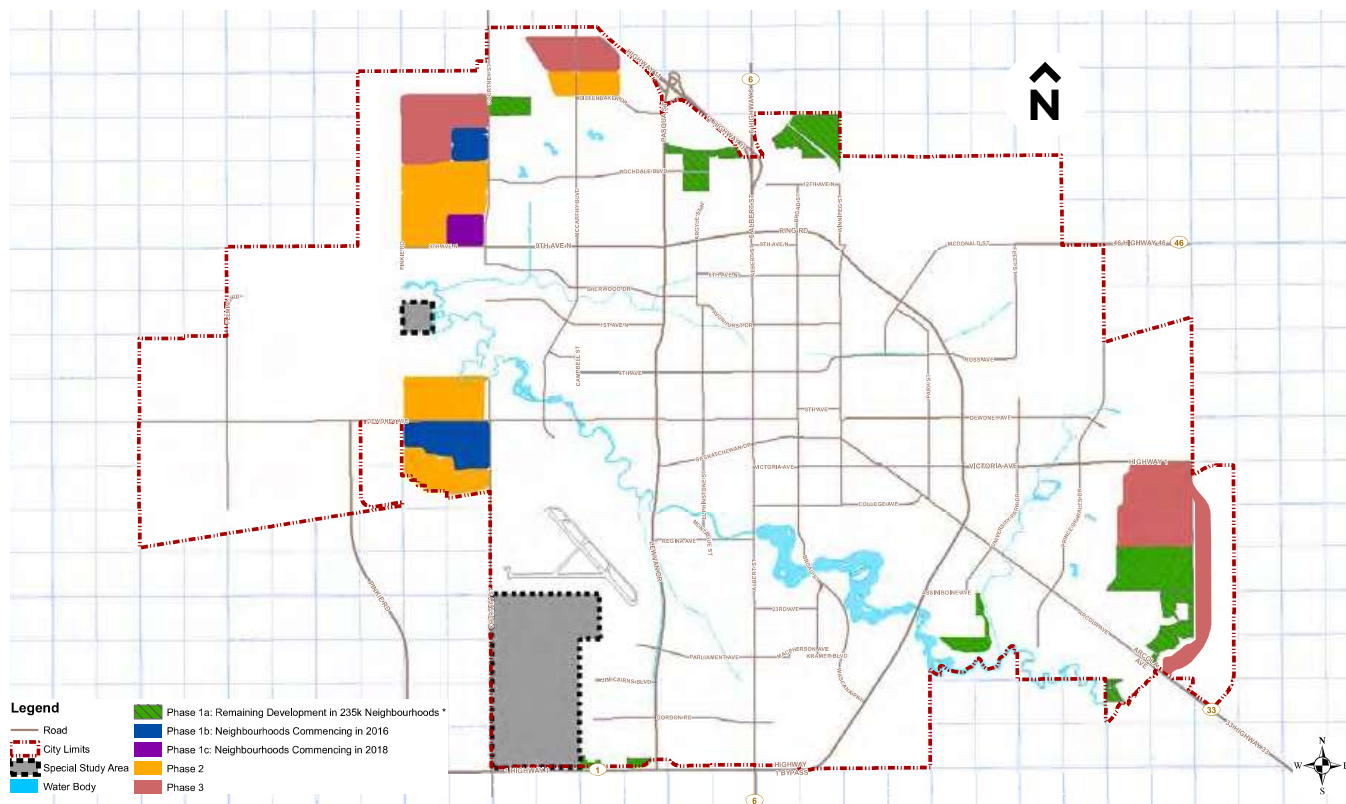
Figure 4: OCP Growth Plan Concept



3.3 OCP PHASING

The subject lands and surrounding area is identified on the phasing of new neighbourhoods plan as Phase 3. Notwithstanding this phasing designation, detailed policy direction under Section 14.20B of the OCP provides Council with the discretionary authority to waive phasing requirements for proposed residential development within an identified urban centre or urban corridor where it can be demonstrated that a mixed-use environment will be developed which reflects high quality urban design and is pedestrian oriented.

Figure 5: OCP Phasing Context



3.4 OCP POLICY COMPARISON

A simplified summary review of high density residential compliance against applicable OCP policy has been completed and is summarized in **Table 1: OCP Goals and Policies – Simplified Policy Compliance**. A detailed policy review and accompanying assessment and justification rationale is outlined in **Appendix 1: Detailed Policy Review**.

High density residential development meets numerous goals and policies of the OCP and most significantly supports the underlying core direction of the OCP as it relates to the creation of a vibrant, mixed-use urban centre which are considered integral in the development of complete communities.

Table 1: OCP Goals and Policies – Simplified Compliance Summary

OCP Goals and Policies – Simplified Compliance Summary Chart		
Section #	Goal/ Policy	Compliance
2.11	Meets density target of 50 pph	Yes
7.15	Provides a diversity of housing types	Yes
7.19	Buildings that will contribute to a better neighbourhood	Yes
7.1.10	Convenient access to areas of employment	Yes
7.5	Encourage mixed-use development in Urban Centres	Yes
7.10	Support higher density residential and mixed-use in Urban Centres	Yes
7.11	Ensure scale of development is compatible with servicing capacity	Yes
8.8	Support residential intensification to create complete neighbourhoods	Yes
8.11	Encourage a greater mix of housing	Yes
14.20B	Follow phasing schedule unless a high quality, pedestrian oriented mixed-use development can be demonstrated	Yes
14.20C	Development not to proceed unless core services can be provided	Yes
14.20E	Can waive phasing if it: demonstrates a benefit; is limited to one use; is contiguous; and is compatible to existing and future development	Yes

3.5 SENP ANALYSIS

Secondary Plans (Neighbourhood Plans) reside under the OCP and are intended to guide growth and development for large areas within the city such as neighbourhood development or commercial areas. They often advance the OCP by providing more detailed and advanced land use, transportation and servicing direction for lands to support decision making and guide development.

The SENP land use concept identifies the Regional Retail Centre within the Commercial and Mixed-Use Areas, with an Urban Centre. A portion of the site is identified a Potential Interchange Area which the province has since deemed unnecessary. All parcels within Aurora are located within a ten minute walking distance of a future Transit Hub and park space.

According to the SENP, an Urban Centre is defined as:

An area of focus for medium – high-density residential, retail and commercial uses, and transit-oriented development that is easily accessible to a large segment of the population.

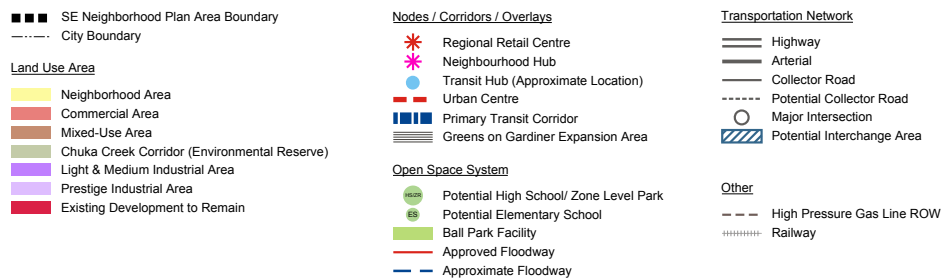
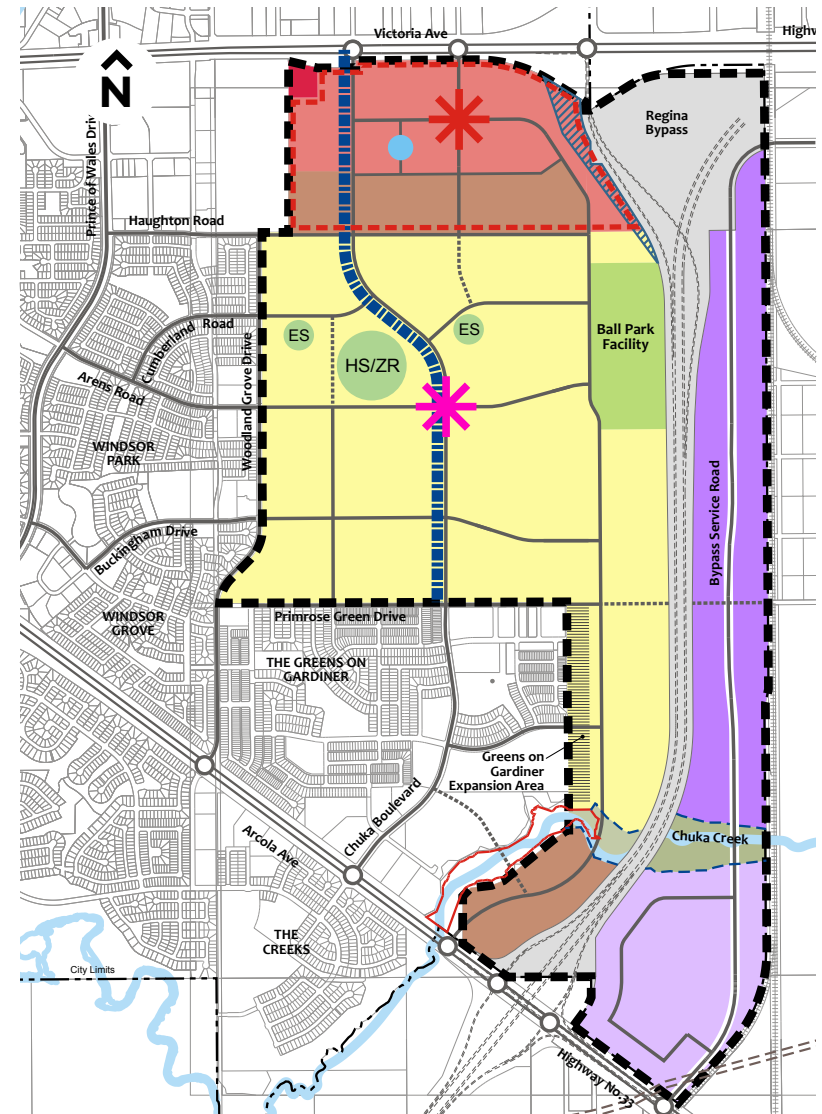


Figure 6: SENP Land Use Concept



3.6 SENP POLICY COMPARISON

A simplified summary review of the development proposals compliance against applicable SENP policy has been completed and is summarized in **Table 2: SENP Goals and Policies – Simplified Policy Compliance**. A detailed policy review and accompanying assessment and justification rationale is outlined in **Appendix 2: Detailed Policy Review**.

High density residential development meets numerous goals and policies of the SENP. Most significantly, the SENP clearly denotes all land use boundaries are approximate and that the urban centre composition shall be comprised of a variety of uses inclusive of high density residential development in proximity to retail offerings and future transit service.

Table 2: SENP Goals and Policies – Simplified Compliance Summary

SENP Policies – Simplified Compliance Summary Chart		
Section #	Goal/ Policy	Compliance
4.3(c)	Medium and high density residential permitted in Commercial area	Yes
4.4(b)	Urban Centre to include commercial, medium and high density residential and other compatible uses	Yes
4.9(b)	Urban Centre to include all sized retail, medium and high density residential, transit hub and amenity space	Yes
4.9(d)	Urban Centre residential to be predominately medium and high density	Yes
4.9(g)	Integration of residential and commercial uses with compatible interfaces	Yes
6.2(d)	90% of dwellings within 400m of transit stop	Yes
8.1(c)	Residential allowable within Phase 1 provided compliance with OCP	Yes
8.4(a)	Use boundaries are approximate only	Yes

3.7 EVCP POLICY COMPARISON

A simplified summary review of the development proposals compliance against applicable EVCP strategies has been completed and is summarized in **Table 3: EVCP Strategies – Simplified Policy Compliance**. A detailed policy review and accompanying assessment and justification rationale is outlined in **Appendix 3: Detailed Policy Review**.

The proposed use complies with both Potential Mixed-Use and Commercial use strategies by including high density residential in an Urban Centre that complies with minimum density requirements.

Table 3: EVCP Strategies – Simplified Compliance Summary

EVCP Strategies – Simplified Compliance Summary		
Section #	Goal/ Policy	Compliance
2.1	Urban Centre to develop as regional retail, mixed-use and residential to form a complete community	Yes
2.2, 2.3.1, 2.4	Urban Centre to include all sized retail, service and commercial uses, medium-high density residential, mixed-use and centralized transit hub	Yes
2.4.1	Diversity in housing options with medium and high density residential used to transition from large-format retail to low density residential to the south. Minimum residential density of 50 people/ha required.	Yes
3.6	Proximity to Transit Hub and potential Transit routes.	Yes
3.7	Proximity to multi-use pathways.	Yes
4.1	Servicing to be provided with initial development	Yes

SECTION 4.0

Master Development Plan



4.1 OVERVIEW

A Master Development Plan (MDP) is a tool prepared by a developer to provide their vision of how development on their land will occur. Created by the developer and not requiring Council approval, the plan is a blueprint that reflects development ambition at a particular point in time. Not meant to be static, the plan is flexible to adapt to changing market conditions while remaining aligned with City planning policy. Details on specific building size and appearance occurs at the development permit stage.

Existing development includes the Landmark theatre and associated commercial businesses in the northwest corner, along with the Costco store in the south central portion of the site.

Figure 7: Aurora Master Development Plan



4.2 VISION AND KEY DESIGN PRINCIPLES

The following principles were considered to develop the master plan:

1. Mix of Uses and Anticipate Plan Adaptability
2. Embed Transit into Design
3. Create Vibrant Retail Area
4. Encourage Engaging Building Designs



4.3 LAND USE / DEVELOPMENT PROGRAM

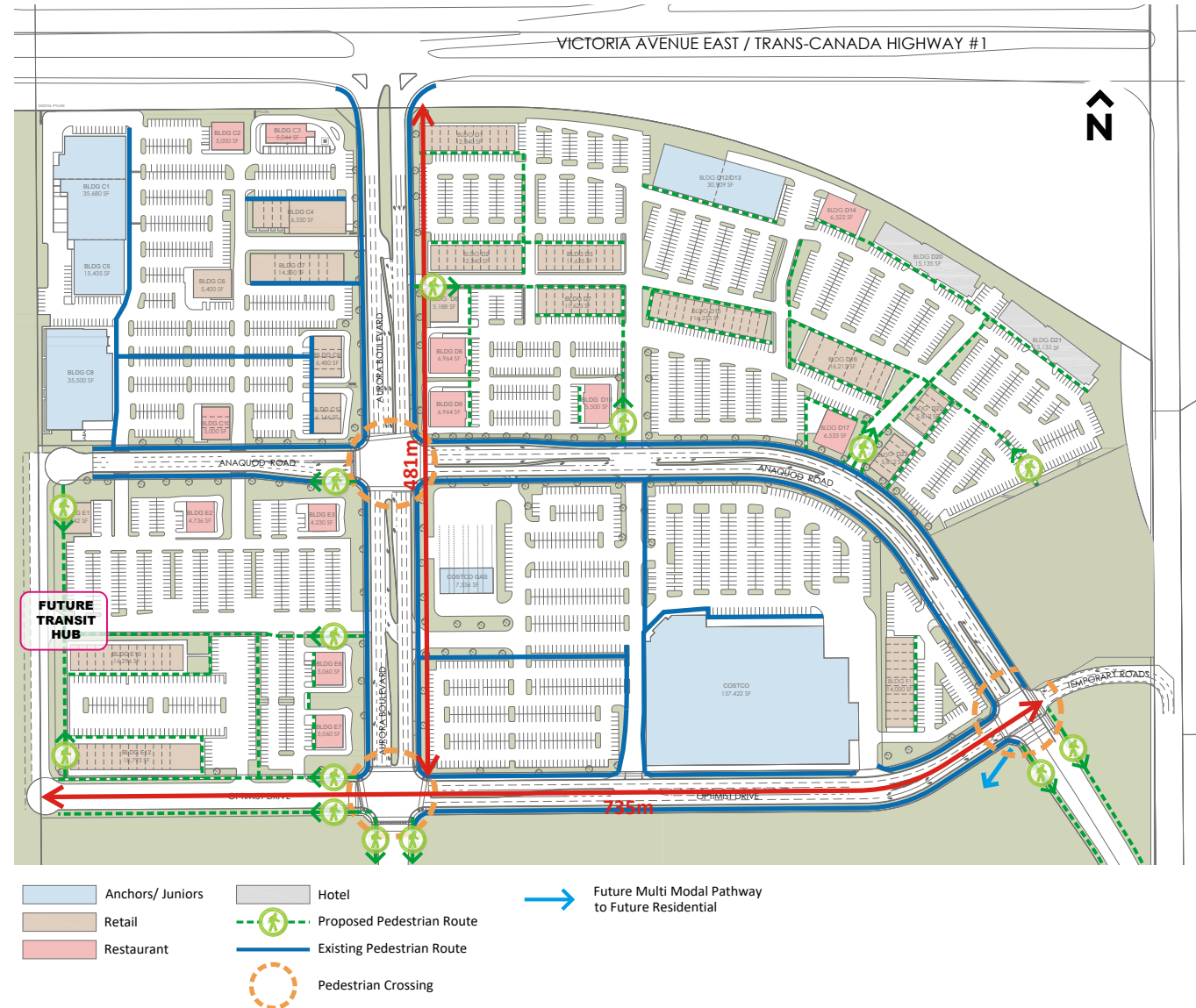
Locating high density residential adjacent to commercial creates an appropriate transition from large-format retail to lower density residential development envisioned on the properties to the south. This is in compliance with City Policy. The introduction of residential at a higher intensity level also provides visual interest to the development helping to create a unique sense of place.



4.4 PEDESTRIAN CIRCULATION

Although located in a suburban/ regional context where customers currently have to travel to the centre using vehicles or transit, the MDP has been designed to accommodate pedestrian linkages from city sidewalks to store fronts for ease of pedestrian access and for the benefit of future local residents. Well lit areas and pedestrian crossings on public and private roadways will provide a level of safety for pedestrians. Pedestrian crosswalks are located along public roads at each intersection, and for added safety, will be signalized in the future once traffic volumes approach requisite levels.

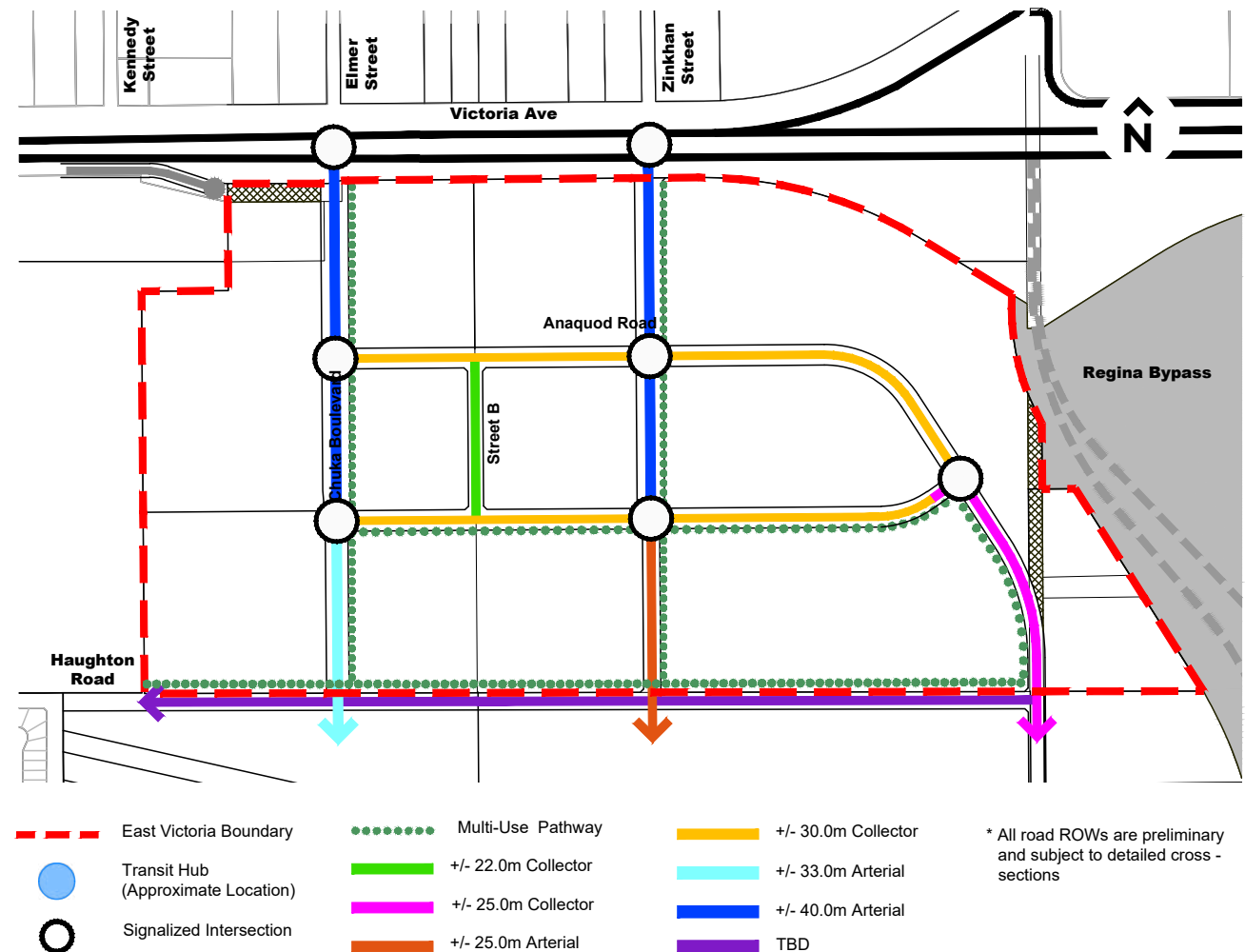
Figure 8: Aurora Pedestrian Circulation Plan



4.5 CIRCULATION PLAN

The following EVCP circulation figure identifies Collector and Arterial roads with direct access to a future Transit Hub via sidewalks and multi-use pathways. These multi-use pathways along Optimist Drive and Anaquod Road will also link the site to Pacer Park providing active transportation modes and alternatives to the use of private vehicles or transit.

Figure 9: Circulation Plan

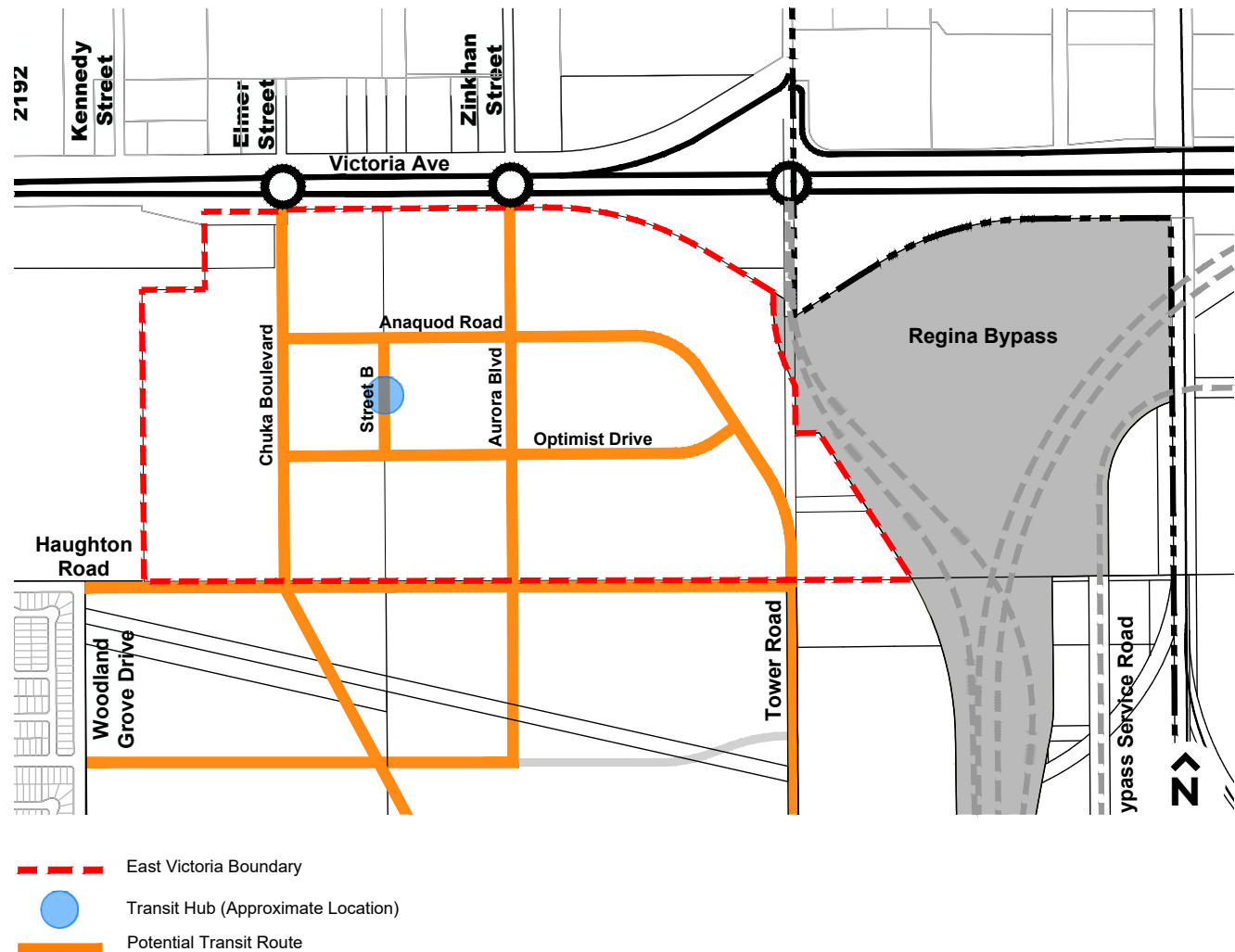


4.6 TRANSIT PLAN

As with many new neighbourhoods, students will be bused to school with the intent that a new school site will be dedicated nearby as part of future residential subdivisions to the south. Besides the location of the Transit Hub, the following figure shows a potential Transit routes providing incredible access to public transportation.

High density residential development in Aurora would have ease of access to identified transit routes and are all generally situated within 800 m or 5 to 10 minute walk of a future Transit Hub as identified on Figure 10.

Figure 10: Transit Plan



Regulatory Context and Analysis



5.1 MIXED LARGE MARKET (MLM)

Concurrent with the approval of the Concept Plan was the approval of the zoning district that best fit the intended uses associated with the vision for an Urban Centre. To this end, the Mixed Large Market (MLM) zoning district was proposed and approved by Council. According to the Zoning Bylaw:

Lands zoned Mixed Large Market are intended to:

- a) *provide for mixed-use development within a building or single lot.*
- b) *accommodate the development of planned shopping centres and major business groupings comprised of retail, services and offices serving a region wide population extending beyond the immediate neighbourhood; and*
- c) *promote high intensity development along arterial streets, key transportation corridors, near transit stops or area suitable for intensification.*

Mixed-use development need not only be vertical, but also horizontal in nature which is stated in the SENP as:

“Mixed-use areas may contain a mix of commercial, residential and employment uses mixed either vertically or horizontally. Other complementary uses may include office, cultural, and recreational uses.”

Not all retail buildings require residential units, just as not all apartments require retail on the ground floor. Allowing both uses to occur in the same general area makes Aurora a mixed-use development representative of an Urban Centre.

The MLM zone includes *Building, Stacked* as an appropriate building form and *Dwelling, Unit*, as an allowable use.

High Density Residential Justification Summary



Based upon the comprehensive analysis completed, the following summary observations are provided for consideration of City administration and Council as they pertain to high density residential development.

6.1 BROAD ASSESSMENT

- Council has discretionary authority enacted by the OCP policy to waive residential phasing requirements.
- Complies with the goals and policies of the OCP and SENP and the strategic directions provided for within the EVCP.
- Complies with the Master Development Plan vision for Aurora.
- Complies with zoning bylaw provisions, allowable use and built form.

6.2 DETAILED ASSESSMENT

- High density residential development is a key land use component for the composition of an Urban Centre and is necessary to meet the housing supply goals and population density targets set out by the OCP.
- High density residential provides an appropriate transition from large-format retail to low density residential envisioned to the south of the site.
- The inclusion of high density residential within an Urban Centre creates a complete community where residents can Live, Work and Play.
- Municipal services already exist.

- Adding high density residential increases housing stock for a variety of life stages and income levels, thus addressing housing need and affordability in accordance with City strategic priorities
- With growing employment demand there is a greater need for housing options in proximity to where the jobs are being created.
- Providing an opportunity for residents to live within walking distance of and patronize area businesses creates synergies that support the success and growth of the entire area. With greater number of potential customers comes greater retail opportunities which in turn attracts more residents to the area.
- Existing retailers will benefit from the proposed development by adding more eyes on the street for added security and additional customers that will help make their businesses become more successful.
- Residents will be attracted to the area by the benefits of additional housing options and the ability having various restaurant and retail options within walking distance resulting in less reliance on vehicles.
- Higher density residential near public transit will provide opportunities for higher ridership.
- Fewer vehicles in use will benefit the environment.
- Higher density residential development would help better utilize the city and developer investment in key infrastructure and public services, creating taxes and user fees enabling the city to receive a better return on their investment.

Conclusion



The purpose of this report was to provide an analysis of the way high density residential development meets the planning policies and to rationalize why it should be allowed anywhere within the Urban Centre. Furthermore, high density residential remains consistent with the strategic directions of the EVCP and is an allowable use in the Mixed Large Market (MLM) zoning district.

In keeping with the original vision for the area, high density residential development will help create a more compact and livable community full of life and vibrancy. **As such, we respectfully request Administration's and Council's support in waiving the residential phasing requirements to allow consideration of high density residential anywhere within the Aurora Urban Centre.**

Figure 11: High Density Residential Example



Appendix A - Detailed Policy Review

OCP LAND USE AND BUILT ENVIRONMENT GOALS & POLICIES		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
Goal 1 – Complete Neighbourhoods		
7.1.5	A diversity of housing types to support residents from a wide range of economic levels, backgrounds and stages of life including those with specific needs;	Will address the need for diversity of housing types.
7.1.9	Buildings which are designed and located to enhance the public realm, and contribute to a better neighbourhood experience;	The visual appearance of the buildings will contribute to an enhanced community experience.
7.1.10	Convenient access to areas of employment;	Will be within walking distance to retail employment.
7.5	Encourage appropriate mixed-use development and live-work opportunities within neighbourhoods, URBAN CORRIDORS and URBAN CENTRES.	The city will be encouraging appropriate mixed-use development.
Goal 3 – Urban Centres and Corridors		
7.10	Support the development or redevelopment of lands within identified urban centres and urban corridors to incorporate: 7.10.1 An appropriate mix of higher density residential and commercial development. 7.10.2 Mixed-use, transit-oriented development 7.10.3 Community amenities and open space	7.10.1 This addresses the need for higher density residential amongst commercial development. 7.10.2 Will contribute to a mixed-use development that will help support transit use. 7.10.3 Will help utilize Pacer Park.
7.11	Ensure land use, scale, and density of development within an urban centre or urban corridor is compatible with servicing capacity and provides appropriate transition to surrounding areas	Aurora has been serviced to accommodate the use and future density proposed to the south.

OCP HOUSING GOALS & POLICIES		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
Goal 1 – Housing Supply and Affordability – Increase the housing supply and improve housing affordability.		
8.8	Support residential intensification in existing and NEW NEIGHBOURHOODS to create complete neighbourhoods.	Higher density residential would support intensification in New Neighbourhoods.
Goal 3 – Diversity of Housing Forms		
8.11	Encourage developers to provide a greater mix of housing to accommodate households of different incomes, types, stages of life, and abilities in all neighbourhoods.	The diversity of units increases housing stock for a variety of life stages and income levels.
OCP – REALIZING THE PLAN		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
Goal 5 – Phasing and Financing of Growth		
14.20C	Notwithstanding any other policy of this plan, the phasing and/or development of land shall not be permitted to proceed unless it can be demonstrated, to the satisfaction of the City, that core services (e.g. water, wastewater, storm water, transportation, parks and recreation infrastructure) can be provided and maintained in a fiscally sustainable and cost effective manner.	The subject site is fully serviced with new infrastructure and therefore is fiscally sustainable.
14.20E	Notwithstanding policy 14.20, the City may, at its discretion, waive the phasing requirements of Policy 14.20 of this Plan where it is demonstrated that the proposed development: <ol style="list-style-type: none"> 1. Provides a demonstrable service or benefit which is not already being sufficiently provided by an existing development/use; 2. Relates to one of the following land-use categories: public/civic; institutional (i.e. research, education, medical); recreation (i.e. sports, athletics); 3. Is limited to one principal use; 4. Is contiguous to a fully developed and serviced area or an area that is in the process of being developed; and 5. Is compatible with existing adjacent development or planned future development. 	<ol style="list-style-type: none"> 1. Other residential is not being developed in the immediate area. 2. N/A 3. Is limited to one principal use. 4. Is next to existing and future retail commercial sites. 5. Is compatible with retail and future residential to the south.

Appendix B

SOUTHEAST REGINA NEIGHBOURHOOD PLAN POLICIES		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
4.0 Community & Neighbourhood Framework		
4.3 Commercial Area		
4.3(c)	Medium or high density residential uses may be permitted in the Commercial Area.	High density residential is allowed in the commercial area.
4.3(e)	Master Site Development Plans shall be required at the Development Permit stage which address the general location of building footprints, landscaping and lighting, parking, access, pedestrian connections, traffic signals and markings, and transit facilities, within the Commercial Area.	A Master Development Plan has been provided showing how the high density residential can integrate with existing and future commercial development.
4.9 Urban Centre		
4.4(b)	<p>The Urban Centre should be comprehensively planned to integrate:</p> <ul style="list-style-type: none"> • Small, medium, and large format retail uses • Medium to high density residential developments • An amenity space • A transit hub 	High density residential will provide the neighbourhood with affordable housing options to a broad segment of the population while helping to achieve or exceed minimum density targets. Residents will have ample access to the future transit hub.
7.11	Ensure land use, scale, and density of development within an urban centre or urban corridor is compatible with servicing capacity and provides appropriate transition to surrounding areas	Aurora has been serviced to accommodate the use and future density proposed to the south.
6.0 Mobility		
6.2(d)	Transit bus routing and road alignments should ensure that 90% of dwelling units are located within a 400m walking distance from a transit stop.	High density residential would be within 400m - 800 of a future transit stop.

8.0 IMPLEMENTATION

8.1 Development Phasing

8.1(c)	Pending conformity with the policies and/or growth plan of Part A of the City's OCP respecting the phasing and timing of growth and concept plan approval, the City may consider approving residential development within Phase 1 commercial lands as shown on Figure 25: Development Phasing Boundaries.	The proposal conforms to Part A of the OCP and can be considered appropriate for residential development within Phase 1 of the development.
--------	---	---

8.4 Neighbourhood Plan Interpretation

8.4(a)	Unless otherwise specified in this Neighbourhood Plan, the boundaries or locations of any symbols or areas shown on a map are approximate only, not absolute, and will be interpreted as such.	This indicates that the boundaries between areas are flexible. Due to proximity, the subject site can be considered part of the Mixed-Use area.
--------	--	---

Appendix C

EVCP LAND USE STRATEGY		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
Vision		
2.1	Comprising a future Urban Centre, the EVCP area will develop as a busy regional retail centre and vibrant mixed-use and residential area, providing essential components for a complete community in southeast Regina. The residential portion of the EVCP will provide a diversity of housing choices that support and integrate with adjacent commercial development. The 'Potential Mixed-Use' overlay is intended to encourage mixed-use development that creates an appropriate transition between residential and non-residential uses, provides a complementary interface with the EVCP major road system, and promotes pedestrian and transit-oriented development.	High density residential creates housing choices that is well integrated with adjacent commercial and provides a complementary interface that is pedestrian and transit-oriented.
Land Use Concept		
2.2	The Concept Plan provides the services to meet the short term and longer term commercial needs of Regina's southeast. Additionally, residential and mixed land uses will ultimately provide a diversity of housing options that will support retail uses, promote transit use and foster a vibrant urban centre.	Municipal services are available to Aurora. The housing options will support retail, promote transit use and will foster a vibrant Urban Centre.
Commercial – Urban Centre		
2.3.1	The EVCP incorporates all the essential elements of an Urban Centre, including small, medium, and large format retail uses, service and commercial uses, medium-high density residential, opportunities for mixed-use development, and a centralized transit hub.	High density residential use is a critical element required for a successful Urban Centre.
Residential/Mixed-use		
2.4	Medium and high density residential uses will also be utilized to provide an appropriate transition from large-format retail and other non-residential uses to low density residential areas. Low density residential may be located in the southern portion of the EVCP residential area, in proximity to Houghton Road.	High density residential intergrates with all retail formats and provides an appropriate transition to future low density residential to the south.

EVCP LAND USE STRATEGY		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
Residential/Mixed-use - Urban Centre		
2.4.1	As outlined in Section 2.3.1 of this plan, the Urban Centre encompasses the entirety of the plan area. The SENP identifies that residential development within the Urban Centre shall be predominantly medium and high density uses with some low density development to ensure transitions to neighbourhood areas to the south of the plan area. Vertical mixed-use (retail/residential) and live-work units are also encouraged. The residential portion of the EVCP will ensure a diversity of housing options with a minimum density of 50 people per hectare.	High density residential would exceed the minimum residential density of 50 people per hectare.
EVCP TRANSPORTATION STRATEGY		HIGH DENSITY RESIDENTIAL DEVELOPMENT COMPLIANCE
Transportation System Overview		
3.1	The internal road network is based on a grid system with two east-west road links which are spaced throughout the plan area to enhance connections while maintaining functional parcel sizes to support the anticipated land uses. The internal road network for the EVCP builds on the road network presented in the SENP.	Aurora includes a collector and arterial roads with functional parcel sizes..
Public Transit & Transit Hub		
3.6	The EVCP area will be well-served by transit as the SENP Transit Hub is proposed to be located within the commercial portion of the Urban Centre. Potential transit routes are highlighted in Figure 10: Transit Routes.	Aurora includes a transit route and a future Transit Hub.
Active Transportation		
3.7	Additional multi-use pathways are located adjacent to Haughton Road, Street C, Street D, and a portion of Street A, in order to promote active transportation within the plan area.	Multi-use pathway options are located within Aurora.
Servicing		
4.1	Installation of services will be completed as required within individual phases of the proposed development.	Servicing has been installed throughout Aurora.



Aurora Urban Centre High Density Residential Development

Supportive Rationale & Justification Report



JUNE 2022

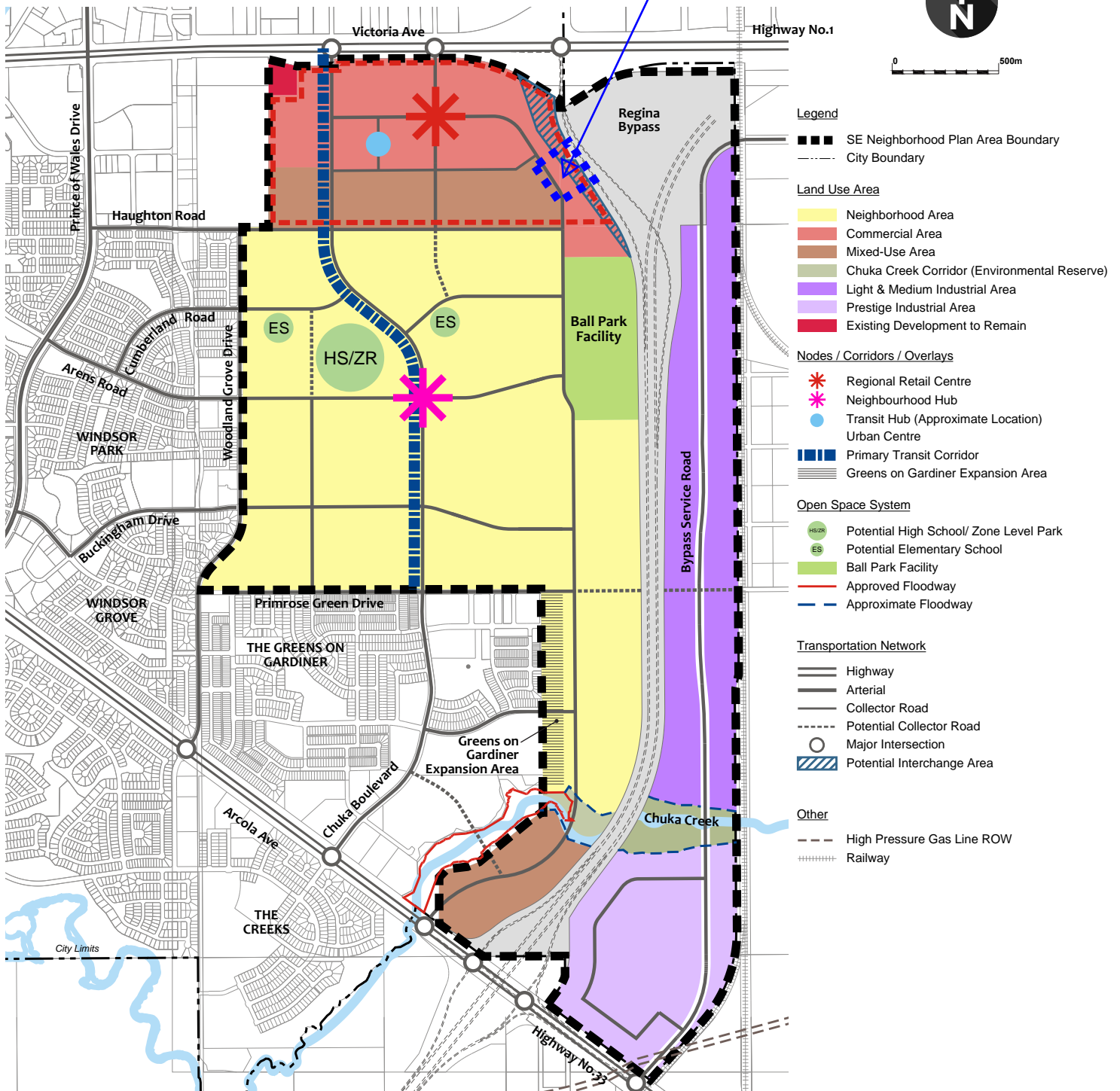
Master Development Plan

Figure 7: Aurora Master Development Plan

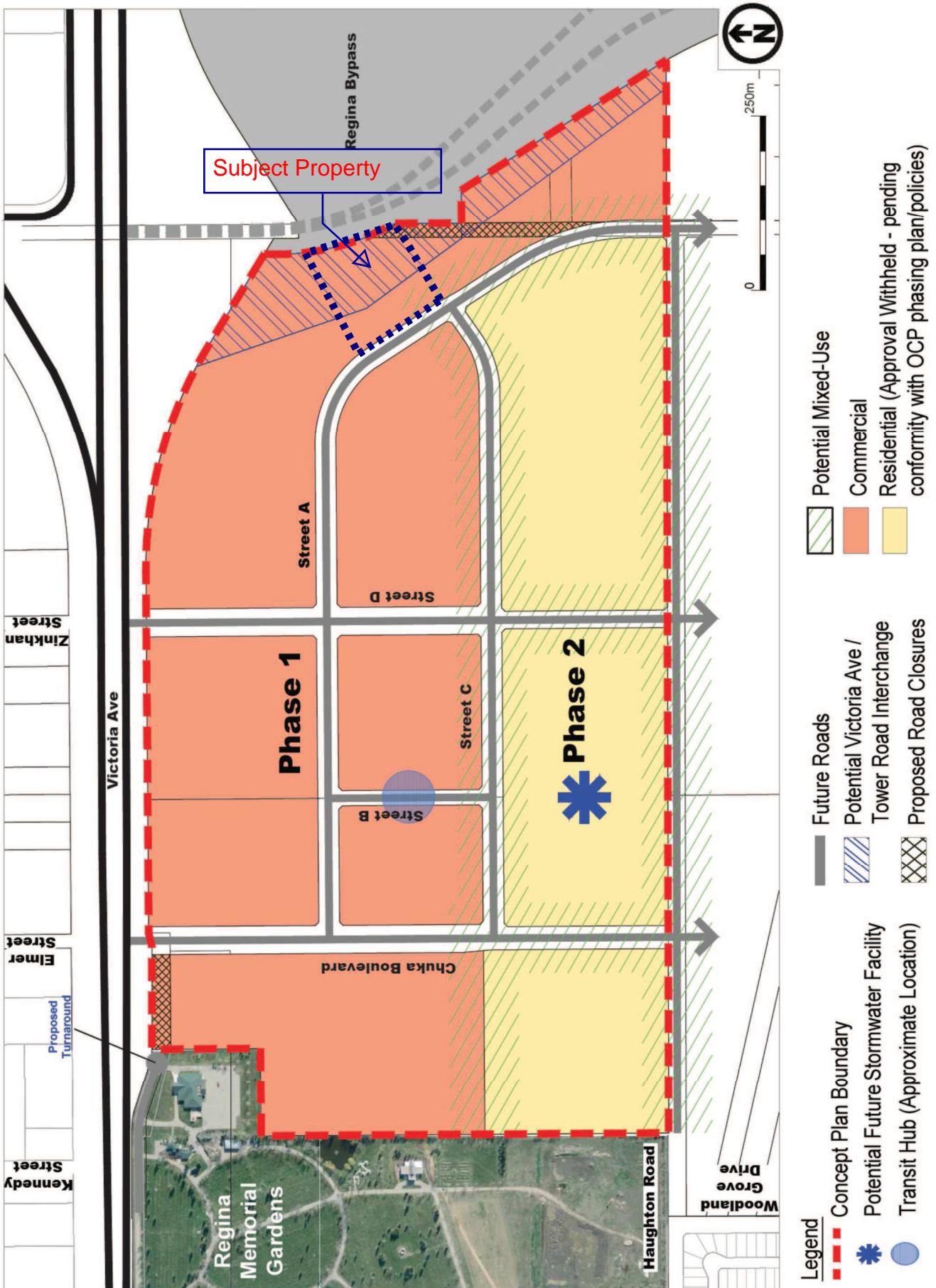


F11 | Land Use Concept

Subject Property



East Victoria Concept Plan – Land-Use



*Not for construction purposes



Heritage Designation

Date	October 4, 2022
To	Regina Planning Commission
From	City Planning & Community Development
Service Area	Planning & Development Services
Item No.	RPC22-32

RECOMMENDATION

Regina Planning Commission recommends that City Council:

1. Approve the application for designation of each of the following addresses as a Municipal Heritage Property:

Common Name	Address	Parcel
1. Watchler Residence	77 Leopold Crescent	Lot: ½, Block: 1, Plan: DV 678
2. Munteer Residence	276 Angus Crescent	Lot: 27, Block: J, Plan: DV 678; Lot: 50, Block: J, Plan: 101172002
3. Balfour Residence	1300 College Avenue	Lot: 12, Block: 468, Plan: OLD33
4. Dixon Residence	1410 College Avenue	Lot: 11, Block: 467, Plan: OLD33
5. Omand Residence	2234 Angus Street	Lot: 16, Block: 435, Plan: OLD 33
6. Prince Charles Apartment	2121 15 th Avenue	Lot: 18/19, Block: 460, Plan: OLD 33; Lot: 28, Block: 460, Plan: 101187008
7. Mackenzie Residence	2544 Albert Street	Lot: 36, Block: 505B, Plan: CM3942; Lot: 44, Block: 505B, Plan: 101222086
8. Neal Institute	3124 Victoria Avenue	Lot: 46, Block: 336, Plan: 99RA05074

9. Portnall Residence	109 Angus Crescent	Plan: DV678 Block: 3 Lot: 3; Plan: 101218047 Block: 3 Lot: 12
-----------------------	--------------------	--

2. Instruct the City Solicitor to issue and serve notice of Council's intention to consider a bylaw to designate each of the properties at the following addresses as Municipal Heritage Properties in accordance with *The Heritage Property Act*: 77 Leopold Crescent, 276 Angus Crescent, 1300 College Avenue, 1410 College Avenue, 2234 Angus Street, 2121 15th Avenue, 2544 Albert Street, 3124 Victoria Avenue, and 109 Angus Crescent.
3. Instruct the City Solicitor to prepare the necessary Municipal Heritage Property bylaws to be considered by Council at its first meeting following the statutory notice period to:
 - a. Designate each of the subject properties as a Municipal Heritage Property;
 - b. Identify the reasons for the designation and character-defining elements as stated in Appendix A, B, C, D, E, F, G, H, and I, respectively, and attached to this report, for 77 Leopold Crescent, 276 Angus Crescent, 1300 College Avenue, 1410 College Avenue, 2234 Angus Street, 2121 15th Avenue, 2544 Albert Street, 3124 Victoria Avenue, and 109 Angus Crescent respectively;
 - c. Provide that any subsequent alterations to the property be consistent with the "*Standards and Guidelines for the Conservation of Historic Places in Canada*";
 - d. Upon adoption of a bylaw designating each of the subject properties as Municipal Heritage properties, instruct the Office of the City Clerk to remove the properties from the Heritage Inventory and add them to the Heritage Registry.
4. Approve these recommendations at its meeting on October 12, 2022.

ISSUE

The owners of following nine properties have applied to designate their property as a Municipal Heritage Property:

Owner	Address
Xu Liu and Yun Wang	77 Leopold Crescent
Jackie Schmidt	276 Angus Crescent
Gail Juanita Walter	1300 College Avenue
Elizabeth and Robert Ivanochko	1410 College Avenue
Karla Kit McManus and Dieter Arn Bergman Toews	2234 Angus Street
Prince Charles Place Ltd.	2121 15 th Avenue

Ellen M and William N McClughan	2544 Albert Street
Rose-Marie and Ovid Arthur Meertens	3124 Victoria Avenue
Edward Jones and Jeannie Mah	109 Angus Crescent

Applications for designation are considered in accordance with Section 11 of *The Heritage Property Act* (The Act) and *The Heritage Inventory Policy* (2019-1-CPD) adopted by City Council on March 25, 2019, which provides guidance on the evaluation of heritage properties and how recommendations for designation are brought forward to Council.

IMPACTS

Financial Impacts

Conservation of heritage buildings provides a public benefit as it enhances the quality of life, strengthens community identity, and is a source of civic pride. The City of Regina provides incentives to support owners to ensure those benefits are realized. Two of these properties, 77 Leopold Crescent and 2121 15th Avenue, have an active application for heritage incentives.

Designated Heritage Properties are eligible for:

- Maintenance Grants equivalent to 50 per cent of eligible maintenance costs, to a maximum grant amount of \$5,000
- Major Grants equivalent to 50 per cent of eligible conservation work costs to a maximum of \$50,000.
- A property tax exemption of up to 10 years to a maximum value equivalent to 50 per cent of eligible conservation work costs; whichever is less.
- Owners of eligible properties may apply for both Tax Exemptions and Major Grant if the combined value of the incentives does not exceed 50 per cent of eligible conservation work costs. Approval is subject to the review and recommendations of the Incentive Review Panel, availability of funds, and approval of City Council.

Environmental Impacts

The recommendations in this report have limited direct impacts on energy consumption and greenhouse gas emissions. However, preserving heritage buildings can prevent greenhouse gas (GHG) emissions resulting from the demolition of the existing structure and the construction of a new building. For example, the retention of an existing building prevents the generation of construction waste and demolition waste that would have been disposed of at the landfill. Some of the materials disposed of at the landfill would also generate GHG emissions.

Policy/Strategic Impacts

The recommendation for designation based on the application from the property owners and confirmation of each property's heritage significance is consistent with the policies contained within Section D8, Culture, of Part A of *Design Regina: The Official Community Plan Bylaw No. 2013-48* (OCP), specifically:

- 10.5. Encourage owners to protect historic places through good stewardship and voluntarily designating their property for listing on Historic Property Register.

Heritage designation of the subject properties, as well as their conservation, will enhance the building's long-term economic viability and protect its character-defining elements. The designation will also ensure the building's continued contribution to the historical and architectural character of Regina.

Other Impacts

None with respect to this report.

Accessibility Impacts

None with respect to this report.

OTHER OPTIONS

If Council determines that one of more properties do not have sufficient heritage significance to warrant designation, Council may reject the application.

COMMUNICATIONS

The Heritage Sector Reference Group and the Ministry of Parks, Culture and Sport have received a copy of each application.

The Heritage Sector Reference Group is a newly constituted committee formed to advise Administration on heritage matters. The committee includes representation from community heritage advocates and experts as well as the development community and property owners. The committee is in support of designation for these properties and feedback was limited to specific adjustments to the Evaluations and Statements of Significance (SOS) which have been incorporated.

The Ministry of Parks, Culture and Sport Heritage Conservation Branch also suggested specific adjustments to the Evaluations and Statements of Significance which have been incorporated.

DISCUSSION

Designation as a Municipal Heritage Property recognizes and legally protects a property's heritage value. Designation also encourages good stewardship of heritage assets by providing tools for managing the care and maintenance of properties and allowing property owners to access financial support for conservation projects through the City's *Heritage Incentive Policy*. Recent policy and program changes have focused on encouraging owners of heritage properties to voluntarily protect and conserve their buildings. Receipt of nine designation applications this year, when previously the norm was one to two annually, is a positive signal that these adjustments are working.

Once designated, the City works with property owners to ensure that repairs and renovations maintain the heritage integrity of the property. A Heritage Alteration Permit is required for changes to the exterior and the *Standards and Guidelines for the Conservation of Historic Places in Canada* are used to evaluate and approve proposed alterations.

The City also monitors maintenance of heritage properties through biannual inspections. Letters are sent out to properties flagged for maintenance issues through the inspection process with information on maintenance requirements and available incentives options. Follow up inspections are conducted annually on flagged properties. A proposed maintenance bylaw is in development that will further clarify standards and the procedure through which specific repairs can be ordered.

Statement of Significance and Evaluation forms for each of these properties are attached as Appendices to this report. The subject Properties and their corresponding appendices are listed below:

Address	Property Type	Thematic Framework	Appendix
77 Leopold Crescent	Residential	Capital City Development	A
276 Angus Crescent	Residential	Capital City Development	B
1300 College Avenue	Residential	Architecture & Design	C
1410 College Avenue	Residential	Health Care & Social Services	D
2234 Angus Street	Residential	Multicultural Settlement Architecture & Design	E
2121 15 th Avenue	Multi-Family	Capital City Development Architecture & Design	F
2544 Albert Street	Residential	Capital City Development	G
3124 Victoria Avenue	Residential	Architecture & Design	H
109 Angus Crescent	Residential	Architecture & Design	I

DECISION HISTORY

On March 25, 2019, City Council adopted The Heritage Inventory Policy (CR19-20).


Respectfully Submitted,

Respectfully Submitted,



Autumn Lawson, Director, Planning & Development Services

9/15/2022



Deborah Bryden, Executive Director

9/20/2022

Prepared by: Aastha Shrestha, City Planner II

ATTACHMENTS

- Appendix A - Heritage Designation - 77 Leopold Crescent
- Appendix B - Heritage Designation - 276 Angus Crescent
- Appendix C - Heritage Designation - 1300 College Avenue
- Appendix D - Heritage Designation - 1410 College Avenue
- Appendix E - Heritage Designation - 2234 Angus Street
- Appendix F - Heritage Designation - 2121 15th Avenue
- Appendix G - Heritage Designation - 2544 Albert Street
- Appendix H - Heritage Designation - 3124 Victoria Avenue
- Appendix I - Heritage Designation - 109 Angus Crescent



Date of Photography : 2020



Subject Property



Heritage Property





Date of Photography: 2020



Subject Property



Heritage Property

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	March 29, 2021
	Neighbourhood	Cathedral
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

<p>Historic Place Name</p> <p>Watchler Residence</p>	
<p>Municipal Address</p> <p>77 Leopold Residence</p>	<p>Year of Construction</p> <p>1929</p>
<p>Architectural Style</p> <p>Italianate</p> <p>Architect/Designer</p> <p>Unknown</p> <p>Builder</p> <p>Waterman-Waterbury Manufacturing Co.</p>	<p>Legal Address/Description</p> <p>Lot 1-2, Block 1, Plan DV678</p> <p>Site Area (m²)</p> <p>Themes:</p> <p>Capital City Development</p>
<p>Consultant</p> <p>Donald Luxton & Associates</p>	
<p>Heritage Planner</p>	



HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name Watchler Residence
----------------------------------	---

Description of Historic Place

The Watchler Residence is located along Leopold Crescent near to the Royal Saskatchewan Museum and Wascana Park. The two-storey house is characterized by its Italianate architecture, featuring a hipped roof, projecting central entryway with buttressing, arched doorway with decorative brickwork surround, and arched window assemblies. The Watchler Residence is situated in the historic Crescents area of Regina's Cathedral neighbourhood in a residential enclave of similarly large, single-detached houses.

Heritage Value of Historic Place

The Watchler Residence is valued as an excellent example of the type of high quality suburban residential development occurring in the Crescents area during the resurgent Interwar period. Development of the Crescents area was initiated by the Canada North-West Land Company (CNWLC) as a very early addition to the Regina townsite. First subdivided in 1887, the Crescents originally consisted of 12 large semicircular and wedge-shaped lots between Leopold Crescent and College Avenue. However, it was not until the Edwardian era boom (1900s-1910s) when development in this area began in earnest. At this time, the large properties between Leopold Crescent and College Avenue began to be further subdivided to accommodate increased demand for residential development. The proximity of the Crescents area to Wascana Lake and Creek, the legislative building, and the proposed terminus and hotel of the Grand Trunk Pacific Railway made it a desirable and exclusive area. Having been outside the jurisdiction of Regina, the Crescents were annexed by the City in 1911. While development halted with the outbreak of the First World War, it resumed the following decade and continued into the mid-century. The Watchler Residence was constructed in 1929, just prior to the financial collapse and the start of the Great Depression, and with its handsome symmetrical façade, quality construction materials, and mature landscaping exists as a tangible example of the typical interwar dwellings being constructed in the Crescents area.

Constructed in 1929, the Watchler Residence is valued for its association with its original owner and residence Franklin E. Watchler (1891-1978), longtime builder, salesperson, and eventual executive with the Waterman-Waterbury Manufacturing Company. Born in Minnesota, Watchler immigrated to Canada in 1911, settling in Regina presumably in collaboration with the Minneapolis-based Waterman-Waterbury who opened an office in the city at this time as well. Waterman-Waterbury was a general contracting firm, with a specialized focus on the manufacturing of heating equipment, and the design and construction of schools. They would build a substantial number of schools across Saskatchewan and Alberta, and construct various homes in Regina. Watchler married Regina-born Agnes E. Mulligan (1895-1988) in 1917, the couple lived in many homes across the city, and were the original residents of 77 Leopold Crescent. The Watchler family remained in the house only a few short years until circa 1933, when the dwelling was subsequently occupied by a series of professional families until it was purchased in the mid-1940s by long-time residents Jack (1895-1982) and Lillian (née Ratner; 1905-1985) Jampolsky.

The Watchler Residence is also valued for its unique Italianate-style of architecture. The Italianate roots are visible in its symmetrical design, its hipped-roof, prominent projecting central entryway with buttressing, tilework, and its Venetian and oriel windows. The design is reflective of period revival

HERITAGE INVENTORY EVALUATION FORM

houses built during the time between the two World Wars, which reflected the modern ideals of economy and good design, as well as an ongoing pride in, and nostalgia for, past traditions. At the time, it was presumed that a well-built house would display a traditional and readily-identifiable style, as a hallmark of good taste. The Watchler Residence represents the long-lasting appreciation for traditional residential design, as constructed during the Interwar period.

Character-Defining Elements

The character defining elements include but are not limited to:

- location along Leopold Crescent in the Crescents area of Regina with a significant setback from the street;
- residential form, scale and massing as expressed by its two storey height with hipped-roof; and full basement;
- wood-frame construction, with stucco cladding; concrete foundation; wood frieze; and wood window frames, casings, and sills;
- Italianate style details, such as its: symmetrical plan; hipped roof; overhanging eaves; projecting central front entryway accessed by a flight of steps with buttressed walls with multi-pane windows on either side, hipped roof, and decorative brick arched, with brick quoins and Art Deco-inspired brick motifs, surrounding the arched front door; faux arched windows with embedded mosaic tilework flanking the central second storey arched window; and oriel bay windows on the second storey;
- original fenestration with original wood sash windows and storms, including, but not limited to: original, arched, tripartite assemblies with multi-light arched windows flanking a central arched fixed window; single multi-light arched and rectangular windows; tripartite windows in the bays with eight-over-eight hung assemblies; vertical mullion casement windows on the side elevations and at the foundation level; fixed windows; and tripartite arched assembly at the second storey balcony, featuring a central arched door;
- original arched wooden front door; and
- tall, external red brick chimney with corbelling details and embedded tilework at the base of the chimney stack.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name Watchler Residence
-------------------------------	---

<p>Values Summary</p> <ul style="list-style-type: none"> Valued as an excellent example of the type of high quality suburban residential development occurring in the Crescents area during the resurgent Interwar period. Valued for its association with its original owner and residence Franklin E. Watchler. Valued for its unique Italianate-style of architecture.
--

<p>Period of Significance</p> <p>1920s</p>
--

<p>Chronology of Alterations</p> <p>Unknown Dates:</p> <ul style="list-style-type: none"> Two-storey central gable projection, and one-storey addition, including attached garage, all at the rear of the residence. Installation of aluminum fascia and soffit along the eaves of the roof and above front entryway. Removal of barrel tile roof.

<i>Aspects of Integrity</i>			
1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

<p>Statement of Integrity</p> <p>The <u>Watchler Residence</u> maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).</p> <p>The Watchler Residence retains an excellent degree of its historic fabric and integrity, and its later additions at the rear of the property do not diminish the heritage significance of this dwelling. The house and property continue to be well maintained by its present owners.</p> <ul style="list-style-type: none"> Foundation: The foundation appears to be concreted and is painted on the exterior. Cladding: Stucco cladding is in good condition. No cracking observed.
--

HERITAGE INVENTORY EVALUATION FORM

- Roof: Asphalt shingle roof is presently in good condition. Original roof material unknown, though the house did previously feature a barrel tile roof with prominent ridge caps, which would have been appropriate for its Italianate style.
- Roof elements: Original wood frieze still below eaves and is in good condition. Aluminum fascia and soffit have replaced original wood features along the eaves.
- Windows: All original wood window sashes and storms are extant with the exception of one 2nd storey window on the north elevation.
- Doors: Original front door is extant and appears to be in good condition.
- Other: Chimney appears to be in good condition, though there is evidence of past repointing. Mosaic tilework on front elevation, and tilework on brick chimney stack appear to be good condition. Tilework on chimney is similar to another installation on an external chimney stack on 323 Leopold Crescent.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name Watchler Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. <i>(Historic)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. <i>(Historic)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. <i>(Aesthetic, Architectural, Technical)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. <i>(Social, Cultural, Spiritual)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. <i>(Landmark, Symbolism)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. <i>(Scientific, Educational)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. <i>(Historic, Rarity)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. <i>(Context, Landscape, Urban Context, Group Value)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: <ul style="list-style-type: none"> Association with Franklin Watchler and the Waterman-Waterbury Mfg. Co. who were prominent designers and builders of a number of structures throughout the city and western Canada. High integrity of historical fabric. 	<input type="checkbox"/> No (Result is GRADE 2)		<input checked="" type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input type="checkbox"/> Grade 2		<input checked="" type="checkbox"/> Grade 1		
Date Evaluated by City:					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Watchler Residence
--------------------------	---



Caption: Aerial view of the Watchler Residence.

Date: 1951

Source: City of Regina

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the Watchler Residence from the south.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front elevation of the Watchler Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the front entryway of the Watchler Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of an oriel window on the front elevation of the Watchler Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the central arch window and flanking mosaic tileworks on 2nd storey of the Watchler Residence's front elevation.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the Watchler Residence from the east.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Partial view of the north elevation of the Watchler Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the tile and brick work on the external chimney stack on the north elevation of the Watchler Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the Watchler Residence from the north.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES

Eligibility for inclusion the Heritage Inventory:

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

HERITAGE INVENTORY EVALUATION FORM

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

HERITAGE INVENTORY EVALUATION FORM

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.









From east, June 13, 2022



Date of Photography: 2020



Subject Property



Heritage Property

Heritage Inventory Evaluation Form

HERITAGE INVENTORY EVALUATION FORM

Appendix B

2018 Version

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	<p>Evaluation Date June 1, 2021</p>
	<p>Neighbourhood Cathedral</p>
	<p>Designation</p>
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>	

<p>Historic Place Name</p> <p>Mounteer Residence</p>	
<p>Municipal Address</p> <p>276 Angus Crescent</p>	<p>Year of Construction 1930</p>
<p>Architectural Style</p> <p>Period Revival</p> <p>Architect/Designer</p> <p>Unknown</p> <p>Builder</p> <p>Waterman-Waterbury Manufacturing Co.</p>	<p>Legal Address/Description</p> <p>Lot 27, Block J, Plan DV678</p> <p>Lot 50, Block J, Plan 101172002</p> <p>Site Area (m²)</p> <p>Themes:</p> <p>Capital City Development</p>
<p>Consultant</p> <p>Donald Luxton & Associates</p>	
<p>Heritage Planner</p>	



HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name Mounteer Residence
----------------------------------	---

Description of Historic Place

The Mounteer Residence is located midblock, adjacent to a laneway, along Angus Crescent in the Crescents area of Regina's Cathedral neighbourhood. The house is characterized by its one and one-half storey form, side-gable roof with exaggerated jerkinheads, prominent front gable projection with cat-slide roof and wall buttressing, and a gambrel dormer. It is situated among other historic single-family dwellings in a primarily residential neighbourhood.

Heritage Value of Historic Place

The Mounteer Residence is valued as a splendid example of the type of high quality suburban residential development occurring in the Crescents area during the Interwar period. Development of the Crescents area was initiated by the Canada North-West Land Company (CNWLC) as a very early addition to the Regina townsite. First subdivided in 1887, the Crescents originally consisted of 12 large semicircular and wedge-shaped lots between Leopold Crescent and College Avenue. However, it was not until the Edwardian era boom (1900s-1910s) when development in this area began in earnest. At this time, the large properties between Leopold Crescent and College Avenue began to be further subdivided to accommodate increased demand for residential development. The proximity of the Crescents area to Wascana Lake and Creek, the legislative building, and the proposed terminus and hotel of the Grand Trunk Pacific Railway made it a desirable and exclusive area. While development halted with the outbreak of the First World War, it resumed the following decade, which saw the completion of the Mounteer Residence in 1930 immediately after the onset of the Great Depression. The Mounteer Residence remains a great example of an impressive house constructed at a time of economic uncertainty.

The Mounteer Residence is additionally valued for its association with its original owners and residents, the Mounteer family. Dr. Edwin A. Mounteer (1888-1951) was born in Chatham, Ontario, and received his education in dentistry in Toronto, and later in Chicago, where he graduated from the Northwestern University Dental School in 1915. Moving to, and practicing in Radville, Saskatchewan, Mounteer served briefly with the Canadian Army Dental Corps during the First World War. By 1920 he had relocated to Regina, instituting his dental practice in the McCallum Hill Building. Edwin married Enid M. Conrod (1896-1996) in 1923. While maintaining a successful practice, Edwin was also active in the community, serving on the Kiwanis Club and provincial College of Dental Surgeons, and with the University of Saskatchewan's Board of Examiners. Additionally, he was actively involved in local sporting communities and fund-raising efforts during the Second World War. The Mounteer family remained in this house until 1941, when it was sold to Bert L. and Barbara J. Neil.

Completed in 1930, the Mounteer Residence is valued for its whimsical Period Revival architectural style. The Period Revival movement predominated between the two World Wars. As North America had not suffered physical devastation during the First World War, there was little need to adopt the aggressively modernistic styles which were becoming prevalent in Europe. Instead, there was a feeling of pleasant and comfortable nostalgia, and a return to the cozy traditional styles of earlier eras. During this period of entrenched traditionalism, Period Revival styles - often used in eclectic blends - reached the height of their popularity. The stucco exterior, cat-slide roof feature, wall buttressing, and two prominent chimneys characterize the eclectic Period Revival style of the Mounteer Residence. The

HERITAGE INVENTORY EVALUATION FORM

house was constructed by Waterman-Waterbury Manufacturing Co., a general contracting firm with a specialized focus on the manufacturing of heating equipment, and the design and construction of schools. The company would build a substantial number of schools across Saskatchewan and Alberta and construct many unique, private homes in Regina.

Character-Defining Elements

The character defining elements include but are not limited to:

- location midblock along Angus Crescent, adjacent to a laneway, in the Crescents area of Regina's Cathedral neighbourhood;
- residential form, scale, and massing as expressed by its: one and one-half storey height with rectangular-plan and full basement; original steeply pitched gable roof structure with large jerkinheads; and gable projection on front elevation with cat-slide roof;
- wood frame construction with stucco cladding; parged concrete foundation; wood fascia, bargeboards, soffit; and wood window frames and casings;
- Period Revival style details such as its: asymmetrical front elevation with gable projection including a cat-slide roof over central entryway; wall buttressing; simple, stucco clad corbel brackets; and gambrel roof dormer;
- fenestration including original arch, Tudor arch, and rectangular window openings; stained, came glasswork in wood window sashes flanking chimney on south elevation; and
- additional features including possible extant coal chute door on south elevation; and tall external rug-texture, variegated red brick chimney with a corbelled cap and clay pots.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name Munteer Residence
-------------------------------	--

Values Summary

- Valued as a splendid example of the type of high quality suburban residential development occurring in the Crescents area during the Interwar period.
- Valued for its association with its original owners and residents, the Munteer family.
- Valued for its whimsical Period Revival architectural style.

Period of Significance

1930s

Chronology of Alterations

Unknown Dates:

- Large full-width addition to rear of residence resulting in alteration of its original roofline.
- Removal and replacement of all original wood window assemblies, except for stained glasswork sashes.
- Resizing and repositioning of window openings in gambrel dormer.
- Addition of an external, stucco clad chimney stack on the north elevation.
- Original recessed entryway enclosed.
- Removal of decorative roof ridge capping.
- Extensive repointing of brick chimney stack above roofline.

Aspects of Integrity

1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

Statement of Integrity

The Munteer Residence maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).

The Munteer Residence retains a fair degree of historical integrity, and is in excellent condition and well maintained. There have been a number of interventions to the building, the most significant

HERITAGE INVENTORY EVALUATION FORM

being the removal of its original windows and large addition at the rear which has affected the interpretation of its original roofline and form.

- Foundation: Foundation material appears to be concrete and in good condition. Parging texture is likely not original.
- Cladding: Stucco cladding is likely not original, but is in good condition and is appropriate to what would have originally been applied to the historic residence.
- Roof: The roof is in good condition and features later asphalt shingles.
- Roof elements: Wood elements including the fascia and bargeboards, and stucco clad corbel brackets are all in good condition. Original decorative roof ridge caps have been removed.
- Windows: All original wood windows, save for stained glass windows, have been removed and replaced.
- Doors: Front door is not original, and original recessed front entryway has been enclosed.
- Other: Brick chimney stack appears to be in good condition, though there is evidence of small mortar loss and repointing above the roofline. Stucco clad chimney was a later addition.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name Munteer Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: •	<input checked="" type="checkbox"/> No (Result is GRADE 2)		<input type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input checked="" type="checkbox"/> Grade 2		<input type="checkbox"/> Grade 1		
Date Evaluated by City:					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Munteer Residence
--------------------------	--



Caption: Aerial view of the Munteer Residence.

Date: 1951

Source: City of Regina

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the Mounteer Residence.

Date: 1985

Source: City of Regina Heritage Inventory Form (V4, Roll 10, Frame 8)

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of south elevation (centre) of the Mounteer Residence with the large rear addition at centre-left.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of external rug-texture, variegated red brick chimney on the south elevation of the Mounteer Residence with original came, stain glasswork sashes on either side.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front (right) and south (left) elevations of the Munteer Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front elevation of the Mounteer Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the gambrel dormer on the front elevation of the Mouteer Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the enclosed (formerly recessed) front entryway and wall buttressing below the cat-slide roof on the front elevation of the Mounteer Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

HERITAGE INVENTORY EVALUATION FORM

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

HERITAGE INVENTORY EVALUATION FORM

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

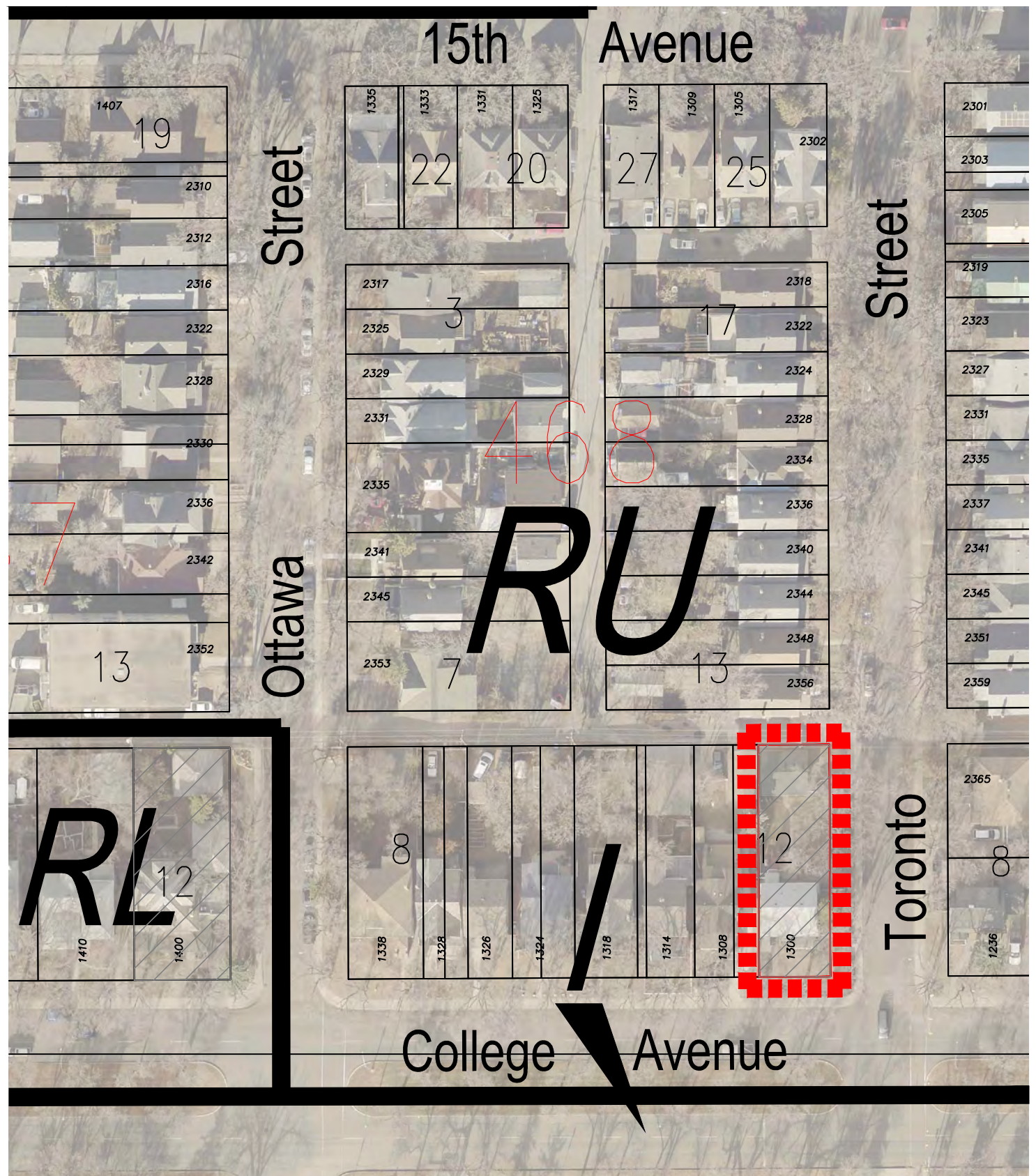
A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



Subject Property



Heritage Designation

Date of Photography : 2020





Date of Photography: 2020



Subject Property



Heritage Designation



<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	July 1, 2021
	Neighbourhood	Heritage
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

Historic Place Name Balfour Residence	
Municipal Address 1300 College Avenue	Year of Construction 1928
Architectural Style Dutch Colonial Revival Architect/Designer Unknown Builder Unknown	Legal Address/Description Lot 12, Block 468, Plan OLD33 Themes: Architecture & Design; Multi-cultural Settlement Site Area (m ²)
Consultant Donald Luxton & Associates	
Heritage Planner	



HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name Balfour Residence
----------------------------------	--

Description of Historic Place

The Balfour Residence is located on a corner lot fronting College Avenue at Toronto Street in Regina's Heritage neighbourhood. The one and one-half storey wood frame dwelling features Dutch Colonial Revival architecture, exhibited by its side-gambrel roof with partial eave returns, prominent projecting one-storey sunroom with flat-roof, and arched hood over the front door. The dwelling is situated in a primarily residential area, featuring a mixture of single-family detached dwellings and some apartment blocks.

Heritage Value of Historic Place

Constructed in 1928, the Balfour Residence is valued for its association with the Interwar development of the General Hospital district. Commonly defined as the area bordered by Victoria Avenue, College Avenue, Broad Street, and Winnipeg Street, the General Hospital district was originally platted as part of the 1882 Canadian Pacific Railway townsite subdivision. Residential development of the area was slow to start, beginning in earnest during the booming Edwardian era. Emerging as a neighbourhood for middle-income individuals and families, the area also hosted ethnic enclaves populated by central and eastern European immigrants, as well as a small Jewish population. The completion of the new Regina General Hospital in 1911 was a boon for the area, attracting new residents and residential development around the facility. Streetcar lines were inaugurated and extended between 1911 and 1913 along College Avenue and 11th Avenue/Victoria Avenue, east of Broad Street, providing convenient access to public transit to residents of the area. The house exists today as a tangible example of the quality Interwar dwellings constructed in the Heritage area, especially those along the important College Avenue corridor.

The Balfour Residence is additionally valued for its history of early occupants and owners, beginning with its association with original inhabitant and prominent Regina citizen, James Balfour (1867-1947). Born in Ontario, Balfour arrived in Saskatchewan in 1883. A teacher and later, barrister by profession, Balfour was one of the city's most well-known pioneers. James met his wife, Agnes Hayes (1864-1955), also from Ontario, while teaching in Battleford, and the two were married there in 1892. Balfour articulated with the Regina-based law firm of Scott & Hamilton early in his career, and was admitted to the bar in 1895, at which time he opened his own private practice. He served as a city councillor from 1904 and 1906 and was elected mayor of Regina in 1915 and 1931. In addition to his prominent career, Balfour served with many local organizations and societies, and was a recipient of the Salvation Army's Order of Distinguished Auxiliary Service for both his work with the charity and contributions to the broader community. Balfour resided at this dwelling only briefly, during the time in which his former residence was redeveloped, and the Balfour Apartments on Victoria Avenue were built in its place in 1929. Following the completion of apartments, Balfour and his family moved into the new structure. This house was subsequently occupied by a number of professionals including MLA John A. Merkley, Minister of Railways, Labour and Industries with the province, who lived here for approximately a year in 1930. In circa 1943, John Nikolou (d.1963), and his wife Ismini (née Giokas; d.1994), both originally from Greece, purchased the house and resided here until the early 1960s. John came to western Canada in 1913, first settling in Regina, then Empress, Alberta and Saskatoon. Returning to Regina in 1920 as an experienced restaurant owner, Nikolou became actively involved in a number of local eateries, including the Balmoral Café; the Cameo Café; and the Marina Café. John

HERITAGE INVENTORY EVALUATION FORM

and Ismini were married in 1927, and they moved out of the Balfour Residence shortly before John's passing.

The Balfour Residence is valued as an excellent and rare example of Dutch Colonial Revival architecture in Regina. The residence reflects a blossoming strong economy after an economic lull during the First World War. The Dutch Colonial Revival roots are clearly visible in its side gambrel roof, wide spanning saddlebag shed roof dormer and prominent projecting flat-roof sunroom. The design, though relatively unusual in Regina, is typical of period revival houses built in the period between the two World Wars, that reflected the modern ideals of economy and good design as well as an ongoing pride in past traditions. It was presumed at the time that a well-built house would display a traditional and readily-identifiable style as a hallmark of good taste. The use of the various Colonial Revival styles had gained new popularity during the 1920s at the time of the American Sesquicentennial.

Character-Defining Elements

The character defining elements include but are not limited to:

- location on a corner lot fronting College Avenue and Toronto Street in the Heritage area of Regina on a rectangular lot;
- form, scale, and massing as expressed by its one and one-half storey height; full basement; saddlebag dormers; small enclosed shed porch on rear elevation; and half-width, one-storey projecting sunroom on the front elevation;
- wood-frame construction with stucco cladding; wood trim elements including bargeboards, fascia, and soffit; and wood window frames, casings and sills;
- Dutch Colonial Revival features such as its: bellcast side-gambrel roof with eave returns and wide saddlebag dormer with pointed and notched bargeboards; off-centre entryway accessed by a short flight of steps with low, closed brick balustrade, and also with curved hood over the front door supported by ogee corbels; projecting, off-centre sunroom with flat-roof, decorative scroll-cut purlins, and dentil coursing above the windows; off-centre square bay projection with dentil crown moulding on rear elevation; and triangular canopy supported by wood brackets over side entrance on west elevation;
- original fenestration including as its single, double, and banked assemblies of hung wood windows with multi-light upper sashes; and multi-light, single sash windows;
- original glazed, multi-light, wood front door with sidelights; and additional panelled wood doors with inset glazing on side and rear elevations; and
- external red brick chimney.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name Balfour Residence
-------------------------------	--

<p>Values Summary</p> <ul style="list-style-type: none"> Valued for its association with the Interwar development of the General Hospital district. Valued for its history of ownership, beginning with its association with original owner and prominent Regina citizen, James Balfour and later owner, the Nikolou family. Valued as an excellent and uncommon example of Dutch Colonial Revival architecture in Regina.

<p>Period of Significance</p> <p>1920s</p>
--

<p>Chronology of Alterations</p> <p>Unknown Dates:</p> <ul style="list-style-type: none"> Aluminum storm windows added. Replacement of some windows on the basement and rear elevation. Addition of screendoors.

Aspects of Integrity			
1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

<p>Statement of Integrity</p> <p>The Balfour Residence maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).</p> <p>The Balfour Residence retains a high degree of its historic fabric and integrity, and is in excellent condition and well-kept and maintained by its past and present owners.</p> <ul style="list-style-type: none"> Foundation: The concrete foundation appears in good condition. Cladding: Stucco cladding is in good condition. Roof: Asphalt shingle roof is presently in good condition. Original roof material is unknown. Roof elements: Wood features such as bargeboards, fascia, soffits, and dentil coursing are all in good condition. There is some paint deterioration at the extremities of some of these components.

HERITAGE INVENTORY EVALUATION FORM

- Windows: Almost all windows retain their original wood sashes. Some aluminum storm windows have been added and several windows, primarily on the basement level and rear elevation have been replaced.
- Doors: Original multi-light front door and sidelights are in good condition.
- Other: External chimney appears to be in good condition.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name Balfour Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: <ul style="list-style-type: none"> The Balfour Residence is associated with prominent citizens James Balfour and John Nikolou and is a uncommon example of Dutch Colonial Revival architecture in Regina. 	<input type="checkbox"/> No (Result is GRADE 2)		<input checked="" type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input type="checkbox"/> Grade 2		<input checked="" type="checkbox"/> Grade 1		
Date Evaluated by City:					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Balfour Residence
--------------------------	--



Caption: Aerial view of the Balfour Residence.

Date: 1951

Source: City of Regina

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the west elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the side entrance on the west elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the main entryway on the front elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the sunroom on the front elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the banked window assembly, with dentil moulding, on the sunroom of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the east elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the external red brick chimney on the east elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the flared gambrel roofline and returned eaves at the northeast corner of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the rear elevation of the Balfour Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

HERITAGE INVENTORY EVALUATION FORM

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

HERITAGE INVENTORY EVALUATION FORM

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

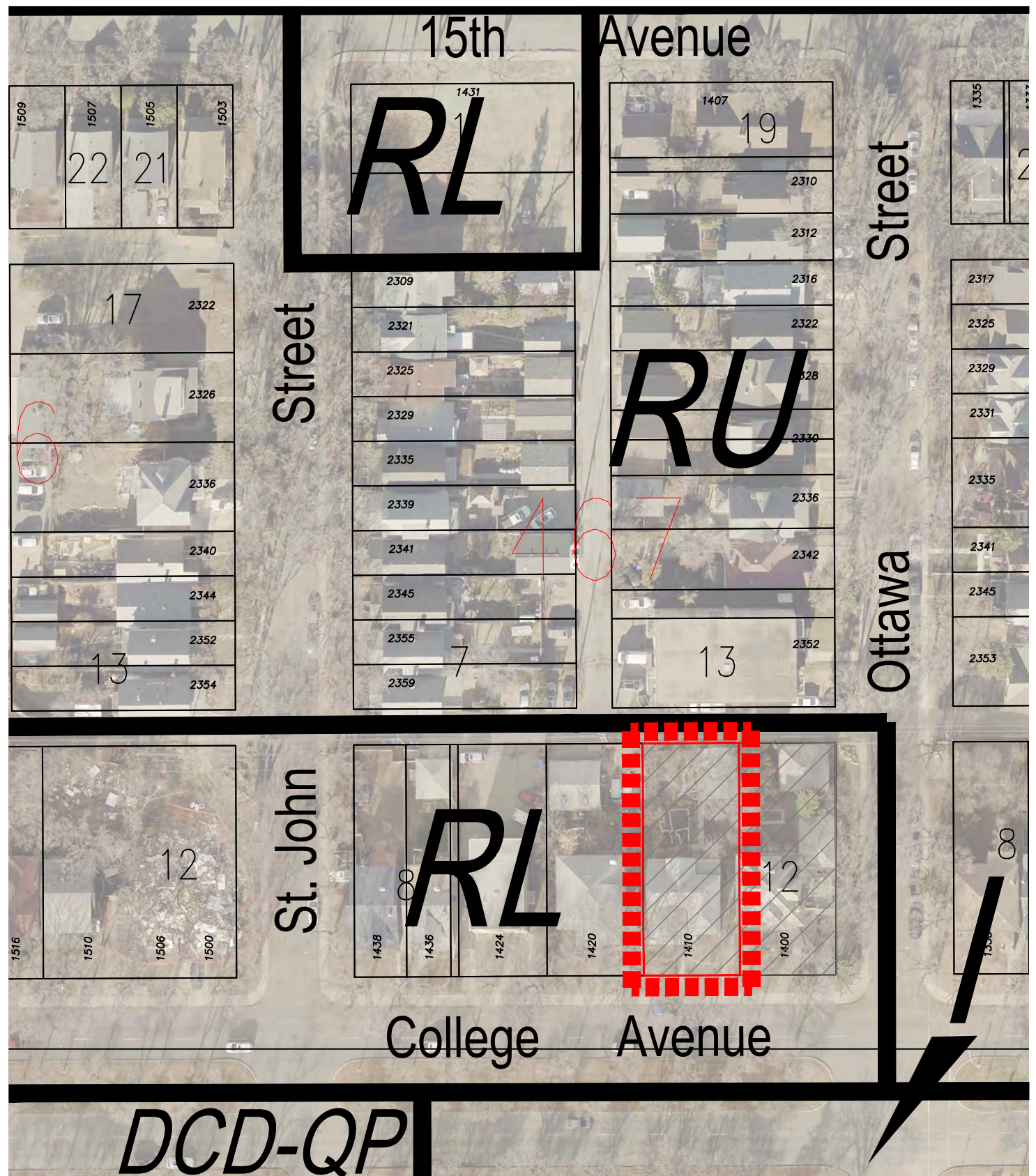
A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



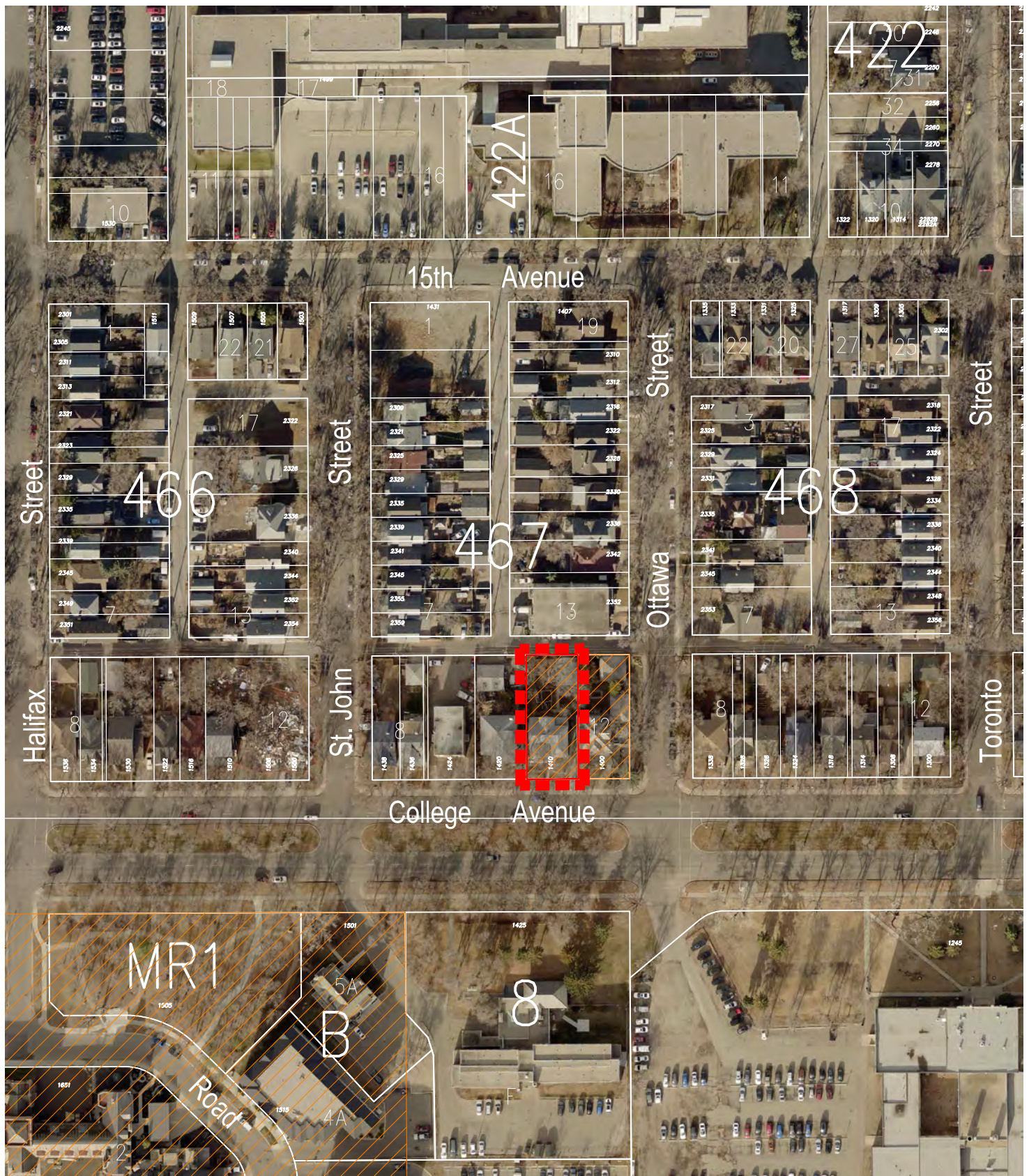
Subject Property



Heritage Designation

Date of Photography : 2020





Date of Photography: 2020



Subject Property



Heritage Designation

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date July 1, 2021
	Neighbourhood Heritage
	Designation
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>	

Historic Place Name Dixon Residence	
Municipal Address 1410 College Avenue	Year of Construction 1918
Architectural Style Period Revival Architect/Designer Unknown Builder Unknown	Legal Address/Description Lot 11, Block 467, Plan OLD33 Themes: Capital City Development Site Area (m ²)
Consultant Donald Luxton & Associates	
Heritage Planner	



HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name Dixon Residence
----------------------------------	--

Description of Historic Place

The Dixon Residence is located midblock on the north side of College Avenue between St. John and Ottawa Streets in the General Hospital district of Regina's Heritage neighbourhood. The residence is setback from the street with a lane running behind the residence. The house is identifiable by its: rectangular two-storey form with steeply sloping saltbox, side-gabled jerkinhead roof; two-storey hip-roof wing at its southeast corner; shed roof dormer; stucco exterior; and, triple assembly wood windows on the front elevation of both floors of its southeast wing.

The Dixon Residence, constructed in 1918, is valued for its association with the Interwar development of the General Hospital district of the Heritage neighbourhood. The district is defined as the area bordered by Victoria and College Avenues and Broad and Winnipeg Streets. This area was laid out as part of Regina's original 1882 Canadian Pacific Railway townsite subdivision. Although residential development of the General Hospital district was slow to start, the Edwardian economic boom resulted in a surge in development. During this period residences, as well as local amenities including institutional and ecclesiastical buildings, were constructed. The neighbourhood was home to an emerging community of middle-income individuals and families. In 1911, the completion of the new Regina General Hospital was a boon for the area, attracting new residents and development of the blocks around the facility. Installation of streetcar lines and their extension (1911 and 1913) along College Avenue and 11th Avenue/Victoria Avenue, east of Broad Street, provided a convenient means of public transit for neighbourhood residents. The outbreak of the First World War paused non-essential development in Regina as manpower and materials were repurposed to support the war effort. Development in Regina began again after the end of the war and it was during this time that the extant residence was constructed. The Dixon Residence is located a few blocks south of the General Hospital, along College Avenue which is an important transportation corridor.

The Dixon Residence is further valued for its connection with longtime resident and original owner, Dr. Charles H. Dixon (1886-1970). Born in North Gower, Ontario, he studied dentistry at the University of Toronto and Northwestern University in Chicago, graduating in 1911. Charles married Edith E. Campbell (1888-1968), also from Ontario, in 1912. The couple moved first to Kerrobert, Saskatchewan before settling in Regina in 1918. That same year, the couple had the extant residence constructed on College Avenue. Dr. Dixon, in partnership with Dr. Harold Minion, practiced dentistry for over 40 years in Regina. In addition to his practice, he also served as an alderman (1929-1932 and 1934-1935) and property developer, commissioning construction on the 14-suite Madrid Apartments a few blocks to the west on College Avenue, which were designed by prominent Regina architects Storey & Van Egmond in 1927. Dr. Charles and Edith Dixon resided in the extant home until their deaths in 1968 and 1970, respectively.

The Dixon Residence is also valued as an early example of a Period Revival style residence. Period Revival architecture was popular both before and after the First World War. This architectural style projected a sense of traditionalism of earlier periods and drew upon aspects of the historical architectural styles. The Dixon Residence conveys the Period Revival style through its jerkinhead roof, dormer, exterior stucco cladding, multiple roof types, half-timbering in the gables, triangular brackets, multi-assembly and multi-light windows, and open soffits with exposed raftertails.

HERITAGE INVENTORY EVALUATION FORM

Character-Defining Elements

The character defining elements include but are not limited to:

- location midblock on College Avenue in the General Hospital district of Regina's Heritage neighbourhood between St. John and Ottawa Streets;
- form, scale, and massing as expressed by its: two-storey height with rectangular-plan; basement; enclosed front verandah; two-storey hip roof wing on the southeast corner; shed roof dormer front elevation; and two-storey gable roof wing on the rear of the residence;
- wood frame construction with stucco cladding; wood fascia, bargeboards, and soffit; and wood window frames and casings;
- Period Revival style details such as its: asymmetrical design; side-gable jerkinhead roof with half-timbering detail and wood knee brackets on west elevation; large, shed roof dormer with tongue and groove wood soffit; hip roof wing on the southeast corner; gable roof wing on the rear elevation; open soffits with exposed raftertails; pointed wood bargeboards; and shed roof bay on west elevation; and
- original fenestration including, but not limited to: single and double assembly window openings; single assembly multi-light fixed wood window with wood storm window; triple assembly 1-over-1 hung wood windows with wood storm windows; and triple assembly asymmetrical hung wood windows with multi-light upper sashes and wood storm windows.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name Dixon Residence
-------------------------------	--

<p>Values Summary</p> <ul style="list-style-type: none"> Valued for its connection with longtime resident and original owner, Dr. Charles H. Dixon. Valued as an early example of a Period Revival style residence.

<p>Period of Significance 1910s</p>

<p>Chronology of Alterations Unknown Dates:</p> <ul style="list-style-type: none"> Enclosed front verandah altered. Windows of shed dormer altered. Second floor window on front elevation of southeast wing replaced. One-storey shed roof addition on rear added.

Aspects of Integrity			
1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

<p>Statement of Integrity</p> <p>The Dixon Residence maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).</p> <p>Overall the original design and materials of the Dixon Residence remain intact and in good conditions. A number of alterations to the residence have occurred, which include a one-storey addition at the rear of the residence; changes to the window opening sizes and windows themselves for the former enclosed front porch; and, replacement of a number of second floor wood windows.</p> <ul style="list-style-type: none"> Foundation: Concrete foundation (presumed) is parged. No cracks or noticeable areas of deterioration is noted.

HERITAGE INVENTORY EVALUATION FORM

- Cladding: Exterior stucco cladding is in good condition with minor cracks and localized staining. The stucco of the former front porch has been redone, likely at the time the size of the window openings and the windows themselves were changed. The stucco at the base of the dormer walls is heavily discoloured suggesting repeated moisture issues.
- Roof: No dips or bulges evident in the roof structure. Shingles appear to be in good condition; however, rear slope of roof has loose and missing shingles. Gutters and downspouts present.
- Roof elements: Wood bargeboards, half-timbering, and triangle brackets are original and in good condition with localized paint loss.
- Windows: Window openings of the residence are largely original, except for the former enclosed front porch where the size of the window openings and the windows themselves have been changed. A number of upper windows have been replaced with new sashes installed in original window openings. No noticeable areas of wood rot or missing elements present.
- Doors: Door at former enclosed front porch is not original. Rear door has also been replaced.
- Other: Front entry steps and railings have been replaced.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name Dixon Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: •	<input checked="" type="checkbox"/> No (Result is GRADE 2)		<input type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input checked="" type="checkbox"/> Grade 2		<input type="checkbox"/> Grade 1		
Date Evaluated by City:					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Dixon Residence
--------------------------	--



Caption: Aerial view of the Dixon Residence.

Date: 1951

Source: City of Regina

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the Dixon Residence.

Date: circa 1979

Source: City of Regina Archives (CORA-A-0758)

Copyright: City of Regina Archives

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the east elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front elevation of the Dixon Residence.s

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the soffit of the southeast hip roof wing (right) and shed roof dormer (left) on the front elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the shed roof dormer on the front elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of an original triple assembly wood window on the front elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front (right) and west (left) elevations of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the jerkinhead gable roof on the west elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the square bay projection on the west elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Partial view of the rear elevation of the Dixon Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

HERITAGE INVENTORY EVALUATION FORM

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

HERITAGE INVENTORY EVALUATION FORM

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

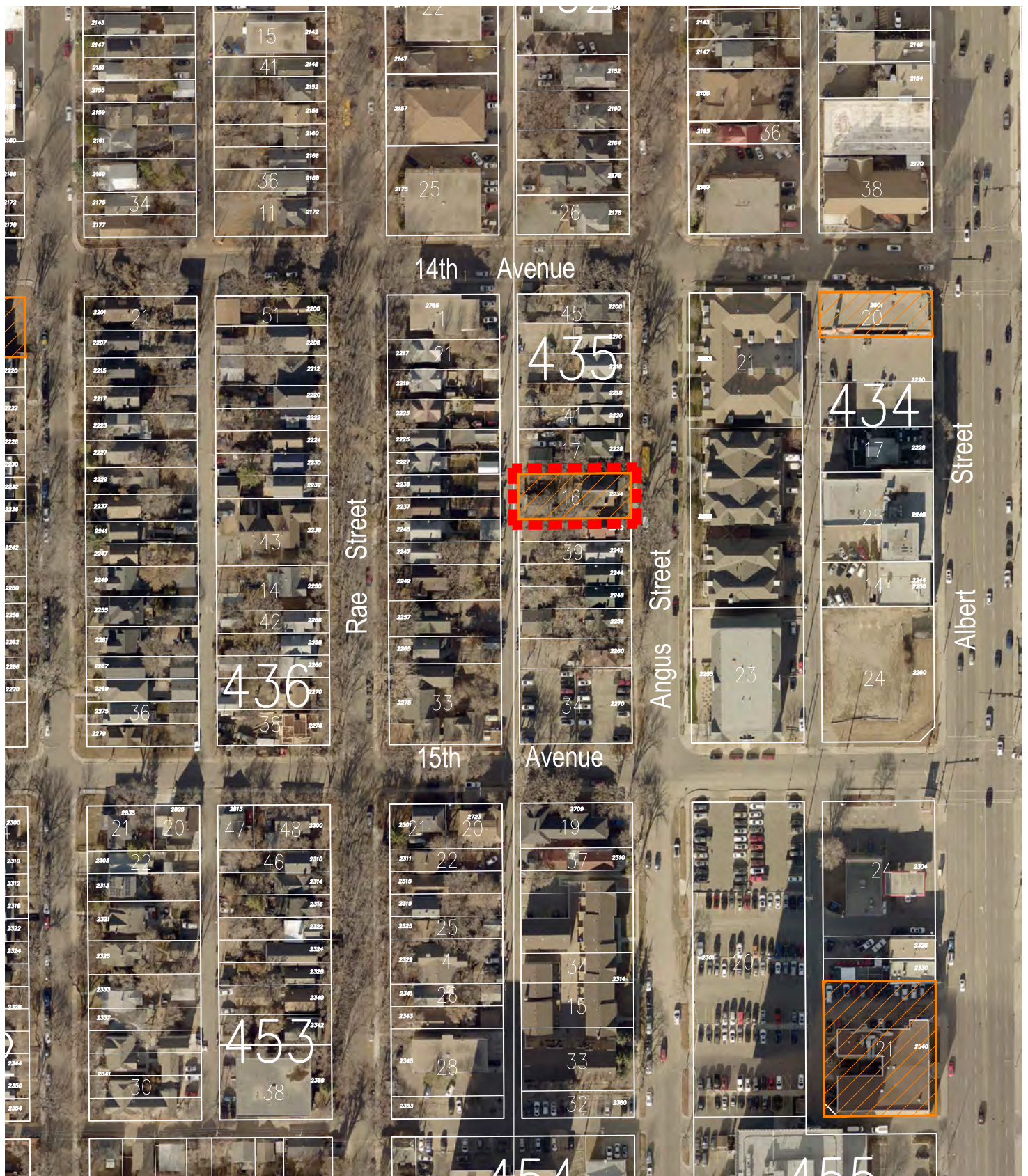
A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



Subject Property



Heritage Property

Date of Photography: 2020





Heritage Property

3. Statement of Significance



Figure 8: Photograph of Omand Manse Facing South-East Front Facade

3.1 Description of the Historic Place

The Omand Manse is a “Four Square” type home, and representative of this popular building typology which spread across North America starting in the 1890s (Figure 8). This beautiful brick and balloon-framed two and one-half story home is situated on one of the earliest streets in the Cathedral area to be fully developed. It is located on a large double-sized 50 foot lot with a side drive way. It has a large number of original wooden-sash windows on the first and second floors, with original storm window covers and limestone lug sills. The second floor includes a three-sided canted bay window. Its front door is surrounded by the original asymmetric sun porch with four-over-one and three-over-one wooden-sash windows and a fenestrated door. Omand Manse has many of the exterior and interior characteristics of a street-facing open-gable roofed Four-Square type residential house. A two and one-half storied cubed massing is topped by a large gabled roof with four large decorative wooden

brackets and knee braces done in a Craftsman or Rustic English cottage style. The gable is trimmed with overhanging barge-boards that are painted to match the windows. At the very top of the roof on the front facade is a large rustic wooden finial.

3.2 Heritage Value of the Historic Place

Constructed in 1910, The Omand Manse is culturally significant as a representation of Regina's early settlement by Scottish Presbyterians, many who became important political, cultural, and social organizers at the beginning of the provincial capital's establishment. It is also a unique representation of early residential architecture in the Four-Square style. Omand Manse was originally purchased by then MLA James Alexander Calder to be the family home of Reverend William McKay Omand, his wife Christine Omand (nee Calder) and their three children. Reverend William McKay Omand was the first Chief Film and Theatre Censor for the province of Saskatchewan (1913). Christine Omand (nee Calder) was a prominent community organizer and the first President of Regina's YWCA (1910). Both were active in the Presbyterian church of Regina, including Knox Presbyterian and then Westminster Presbyterian, which they both helped to found. As members of the social, cultural, religious, and political elite of Regina, the Omands represent the success of first generation Scottish settlers in Saskatchewan who prospered at a time of great transformation in the prairies.

The Omand Manse is also of value as a superior example of Four-Square architecture, representative of the rising need to build middle-class housing in the prairies during the settler boom from 1890 to 1914.¹⁵ This was a period of Edwardian simplicity in design, which included elements of Craftsman-style detailing consistent with the desire to demonstrate the beauty and "honesty" of natural materials such as brick, wood, and shingle.¹⁶ The large amount of windows, the use of local materials such as brick and limestone, and the wooden trim detailing on the cubed-massing is consistent with the practice of using local materials based on purchased and imported building plans.¹⁷

3.3 Character-Defining Elements:

- Historic age 1910 marks it as one of the earliest surviving suburban homes built in Regina
- Located on one the first streets to be fully developed in Cathedral (Angus Street)
- Sited on a double-sized 50 foot lot with a side drive way
- Four-Square houses, while common across North America, particularly the West, were not that common in Regina because they fell out of favour between the wars when the majority of residential development occurred in the city

- Four-Square style: residential form, scale and massing as expressed by its cube design and four-cornered rooms on each full level; two and one-half storey height; street-facing open gable roof, open gable side roof dormer; solid brick construction.
- Craftsman-style design features, including bargeboards and large decorative roof brackets; local “honest” materials such as wood and brick privileged natural materials and hand-craftsmanship
- Variety of original wooden-sash windows on first and second floors with limestone lug sills, some with original brass hardware and original storm window covers.
- Original asymmetric sun porch with four-over-one and three-over-one wooden-sash windows and fenestrated door.

3.3.1 Exterior Description of Omand Manse

2234 Angus street has many of the exterior and interior characteristics of a street-facing open-gable roofed Four Square type residential house.¹⁸ A two and one-half storied cubed massing is topped by a large gabled roof with four large decorative wooden brackets with knee braces done in a Craftsman style. The gable is trimmed with overhanging barge-boards that are painted to match the windows. At the very top of the roof on the front facade is a large rustic wooden finial.

On the north-facing side of the roof, there is a dormer with two small windows, to account for the stairway to the attic. The central line of the roof is capped with a metal ridge. Currently the roof is treated with asphalt shingles but we would like to insulate the roof and rebuild it with a more period appropriate material, likely metal. See attached plan #.

The house is made of load-bearing double wythe air-gapped solid red brick in a running bond for the first story and one-half and is capped by a header line of brick turned painted to match the wooden details on the house. The foundation is also solid brick. The top story and one half is wooden balloon framed. Today the upper portion below the gable roof is stuccoed, as is the front porch. We believe the rest of the house would have originally been cedar shingle because of a remaining area of this pattern (see attached photo).

The large sash windows of the house are supported by local Saskatchewan limestone lug sills on all sides of the building, except for the second story front windows and those that have been renovated (ie. the kitchen windows and the third floor windows). They are covered by storm windows with two-over-two lights. The main floor on the front facade (south-east facing) has a pair of large sash windows that are also capped by a continuous plain lintel in local limestone. On the second floor (north-east side) there is a three-sided canted bay window above the porch that is capped by a metal flat roof. The two windows on the south-east side of the second floor are also sash windows. The third floor has a large window that has been replaced with a modern three panel style.


The three-season porch, which is fully enclosed, is surrounded on all three sides by sash windows in either 3-over-1 or 4-over-1 style panes. The porch door is also glazed in eight lights with a panel below

and is framed on both sides by eight lights in a symmetrical shape with lower panels. The porch interior is finished with vertical wood siding. The door into the vestibule is glass panned. Two large sash windows on the facade look into the porch from the house.

3.3.2 Interior Description of Omand Manse

Both the first and second floors are laid out with four corner rooms that are largely equal in size and symmetric in layout. Upon entering the house, the visitor passes through a vestibule to a reception area. To the right of the reception area is an enclosed office space with a built in oak and glass book shelf and windows looking out into the porch. Directly behind the office is the dog-legged staircase done in dark-stained oak with a newel post in panelled Craftsman style and solid rectangular balusters. To the left of the entrance is a large parlour with enormous windows framed in stained oak and a coal-grate fireplace. Pocket doors separate the parlour from the reception hall and from the dining room at the back of the house. The dining room is lined with a half oak beam tudor detail capped by a picture rail. It also includes a built in china cabinet with diamond-paned lights, situated between the double-action swing door to the kitchen and another door that connects to the hall. The kitchen, located at the back right, is the only enclosed space separated by doors from the dining room and the reception hall. Maple floors are found on the first two floors. The second floor is also divided roughly into four corner rooms of equal size, along with a bathroom. Second floor details include darkly stained doors, trim, and window detailing in pine. There is another coal fireplace in the front bedroom and large closets throughout. A stairway connects the visitor to the third floor gabled attic, with dormer and two small windows to account for the stairway. The third floor is divided into two rooms, each with a window looking out on the front and back of the house respectively. The whole building is heated by large hot-water radiators that are cast iron and original to the house.

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	May 18, 2022
	Neighbourhood	Cathedral
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

Historic Place Name Omand Residence	
Municipal Address 2234 Angus Street	Year of Construction 1910
Architectural Style Foursquare Architect/Designer Unknown Builder Unknown	Legal Address/Description Lot: 16, Block: 435, Plan: OLD 33 Theme(s) 1.3. Multicultural Settlement 5.1 Architecture & Design
Consultant	
Heritage Planner City Planner 2	
Contemporary Photo (6" Max. Width/Height)	
	

HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name Omand Residence
----------------------------------	--

Description of Historic Place

The Omand Residence is located mid-block on the west side of Angus Street between 14th and 15th Avenue in Regina's Cathedral neighbourhood. The two and one-half storied cubed massing is topped by a large gabled roof with four large decorative wooden brackets and knee braces done in Craftsman or Rustic English cottage style. The gable is trimmed with an overhanging barge-boards that are painted to match the windows. At the top of the roof on the front façade is a large rustic wooden finial. Its front door is surrounded by the original asymmetric sun porch with four over one and three over one wooden sash windows and a fenestrated door.

Heritage Value of Historic Place

The Omand Residence, constructed in 1910, is located on the first streets to be fully developed in the Cathedral neighbourhood. As part of the Canadian Pacific Railway's original townsite subdivision, which extended west of Albert Street, the Cathedral area expanded rapidly in the early 20th century in proximity to Victoria Avenue and 13th Avenue, which served the primary east-west corridor in the southwest quarter of the city. In 1911, the Regina Municipal Railway was a further catalyst for the development in the area when their inaugural streetcar system included a line along 13th Avenue to Elphinstone, extended two years later to Pasqua Street.

The Omand Residence is also culturally significant as a representation of Regina's early settlement by Scottish Presbyterians, many of who became important political, cultural, and social organizers at the beginning of the provincial capital's establishment. Omand Residence was originally purchased by then MLA James Alexander Calder to be the family home of Reverend William McKay Omand, his wife Christine Omand (nee Calder), and their three children. Reverend William McKay Omand was the first Chief Film and Theatre Censor for the province of Saskatchewan (1913). Christine Omand (nee Calder) was a prominent community organizer and the first President of Regina's YWCA (1910). Both were active in the Presbyterian church of Regina, including Knox Presbyterian and then Westminster Presbyterian, which they both helped to found. As members of the social, cultural, religious, and political elite of Regina, the Omand's represent the success of first-generation Scottish settlers in Saskatchewan who prospered at a time of great transformation in the prairies.

The Omand Residence is further valued as a superior example of Four-Square architecture. Four-Square houses, while common across North America, particularly in the West, were not that common in Regina because they fell out of favor between the wars when the majority of residential development occurred in the city. It is representative of the rising need to build middle-class housing in the prairies during the seller boom from 1890 to 1914. This was a period of Edwardian simplicity in design, which included elements of Craftsman style detailing consistent with the desire to demonstrate the beauty and honesty of natural materials such as brick, wood, and shingle. A large number of windows, the use of local materials such as brick and limestone, and the wooden trim detailing on the cubed massing are consistent with the practice of using local materials based on purchased and imported building plans.

Character-Defining Elements

The character-defining elements include but are not limited to:

- location mid-block on the west side of Angus Street between 14th and 15th Avenue in Regina's Cathedral neighbourhood.
- Form, scale, and massing as expressed by its: cube design and four-cornered rooms on each full level; two and one-half storey height; street-facing open gable roof, open gable side roof dormer; solid brick construction.
- Craftsman-style design features, including bargeboards and large decorative roof brackets; local "honest" materials such as wood and brick privileged natural materials and handcraftsmanship

HERITAGE INVENTORY EVALUATION FORM

- Original wooden-sash windows on first and second floors with limestone lug sills, some with original brass hardware and original storm window covers.
- Original asymmetric sun porch with four-over-one and three-over-one wooden-sash windows and fenestrated door.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name Omand Residence
-------------------------------	--

Values Summary ▪ Valued for its Foursquare style architecture ▪ Valued for its owner and residents, Reverend William McKay Omand and his wife Christine Omand.
--

Period of Significance 1910s

Chronology of Alterations 2020 – some brickwork on the exterior using traditional grout
--

Aspects of Integrity			
1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

<p>Statement of Integrity</p> <p><u>Omand Residence</u> maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).</p> <p>The Omand Residence retains a great degree of its historic fabric and integrity; and is presently in good condition.</p> <ul style="list-style-type: none"> • Foundation: The foundation is solid brick and appears to be in a good condition. However, the front porch's foundation has some horizontal cracks and missing stucco. • Cladding: Stucco cladding is in a good condition. The stucco on the front porch is cracked in some places. The Stucco on the front façade shows minor swelling. Repointing is evident in some areas of the brick wall. • Roof: The asphalt shingle shows signs of deterioration and appears to be close to its lifecycle. • Roof elements: It appears all original roof elements, including bargeboard, rustic wooden finial, and rafter tail are in good condition. • Windows: All windows, except the large window on the third floor, appear to be original to the building and are in a good condition. • Doors: Front door appears to be original to the building and is in a good condition. • Other: Chimney stacks are in good condition. Repointing is evident in a few areas. The front stair's brick show signs of efflorescence and may need repair in future.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name Omand Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: •	<input checked="" type="checkbox"/> No (Result is GRADE 2)		<input type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input checked="" type="checkbox"/> Grade 2		<input type="checkbox"/> Grade 1		
Date Evaluated by City: May 18, 2022					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
--------------------------	--

Additional Images (6" Max. Width/Height)

**Caption:** Historical photo**Date:** 1970s**Source:** City of Regina Archives**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
--------------------------	--

Additional Images (6" Max. Width/Height)

**Caption:** Evidence of brick repointing**Date:** May 16, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
--------------------------	--

Additional Images (6" Max. Width/Height)

**Caption:** Cracked and Damaged Stucco on the Porch**Date:** May 16, 2022**Source:** City of Regina**Copyright:**


HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
--------------------------	--


Additional Images (6" Max. Width/Height)

**Caption:** Entryway bricks showing signs of deterioration**Date:** May 16, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
Additional Images (6" Max. Width/Height)	
	
Caption: Evidence of Chimney repointing and deterioration of roofing materials	
Date: May 16, 2022	
Source: City of Regina	
Copyright:	

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
<p>Additional Images (6" Max. Width/Height)</p> 	
Caption: Streetview of the property	
Date: May 16, 2022	
Source: City of Regina	
Copyright:	

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Omand Residence
--------------------------	--

Additional Images (6" Max. Width/Height)

**Caption:** Stucco showing signs of deterioration**Date:** May 16, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**1.0 Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 30 years old to be eligible for inclusion, recognizing buildings from the 1980s have been designated in other municipalities.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage. UNESCO Convention on the Safeguarding of Intangible Cultural Heritage including oral traditions, performing arts, social practices, rituals, festive events, knowledge and practices concerning nature and the universe, or the knowledge and skills to produce crafts.

2.0 Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth or production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s “Thematic Framework and Historical Context Statement.”

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

HERITAGE INVENTORY EVALUATION FORM

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina's cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area's history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area's cultural history.

HERITAGE INVENTORY EVALUATION FORM

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood's cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city's cultural history.

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

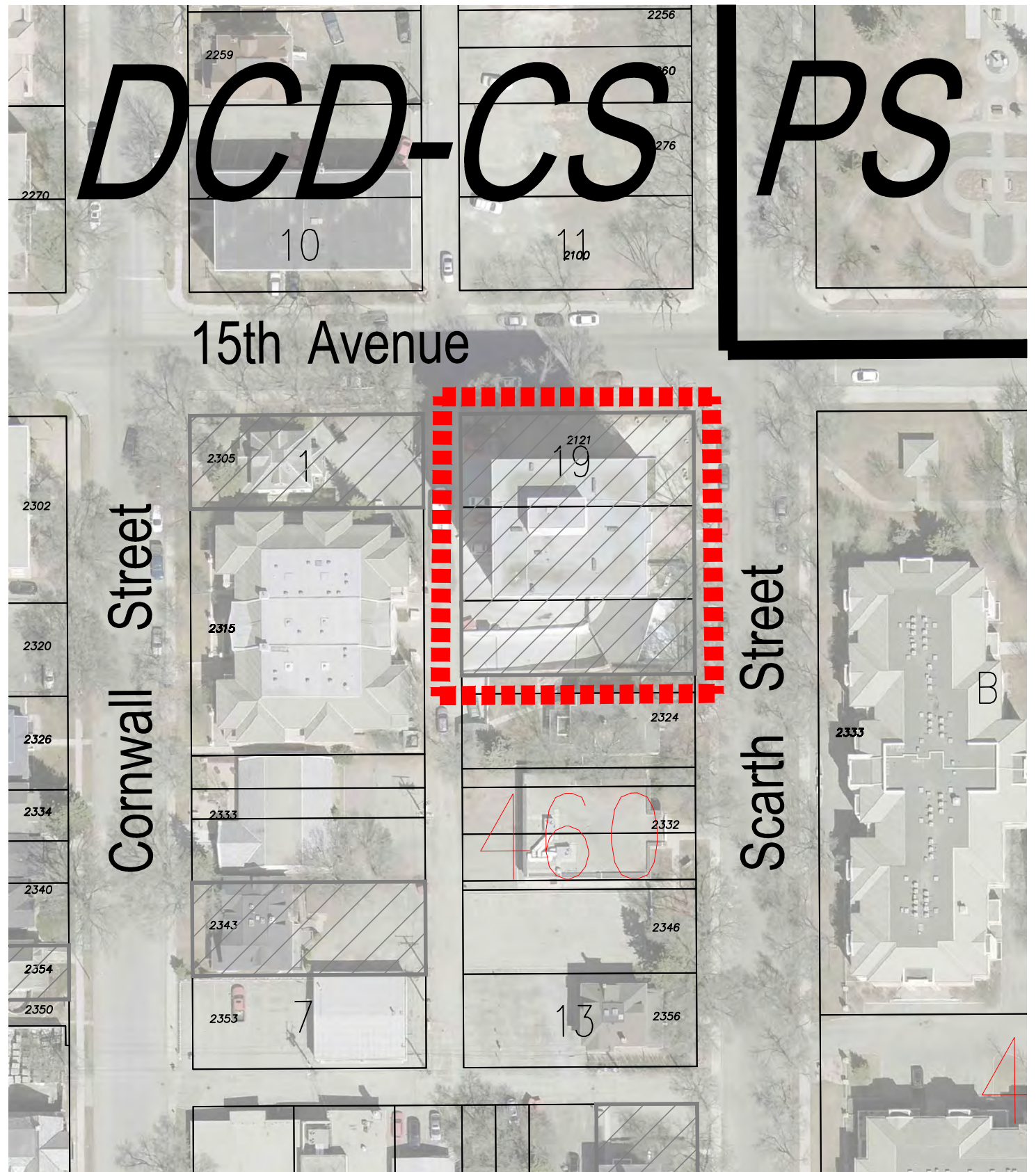
A place that can be directly linked to the establishment of an historic pattern of civic importance.

3.0 BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS

THRESHOLDS

Ranking: If a place demonstrates **exceptional or outstanding** qualities for any of the criteria (above a 'High' level), it would be considered a **Grade 1** place with city-wide significance, whereas a place that does not exceed a 'High' level in any of the criteria would be considered a **Grade 2** place with neighbourhood-wide significance .

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



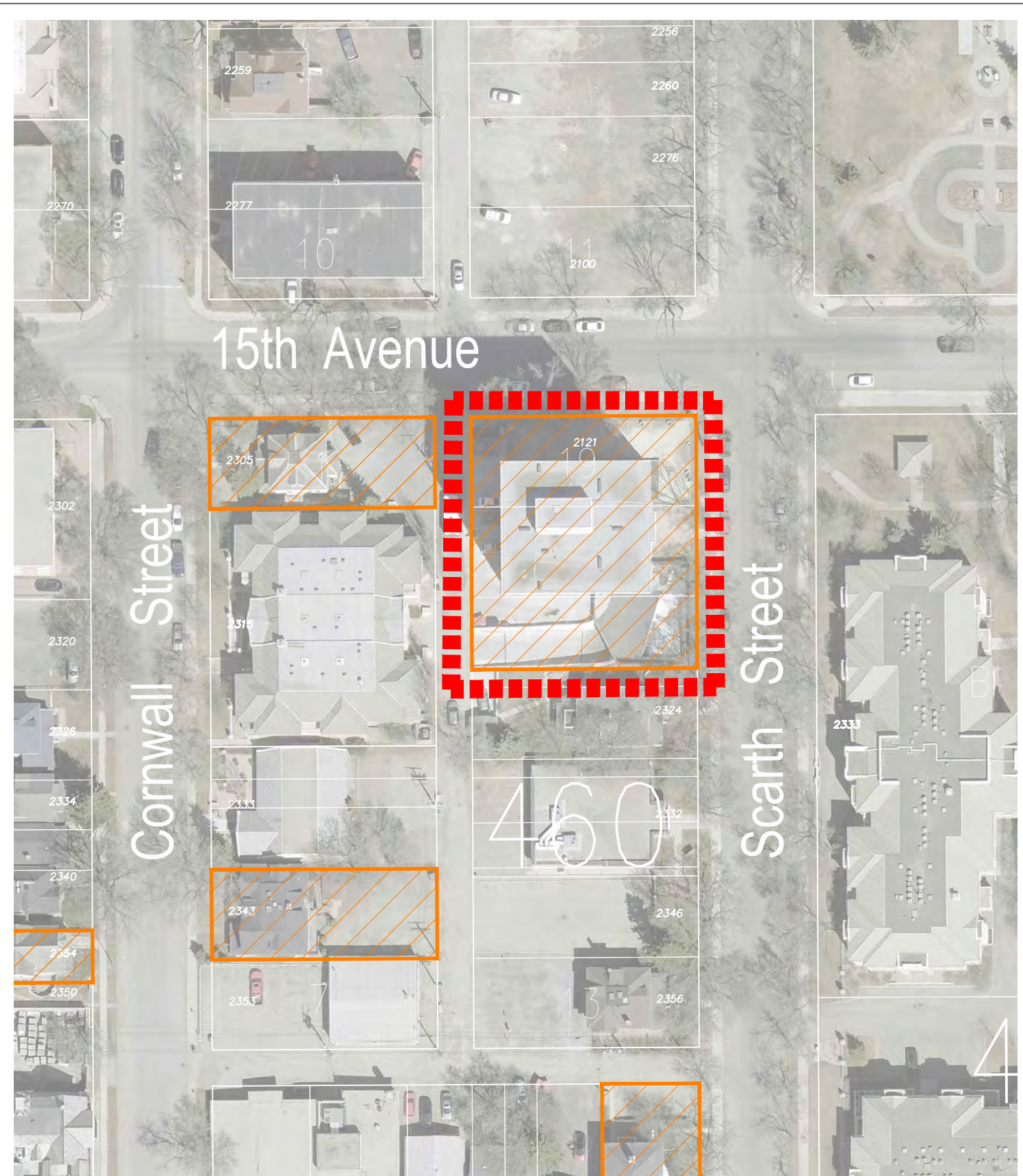
Subject Property



Heritage

Date of Photography : 2018





Date of Photography: 2018



Subject Property



Heritage



<p style="text-align: center;">City of Regina HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	July 28, 2022
	Neighbourhood	Centre Square
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

Historic Place Name Prince Charles Apartments	
Municipal Address 2121 15 th Avenue	Year of Construction 1965 -1966
Architectural Style International Style Architect/Designer Regina Towers Ltd. Builder Imperial Construction (Sask.) Ltd.	Legal Address/Description Plan: OLD 33 Block: 460 Lot: 18/19; Plan: 101187008 Block: 460 Lot: 28 Theme(s) Capital City Development Architecture & Design
Consultant n/a	
Heritage Planner Femi Adegeye & Aastha Shrestha	
	
3d - View of the Prince Charles Apartment	

HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name
----------------------------------	---------------------

Description of Historic Place

Prince Charles apartments is a 13-storey, International Style high-rise apartment with 75 dwelling units located on the corner of 15 Avenue and Scarth Street in the Centre Square neighbourhood of Regina, diagonally across from Central Park and south of the city's historic downtown core. The apartment tower is distinguished by its tall, rectangular massing and the simplicity and uniformity of its design elements. The concrete structure is clad in orange brick, with a repeating fenestration pattern, flat roof, projecting balconies, and a north elevation main entrance. The Prince Charles Apartment features a large setback from the streets along the north and east elevations, with alleyway access and limited street level parking along the west. Access to underground parking is provided at the rear (south) of the high-rise. The Prince Charles is the tallest building within the vicinity, and is a landmark that is highly visible from Central Park.

Heritage Value of Historic Place

Built 1965-66, Prince Charles apartments is valued for its association with Regina's explosive population and construction boom in the 1960s, and as a reflection of the emerging desire to articulate changing social values through Modernist built form. Regina was established in 1882, and the city's initial development was focused north of present day Centre Square neighbourhood near the CPR line. After Regina was incorporated as a city in 1903, residential development fanned out, and the area south of the downtown core became known as the Centre Square. It provided a mix of commercial and residential opportunities. Prior to annexation in 1911, 16 Avenue (College Avenue) was Regina's southern limit and the city's most prestigious neighbourhood. In the postwar era, the population of Regina boomed with increased birth rates and a shift from rural to urban living. By the 1960s, Regina's population was growing at a pace of around 4,500 new residents a year, putting pressure on existing housing stock and infrastructure, and creating a demand for new forms of housing. Developers and architects responded with new, modern buildings that reflected a changing social dynamic.

The apartment towers developed in the postwar period were seen as an opportunity to advance social change, addressing issues of suburban sprawl and perceived social detachment. Social interaction was at the centre of the modernist's dream for a new urban environment, and the benefits of increased density afforded by the highrise apartment were two-fold: it would facilitate social engagement between individuals and maximize the use of space, cutting down on infrastructure costs. Advances in construction materials and techniques allowed developers to construct high-rises taller and less expensively than before, and promoted a new vertical expression on the landscape. Today, Prince Charles apartments stands as a representation of the 1960s era of Regina's progressive development, alongside residences from other periods of growth and evolution.

Prince Charles apartments is also valued as a highly intact representation of International Style architecture, designed by Louie Plotkin & Associates, a Winnipeg based architectural firm. Louie Plotkin (1924-2001) was a graduate of the University of Winnipeg and one of the first two graduates in Canada to obtain a Masters Degree in Town Planning. He also served as a president of the Manitoba Association of Architects, and as a Fellow of the Royal Architectural Institute of Canada. The Prince Charles embraced modern style elements, with a lack of ornamentation and simple, geometric design. A departure from earlier design styles that sought to revive historical traditions, the Modern movement marked a deliberate departure from past influences. Form follows function in the uniformity of the fenestration and exterior cladding. Through the simplicity of its design and distinction from earlier architectural traditions, the Prince Charles stands as an excellent example of mid-century International Style design.

HERITAGE INVENTORY EVALUATION FORM

Character-Defining Elements

The character defining elements include but are not limited to:

- Form, scale and massing: Location at the corner of 15 Avenue and Scarth Street; 13-storey height; concrete structure; flat roof; exterior cladding of orange brick and stucco panels; projecting balconies with concrete balustrades along the east elevation; and wide setbacks.
- Landmark status as the tallest extant building within the vicinity, highly visible from Central Park
- Design elements of the International Style including: rectilinear concrete skeleton expressed in exposed floor slab edges; minimal surface detailing; taut planar surfaces; and balance of horizontal and vertical elements.
- Environment: association with the transitional neighbourhood of Centre Square; and proximity to Central Park and commercial core to the north.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name
-------------------------------	---------------------

Values Summary <ul style="list-style-type: none"> Its association with Regina's explosive population and construction boom in the 1960s, and as a reflection of the emerging desire to articulate changing social values through Modernist built form. Its highly intact representation of International Style architecture, designed by Louie Plotkin & Associates, a Winnipeg-based architectural firm.

Period of Significance 1960s

Chronology of Alterations

Aspects of Integrity			
1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

Statement of Integrity Prince Charles Apartment maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s). The building's original form, scale, and massing are intact. The building retains most of its original fabric and architectural elements.
<ul style="list-style-type: none"> Foundation: Masonry at the foundation levels appears to be in good condition and showed minimum wear and tear. Cladding: All exterior cladding generally appears to be in good condition. Some vertical cracks and patch repairs were observed. Spot cracking and peeling of exterior paints. Roof: Could not be assessed at the time of inspection. The carport's roof appears to be at the end of its lifecycle. Roof elements: Could not be assessed at the time of inspection. Windows: All windows and fenestration appear to be original. Paints on the concrete slabs are peeling in most of the windows. Doors: All original exterior doors appear to be removed and replaced. Balcony: Some missing railings are replaced with a plywood board.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: • Important Style – among small handful examples of International style in the city	<input checked="" type="checkbox"/> No (Result is GRADE 2)		<input type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input checked="" type="checkbox"/> Grade 2		<input type="checkbox"/> Grade 1		
Date Evaluated by City: July 27, 2022					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Prince Charles Apartment
--------------------------	---



Caption: Rear Elevation

Date: July 27, 2022

Source: City of Regina

Copyright:

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Prince Charles Apartment
--------------------------	---

Additional Images (6" Max. Width/Height)

**Caption:** Carport**Date:** July 27, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Prince Charles Apartment
--------------------------	---

Additional Images (6" Max. Width/Height)

**Caption:** Missing balcony railing**Date:** July 27, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Prince Charles Apartment
--------------------------	---

Additional Images (6" Max. Width/Height)

**Caption:** Vertical cracks on the wall**Date:** July 27, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Prince Charles Apartment
--------------------------	---

Additional Images (6" Max. Width/Height)

**Caption:** Access to basement parking**Date:** July 27, 2022**Source:** City of Regina**Copyright:**

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**1.0 Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 30 years old to be eligible for inclusion, recognizing buildings from the 1980s have been designated in other municipalities.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage. UNESCO Convention on the Safeguarding of Intangible Cultural Heritage including oral traditions, performing arts, social practices, rituals, festive events, knowledge and practices concerning nature and the universe, or the knowledge and skills to produce crafts.

2.0 Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth or production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s “Thematic Framework and Historical Context Statement.”

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

HERITAGE INVENTORY EVALUATION FORM

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina's cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area's history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area's cultural history.

HERITAGE INVENTORY EVALUATION FORM

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood's cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city's cultural history.

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

A place that can be directly linked to the establishment of an historic pattern of civic importance.

3.0 BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS

THRESHOLDS

Ranking: If a place demonstrates **exceptional or outstanding** qualities for any of the criteria (above a 'High' level), it would be considered a **Grade 1** place with city-wide significance, whereas a place that does not exceed a 'High' level in any of the criteria would be considered a **Grade 2** place with neighbourhood-wide significance .

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



PRINCE CHARLES APARTMENTS

HISTORIC CONTEXT, STATEMENT OF
SIGNIFICANCE & CONSERVATION PLAN

SEPTEMBER 2021

Contents

Section 1.0 — Introduction	4
Section 2.0 — Historic Context	5
Section 3.0 — Statement of Significance	12
Section 4.0 — Conservation Plan	15
4.1 Introduction and Description of the Resource	15
Section 5.0 — Conservation Guidelines	16
5.1 Standards and Guidelines	16
5.2 Conservation References	17
5.3 General Conservation Strategy	18
5.4 Site Protection	18
Section 6.0 — Conservation Recommendations	19
6.1 Site	19
6.2 Form, Scale and Massing	23
6.3 Exterior Facade	23
6.4 Roof	27
6.5 Fenestration	28
6.6 Interior	32
Section 7.0 — Maintenance Plan	33
7.1 Maintenance Guidelines	33
7.2 Permitting	33
7.3 Routine, Cyclical, and Non-Destructive Cleaning	33
7.4 Repairs and Replacement of Deteriorated Materials	33
7.5 Inspections	33
7.6 Information File	34
7.7 Exterior Maintenance	35
Section 8.0 — Preliminary Opinion of Probable Rehabilitation Costs	37
Section 9.0 — Appendix A: Research Summary	38

Section 1.0 — Introduction

Overlooking Central Park and towering 13-storeys south of downtown in the Centre Square neighbourhood, Prince Charles apartments is an excellent example of an International-style high rise apartment block in the city of Regina. As one of only a small handful of similar style and era apartment buildings in the city, Prince Charles, along with its contemporaries (Appendix A), represent the initiation of Regina's sustained post-Second World War multi-family, high rise construction boom during the 1960s which continues to define the present landscape of the neighbourhood and city.

The Historic Context and Statement of Significance documentation reveals that the Prince Charles apartments possesses high levels of heritage value and meets the City's established criteria for designation. These values also transcend the city itself, for example, as a result of the original design of the building having been entrusted with that of prominent Winnipeg-based architect Louie Plotkin, who received his education at the influential University of Manitoba's School of Architecture. Along with a high degree of integrity of its historic fabric, Prince Charles apartments is an exceptional representative of an very limited quantity of comparable resources in the city.

The present owners and managers of the apartment block, Nicor Group, are taking a proactive step in their effort to designate Prince Charles apartments as a Municipal Heritage Property. The result of this commitment by the owners will ensure the

conservation of Prince Charles apartments, and assist in the understanding and appreciation of the Postwar development of the city by present and future generations.

As redevelopment and modernization pressures continue to mount, as seen for example with the recent renovations of the historic Tower Gardens (Milton Heights) apartment block, it is crucial and highly recommended that the City of Regina proceed with the designation of Prince Charles apartments. With its unique design, even amongst those extant, yet scarce, comparable resources, and the willingness of its present owners to conserve the integrity of the building, Prince Charles apartments is an ideal candidate for municipal heritage designation.



Section 2.0 — Historic Context

The Prince Charles apartments is located on the corner of 15 Avenue and Scarth Street in the Centre Square neighbourhood, south of Regina's historic downtown core and north of the original location of the University of Regina. It was built in the post-Second World War era, at a time when Regina emerged as a regional centre, embracing modernity in its pursuit of a progressive future. Although Modernism was late to emerge in Regina, it was ultimately embraced to demonstrate the aspirations of a growing and dynamic community.

Regina originated with indigenous settlement; European colonization arrived as part of the westward expansion of settlement in the 19th century. Bisecting the north and south halves of the city runs Wascana Creek, whose banks were used by the original indigenous inhabitants as buffalo pounds. The hunters believed that the buffalo would never abandon the land where the bones of their ancestors resided, and over the generations the skeletons of the beasts were accumulated into large stacks. By the mid 19th century as fur traders and trappers made their way inland it became known as Pile O' Bones or Wascana, an Anglicization of Oscana, the Cree word for bones.

During the British government sponsored Palliser Expedition of 1857, Captain J. Palliser remarked that the area, with its lack of trees and water, was unsuitable for agriculture. None the less, the land would soon be acquired by the newly formed nation of Canada when it purchased the vast swaths of land known as Rupert's Land from the Hudson's Bay Company in 1870. A priority for the new dominion government was the construction of a transcontinental railroad, bridging the east and west coasts through the vast and untamed prairies. While portions of the land were provided to the Canadian Pacific Railway Company, the Dominion Lands Act of 1872 provided free lands to settlers willing to homestead. Initial uptake was limited, but when

the first train arrived in August 1882 it was greeted by a small party of Regina's original founders. The following year, Regina was incorporated as a town and chosen as the new capital of the Northwest Territories, beating out other contenders such as Qu'Appelle and Battleford - the original capital, disqualified due to its distance from the CPR. The name Regina comes from the Latin word for queen, chosen by Princess Louise, wife of Canada's Governor General, to honour her mother, Queen Victoria. Initial settlement was concentrated near the centrally-located railroad, with many of the territorial government buildings built along Dewdney Street. By 1883, the fledgling town boasted a population of around 1,000 citizen and 400 buildings. Development fanned out from the downtown core and today's Centre Square area became known as the Centre Square, providing a mix of commercial and residential opportunities with the latter increasing further to the south. The Centre Square boasted some of Regina's finest houses, including the extant Mickleborough Residence immediately south of the Prince Charles apartments. Other amenities in the Centre Square neighbourhood included the Victoria Hospital, erected in 1901 at the northeast corner of Central Park



Detail of the map prepared by Captain John Palliser of his expeditions between 1857 and 1860. The red line shows his route in 1857 in proximity of Regina. Note 'Many-bone Creek' (bottom-left of centre), which would later be known as Pile O' Bones, or Wascana.

Palliser, John and James Hector, comp. *A General Map of the Routes in British North America Explored by the Expedition under Captain Palliser*. 1863.

and Central Collegiate School, opened in 1909 to the immediate east of present day Prince Charles apartments. Central Park functioned as an athletic field for the school until its closure in 1985.

When Regina was incorporated as a city in 1903, its southern boundary was 16th Avenue (College Avenue). On September 1, 1905, Saskatchewan became a province, and as early as 1906, when the site for the Saskatchewan Legislative Building was chosen, the north shore of Wascana Creek had already been designated as a public park by the City of Regina. The landmark Legislative Building was built 1908-1912, and the Mawson Plan of 1913 was prepared by landscape architect

Thomas Mawson. This plan assured that the Legislative area and the north shore would be developed to create an oasis of greenery on the flat prairie, and that view lines from downtown would terminate with appropriate institutional buildings.

In 1911, the City annexed the lands to the south, prompting more development south of Wascana Lake. When the province by-passed Regina as the seat of the forthcoming university in favour of Saskatoon, the decision was made to establish a college in the capital city instead. Regina College opened in 1911 with its first classes taking place at the former Victoria Hospital building until permanent facilities were built north of Wascana Lake. Just as the city was becoming established, on June 20, 1912 a devastating tornado tore through the community, killing 28 people and destroying hundreds of buildings, particularly along Lorne and Smith Street in the Centre Square. The citizens of Regina were forced to borrow money to rebuild their community, and went on to weather the Great War, a massive riot in the face of wide spread economic hardship during the 1930s Depression, followed by the bleakness of the Second World War. Following the conclusion of the war,



View along Cornwall Street, looking south toward the Legislative Building over the Centre Square neighbourhood.

Library and Archives Canada, PA-044591

the City of Regina anticipated a new era of prosperity. In order to properly prepare for the expected growth, the City contracted the Toronto-based firm of Town Planning Consultants Ltd. in 1946, led by Eugene G. Faludi, to craft a long-term development plan for the city. The resulting Thirty Year Program For Development (also referred to as the 'Faludi Plan'), while comprehensive, failed to foresee the expansion of Regina's economy due to the burgeoning natural resource sector and underestimated the city's population growth by almost half. The plan did recommend the need for increased private investment into large-scale housing schemes, and revision of the city's 1929 Land Use Bylaw to permit increased density in, and in proximity to, the Centre Square neighbourhood.

As Regina entered into a post-war period of rapid growth and transformation, the city's population expanded, with the "Baby Boom" underway, increased immigration, and a shift from rural to urban living. Record grain prices in 1951 and 1953 spurred the economy, as did oil and potash exploration, and expansion of strip coal mining in southern Saskatchewan. Manufacturing activity in the city also increased in conjunction with the growth of the natural resource industry and utility expansion in the



View to the north of the newly developed Whitmore Park and Hillsdale neighbourhoods in the early 1960s.

City of Regina Archives, CORA-B-0087

province. In the two decades following the war, Regina's Chamber of Commerce promoted a diverse vision of Regina as a modern and growing city.

While Modernism was, in part, employed as a means to impress eastern investors through the portrayal of Regina as progressive in business, industry, and services, Regina's ongoing efforts to remain contemporary signalled to residents of the province that Regina was forward-looking and progressive. Just as importantly, the embracing of Modernism was a way for Regina's design, planning and arts communities to take part in contemporary design discourse both on the Canadian scene and internationally.

Cook et al. Regina's Recent Past 1930-1976: Historic Context Report, 2010

Regina's population was growing at a pace of several thousand new residents a year in the years following the war. This put pressure on existing housing stock and infrastructure, and mirrored similar trends occurring throughout the western world. With the Federal government's wartime housing projects drawing to a close in the early 1950s, focus shifted to private industry in fulfilling the need for residential development in the city. While local contractors kept busy constructing single-detached dwellings, capital to construct large-scale housing and apartment projects was dependent on

out-of-province investment. Gladmer Developments Ltd. of Alberta, initiated the sprawling, eponymous Gladmer Park (now Wascana Park Estates) project in 1952, and Graybar Holdings Ltd. of Winnipeg developed the 138-suite, \$1.5 million Tower Gardens (now Milton Heights) apartments beginning in 1955. Local developers including George C. Soloman, Andrew J. Hosie, and Karl Lang proposed their own large-scale apartment block projects in the early 1950s, but none ever came to fruition.

During the 1950s and 1960s, apartment construction in Regina, with the exception of Tower Gardens, was limited to small walk-



Tower Gardens, Regina's first post-war high-rise apartment, located at Broadway Avenue and Winnipeg Street.

Regina Leader-Post, 7 February 1957

up structures. The preeminent builder of many of these units was local Reginan Edward C. Smith, owner of both Queen City Real Estate and Queen City Construction, who focused his activities in the Parliament Place subdivision. As local developers began to acquire more equity to invest in larger projects, the construction of high-rise apartments in Centre Square, and adjacent areas, began to materialize. Arthur Wong constructed the first post-war high-rise apartment in Centre Square, known as Beacon Tower (now Graceland Manor) in 1963. The construction of additional large-scale apartment buildings in the area was delayed due to existing zoning regulations that restricted the height of new buildings to 60 feet. This constraint was alleviated following the construction of the 180-foot tall Saskatchewan Power Building and recommendation of the 1964 C.B.D. Economic Study which noted that the allowance for high-rise residential development in Centre Square was critical to ensuring the prosperity of Regina's downtown. Subsequently, the building height restriction was increased to 150 feet in 1964, and properties were also rezoned on an as-needed basis to permit taller and higher density residential developments. The effect in Centre Square as a result of these changes was immediate, with Windsor Tower, Waverly Manor, and Prince Charles apartments commencing planning and construction in a matter of months.

In the early 1960s, criticism began to grow, especially from local architects such as Clifford Wiens and Daniel H. Stock, of what became dubbed an "apartment jungle" in



Looking northeast with Parliament Place ("apartment jungle") in the midground at the intersection of Parliament Avenue and the south storm channel in circa 1964.

City of Regina Archives, CORA-B-0069

Parliament Place. The lack of a holistic approach in the design of the buildings, absence of amenities for those living in the apartment blocks, and possible negative social impacts of the "apartment jungle" were raised. Consequently, many of the proposed new apartment high-rises in, and near, Centre Square were designed or reviewed by architectural firms. Architects Robert B. and Donald D. Ramsay of Regina designed Windsor Tower; W.D. Buttjes & R. Rapske Associated Architects

of Vancouver provided plans for Waverly Manor; and Winnipeg's Louie Plotkin & Associates designed Prince Charles apartments. Ezzat L. Gabriel, an architect with Keith Consulting Engineers, drafted plans for the Canadiana apartment building.

The wave of high-rise apartment construction continued throughout the 1960s south of downtown, and included such structures as the Champlain, Lily Rose, and Davin Place.

By the early 1970s, vacancy rates began to increase and development wane in the inner



Circa 1979 view of Beacon Tower (Graceland Manor), the first post-war residential high-rise constructed in Centre Square. Prince Charles apartments visible in background, right.

City of Regina Archives, CORA-A-0777



city as large-scale projects such as the University of Saskatchewan Regina Campus and construction of multi-family residences in proximity to Albert Street south of 25 Avenue and north of 5 Avenue N resulted in a population flight and the decentralization of many activities once prominent in and near Regina's core. Subsequently, the patchwork of high-rise apartments, including Prince Charles, exist as an excellent example of this early, post-war era surge of large-scale residential construction in Centre Square.

As reflected by high-rise apartments constructed in 1960, architects, who embraced modern styles, were asserting Regina's status as a modern, confident, and progressive capital and centre of commerce through their designs. The development of taller buildings in an isolated landscape also sent out a challenge to prevailing building typologies and marked the emergence into the new era. Towers, notably Prince Charles apartments, provided a sense of verticality on a horizontal landscape, impressing both residents and visitors. This was a signal that change and progress were a reality in the city, and that Regina was catching up to other progressive and innovative North American urban centres.

Up to the late 1950s, the Prince Charles property was occupied by two single detached residences, demolished to make way for the new development. Echoing the origins of the city itself, Prince Charles apartments was named in honour of royalty, in this case the son of reigning

Counter-clockwise from top-right: Concept drawings for the proposed Waverly Manor, Windsor Tower, Champlain apartments, and the Canadiana.

City of Regina Archives, CORA-B-0347

Regina Leader-Post, 4 May 1965

City of Regina Archives, CORA-A-1516

Regina Leader-Post, 19 April 1969



1957 fire insurance plan covering the general vicinity in which Prince Charles apartments would be built in a decade later. The Prince Charles property is indicated above.

Vol. 1 of Insurance Plan of the City of Regina. Toronto: Underwriters' Survey Bureau, Ltd., June 1957

monarch, Queen Elizabeth II. In the original architectural drawings, the Prince Charles was animated with recreation and park space wrapping around its street level allowing for social living and interaction among residents.

Today, Prince Charles apartments stands as a striking representation of Regina's modern, 1960s era, progressive development, and in contrast to adjacent residences built during Regina's other periods of growth and evolution.

2.1 Original Architect: Louie Plotkin & Associates

The architect of the Prince Charles apartments was Winnipeg-based Louis Plotkin. Born in St. Boniface on January 10, 1924, Plotkin graduated from Norwood

Collegiate, and during the Second World War served as a navigator with the Royal Canadian Air Force. After his discharge, he attended the University of Manitoba, graduating with a degree in Architecture. Plotkin was also one of the first two graduates to obtain a Masters degree in Town Planning in Canada. After working for the City of Edmonton as Director of the Edmonton District Planning Commission, he moved back to Winnipeg to become Chief Architect for Home Development Ltd. After the sale of Home Development he served in the same capacity for the LADCO Company Ltd. until starting his own firm. He then started Plotkin & Buchwald Architects & Town Planners with partner Martin Buchwald in the late 1960s. He had a diversified practice, designing seniors housing and care facilities around Manitoba, malls, apartments, public housing and an Olympic sized swimming pool in Thompson, the community that he played a large part in designing and building. Respected by his peers, he was a past president of the Manitoba Association of Architects, a Fellow of the Royal Architectural Institute of Canada, and president of the Manitoba Housing Association. Plotkin passed away on February 14, 2001.

2.2 The International Style

The International Style emerged in Europe in the 1920s and 1930s as a response to new social and technological movements, fuelled by vast wartime destruction of both physical structures and traditional institutions, and inspired by new technology and the desire to seek a better future. This new architecture was starkly functional. The building was perceived as an enclosure of volume, with minimal surface detailing that would otherwise distract the eye, taut planar surfaces, angular edges, flat roofs, expanses of glass and rectilinear skeletons of steel or concrete. Non-essential decoration was discarded, as the aesthetic was based on modern structural principles and materials. Bands of ribbon and corner windows and cantilevered structural elements balanced vertical and horizontal elements. Symmetry was abandoned in favour of balance and regularity. Founders of this new, modern style included German, Dutch, French and Swiss



Prince Charles apartments under construction in 1966.

City of Regina Archives, CORA-B-0389

architects, hence the name 'International' that was coined by Henry Russell Hitchcock and Philip Johnson for the "Modern Architecture – International Exhibition" held at the Museum of Modern Art in New York City in 1932. This exhibition identified, categorized and expanded upon characteristics common to Modernism across the world. One of the strongest influences was the theoretical work of the Bauhaus school of design, which operated in Germany from 1919-33 and struggled with the reconciliation of craft tradition and industrial technology. These new theories were spread by a number of European architects who moved to North America to escape Nazi persecution during the chaos of the 1930s, including Walter Gropius (a past director of the Bauhaus) and Mies van der Rohe (who coined the phrase 'less is more'); their ideas of a modern world order were widely influential. They argued that new structural systems and new materials demanded a new aesthetic. Although there were a few examples of Bauhaus-inspired International Style buildings in Canada erected as early as the 1940s, the style gained prominence after the end of the Second World War. The non-historical and egalitarian

nature of the International Style suited the optimism of the postwar era, and its clean lines and allusion to technology suited a generation that had grown accustomed to military organization and aesthetics. Internationalism was readily adopted for commercial buildings during the boom years of the 1950s and 1960s.

As Regina grew during the postwar era, new services had to be provided. Banks, hospital and schools had to be constructed rapidly in the first few years after the end of the War. There was initially a conservative architectural response. The first large-scale projects hedged their bets against which way the new modernism would develop. Banks were notoriously reluctant to embrace modernism, but within a few years cautiously began to accept a new more progressive look as an appropriate business image. New taller buildings reflected the development of improved structural technologies, and the tower forms generally embraced the International Style.

Section 3.0 — Statement of Significance



PRINCE CHARLES APARTMENTS

DATE OF CONSTRUCTION	1965-1966
MUNICIPAL ADDRESS	2121 - 15 Avenue
LEGAL ADDRESS	101187008;460;28
NEIGHBOURHOOD	Centre Square
DEVELOPER	Regina Towers Ltd.
ARCHITECT	Regina Towers Ltd.
BUILDER	Imperial Construction (Sask.) Ltd.

Description of Historic Place

Prince Charles apartments is a 13-storey, International Style high-rise apartment with 75 dwelling units located on the corner of 15 Avenue and Scarth Street in the Centre Square neighbourhood of Regina, diagonally across from Central Park and south of the city's historic downtown core. The apartment tower is distinguished by its tall, rectangular massing and the simplicity and uniformity of its design elements. The concrete structure is clad in orange brick, with a repeating fenestration pattern, flat roof, projecting balconies, and a north elevation main entrance. The Prince Charles Apartment features a large setback from the streets along the north and east elevations, with alleyway access and limited street level parking along the west. Access to underground parking is provided at the rear (south) of the high-rise. The Prince Charles is the tallest building within the vicinity, and is a landmark that is highly visible from Central Park.

Heritage Value

Built 1965-66, Prince Charles apartments is valued for its association with Regina's explosive population and construction boom in the 1960s, and as a reflection of the emerging desire to articulate changing social values through Modernist built form.



Prince Charles apartments overlooking Central Park, 1975.

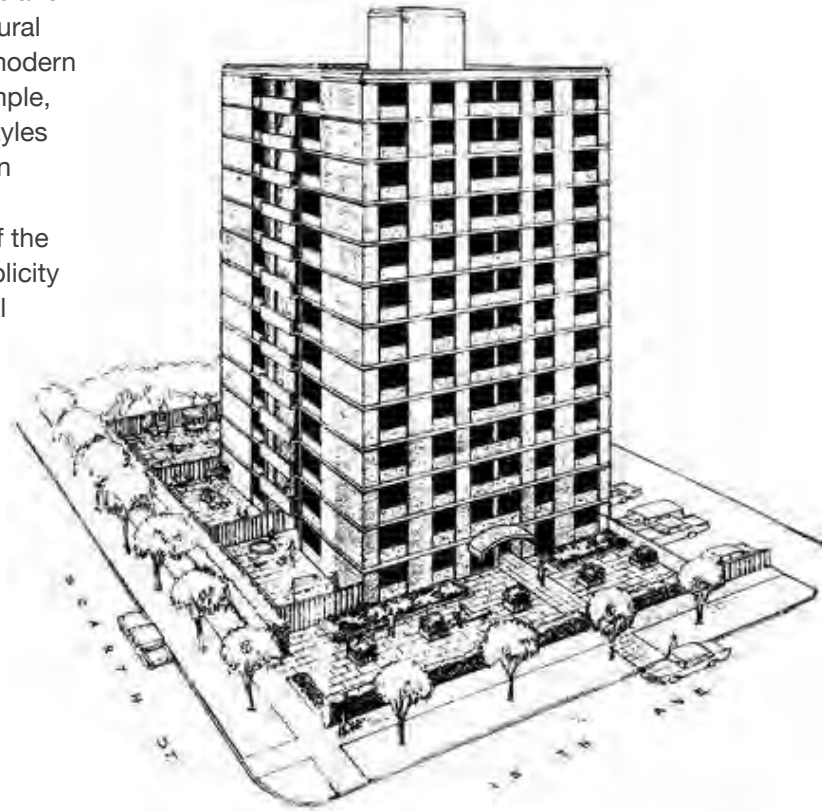
City of Regina Archives, CORA-A-1293

Regina was established in 1882, and the city's initial development was focused north of present day Centre Square neighbourhood near the CPR line. After Regina was incorporated as a city in 1903, residential development fanned out, and the area south of the downtown core became known as the Centre Square. It provided a mix of commercial and residential opportunities. Prior to annexation in 1911, 16 Avenue (College Avenue) was Regina's southern limit and the city's most prestigious neighbourhood. In the postwar era, the population of Regina boomed with increased birth rates and a shift from rural to urban living. By the 1960s, Regina's population was growing at a pace of around 4,500 new residents a year, putting pressure on existing housing stock and infrastructure, and creating a demand for new forms of housing. Developers and architects responded with new, modern buildings that reflected a changing social dynamic. The apartment towers developed in the postwar period were seen as an opportunity to advance social change, addressing issues of suburban sprawl and perceived

social detachment. Social interaction was at the centre of the modernist's dream for a new urban environment, and the benefits of increased density afforded by the high-rise apartment were two-fold: it would facilitate social engagement between individuals and maximize the use of space, cutting down on infrastructure costs. Advances in construction materials and techniques allowed developers to construct high-rises taller and less expensively than before, and promoted a new vertical expression on the landscape. Today, Prince Charles apartments stands as a representation of the 1960s era of Regina's progressive development, alongside residences from other periods of growth and evolution.

Prince Charles apartments is also valued as a highly intact representation of International Style architecture, designed by Louie Plotkin & Associates, a Winnipeg-based architectural firm. Louie Plotkin (1924-2001) was a graduate of the University of Winnipeg and one of the first two graduates in Canada to obtain a Masters Degree in Town Planning.

He also served as a president of the Manitoba Association of Architects, and as a Fellow of the Royal Architectural Institute of Canada. The Prince Charles embraced modern style elements, with a lack of ornamentation and simple, geometric design. A departure from earlier design styles that sought to revive historical traditions, the Modern movement marked a deliberate departure from past influences. Form follows function in the uniformity of the fenestration and exterior cladding. Through the simplicity of its design and distinction from earlier architectural traditions, the Prince Charles stands as an excellent example of mid-century International Style design.



Character-Defining Elements

Key elements that define the heritage character of the Prince Charles apartments include, but are not limited to its:

Perspective drawing of the proposed Prince Charles apartments by Louie Plotkin & Associates, May 1965.
Courtesy of Nicor Group

1	Form, scale and massing: Location at the corner of 15 Avenue and Scarth Street; 13-storey height; concrete structure; flat roof; exterior cladding of orange brick and stucco panels; projecting balconies with concrete balustrades along the east elevation; and wide setbacks
2	Landmark status as the tallest extant building within the vicinity, highly visible from Central Park
3	Design elements of the International Style including: rectilinear concrete skeleton expressed in exposed floor slab edges; minimal surface detailing; taut planar surfaces; and balance of horizontal and vertical elements.
4	Environment: association with the transitional neighbourhood of Centre Square; and proximity to Central Park and commercial core to the north.



Section 4.0 — Conservation Plan

4.1 Introduction and Description of the Resource

Heritage Resource Name:	Prince Charles Place
Civic Address:	2125 15th Avenue, Regina, SK
Legal Description:	101187008;460;28 / Plan: OLD 33, Block 306, Lots 18 and 19
Years of Construction:	1965-1966
Developer:	Regina Towers Ltd.
Architects:	Louie Plotkin & Associates
Builders:	Imperial Construction (Sask.) Ltd.

This Heritage Conservation Plan should be referenced when preparing a design for the building. This document is based on Park's Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*. The following document outlines preservation, restoration, and rehabilitation interventions proposed for the redevelopment.

Preservation is described in the *Standards and Guidelines* as the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Restoration is the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Finally, **Rehabilitation** is described as the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

Section 5.0 — Conservation Guidelines

5.1 Standards and Guidelines

Prince Charles Apartments is not yet designated building. Should it become a designated building, any alterations to the building should be guided by the Standards and Guidelines for Historic Places in Canada. Prince Charles Apartments includes aspects of preservation, rehabilitation and restoration.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

5. Find a use for an historic place that requires minimal or no change to its character-defining elements.

6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.

14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence

5.2 Conservation References

The proposed work entails the conservation of the exterior of Prince Charles Apartments. The following conservation resources should be referred to:

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010.
<http://www.historicplaces.ca/en/pages/standardsnormes/document.aspx>

National Park Service, Technical Preservation Services. Preservation Briefs:

Preservation Brief no. 3: Conserving Energy in Historic Buildings.

Preservation Brief no. 11: Rehabilitating Historic Storefronts

Preservation Brief no. 15: Preservation of Historic Concrete

Preservation Brief no. 17: Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character.

Preservation Brief no. 18: Rehabilitating Interiors in Historic Buildings—Identifying Character-Defining Elements

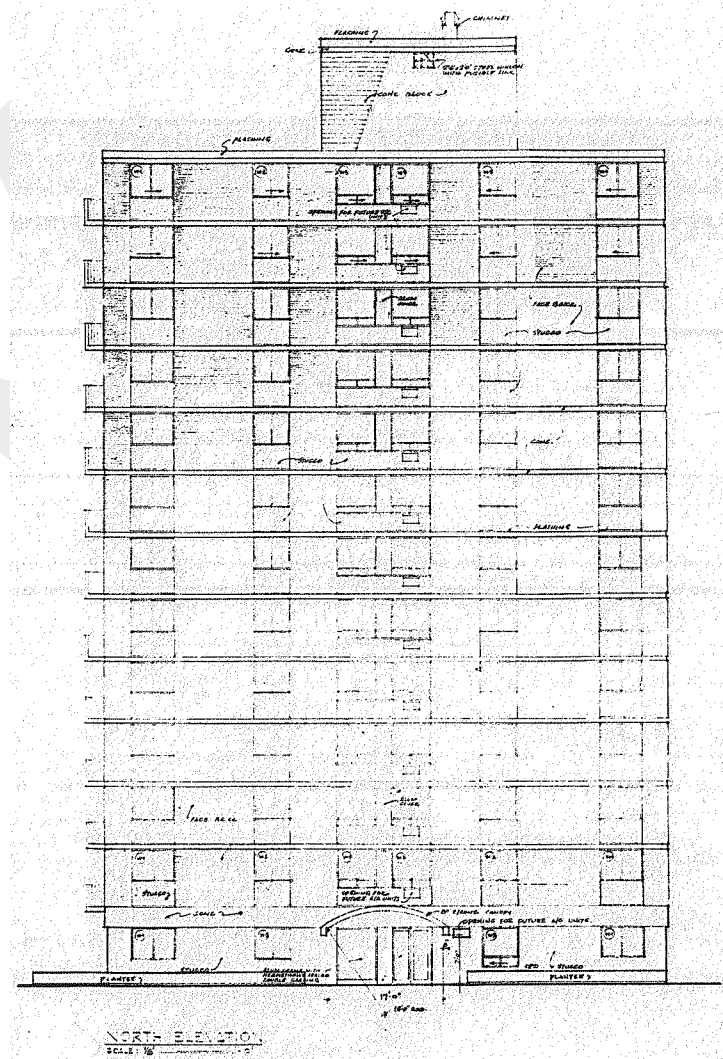
Preservation Brief no. 22: The Preservation and Repair of Historic Stucco

Preservation Brief no. 24: Heating, Ventilating, and Cooling Historic Buildings—Problems and Recommended Approaches

Preservation Brief no.32: Making Historic Properties Accessible.

Preservation Brief no. 35: Understanding Old Buildings: The Process of Architectural Investigation.

Preservation Brief no. 39: Holding the Line: Controlling Unwanted Moisture in Historic Buildings.



5.3 General Conservation Strategy

The general conservation strategy for Prince Charles Apartments is to preserve the exterior façade and massing of the building, rehabilitate the interior and surrounding site.

The rehabilitation of the interior includes the vacant northwest commercial space and a portion of the main lobby. This will enliven the building by giving it a new use as a coffee shop to serve the tenants and the surrounding community.

The major proposed interventions of the overall project are to:

- Preserve the primary massing and façades
- Rehabilitation of the interior main level space
- Rehabilitation of the site to be revitalize it and be fully accessible

Additional recommendations for the building include the repair or remediation of elements listed below to maintain a well functioning building and site. Further detail can be found in *Section 6.0: Conservation Recommendations*.

5.3.1 Priority 1:

Exposed Concrete Slabs

The exposed concrete slab edges have several areas with cracks showing. The concrete balconies also have cracks through the centre of the slab. These areas should be reviewed by a structural engineer.

Windows

The existing windows appear to be original and are at the end of their life cycle. The perimeters of the windows have been excessively caulked over due to leakage. The spandrel panels appear to be in poor condition with various panels that have been cracked. The windows should be replaced to remove any water infiltration and increase the U-value.

Ground Level Concrete

The ground level concrete slab currently has significant cracking and is slightly elevated from the sidewalk, creating issues for accessibility at each pedestrian access to the site, except for the north. This area should be repaired and rehabilitated to improve the overall site and community.

5.3.2 Priority 2

Mechanical Systems

The current mechanical systems appear to be outdated. The baseboard heating and air conditioning units will need to be reviewed by an engineer to confirm the condition.

Electrical

The current electrical wiring is routed through a PVC conduit on the roof and exposed down the exterior of the east and west sides of the building from the roof. The electrical routing should be revised to run on the interior of the building.

Priority 3: Recommended

Tenant Patio and Pool

The pool and patio at the southeast corner of the site has been decommissioned in the last 30 years, leaving a significant unused space. This area should be revitalized to be usable for the apartment tenants to improve the community.

5.4 Site Protection

Prince Charles Place is primarily occupied by residents, with a business on the main floor. It is the responsibility of the property owner to ensure the heritage resource is protected from damage at all times. Should the building become vacant, it should be secured against unauthorized access, vandalism, or damage through the use of appropriate fencing and security measures. Additional measures to be taken include:

- Smoke and fire detectors in working order.
- Wall openings are boarded up or made secure and exterior doors are securely fastened, if the building is vacant.
- Elements which could cause damage to the building are removed from the interior such as: trash; hazardous materials such as inflammable liquids, poisons, and paints; and canned goods that could freeze and burst.

Section 6.0 — Conservation Recommendations

An exterior condition review and a partial interior condition review of the main lobby and one dwelling unit of Prince Charles Apartments were carried out during a site visit in August 2021.

The recommendations for the preservation and rehabilitation of this heritage resource are based on historical research and archival documentation which provide valuable information about the original appearance and design of the structure.

The following section describes the materials, existing physical condition, and recommended conservation strategies for Prince Charles Apartments based on Parks Canada Standards & Guidelines for the Conservation of Historic Places in Canada.

6.1 Site

Prince Charles Place is located at 2121 15th Avenue in Regina, SK. It spans lots 18 and 19 of Plan: OLD 33, with a frontage of 79 feet. The building is multi-residential with a portion of the main floor used for small businesses. The building covers 5500 sq. ft. of the total 17 500 sq. ft site, with a 20-30 foot setback at each side that allows for landscaping and a concrete patio around the building. At the southeast corner of the site is a concrete pool for the



Aerial Image of Regina showing location of Prince Charles Apartments (Google Earth).

building's tenants. One level of underground parking is accessed from the southwest corner of the site. Prince Charles Place is surrounded by other apartment buildings and smaller businesses in its vicinity, with Central Park conveniently located diagonally from the northeast corner of the site.

The site is in overall poor condition, with many instances of cracks and crumbling in the concrete slab. There are areas that can be addressed for improved accessibility around the perimeter of the site from the sidewalk.

The above-ground concrete parking pad was re-poured in the last two years and appears to be cracking and spalling, which could mean there are some drainage issues present on the site.

The pool area has been decommissioned in the last 30 years. Styrene-butadiene-styrene covering concrete has been installed to prevent moisture infiltration in the below-ground parkade. The underground parkade wall was found to have some water staining at a few exterior walls and beams. The underground parkade should be further investigated to determine the severity of the water infiltration and it's possible connection to the above ground parking pad concrete damage.

Conservation Strategy: Preservation & Rehabilitation

- Maintain frontage onto 15th Avenue.
- Any drainage issues should be addressed through the provision of adequate site drainage measures.
- Refinish the exterior concrete slab in front of the building in a way that is appropriate with the International Style.



Photo looking toward Prince Charles Apartments from the site's northeast corner.



Looking toward northeast corner, showing cracked sidewalk and concrete pad elevated from sidewalk, causing an issue for accessibility.



West corner of north façade, showing cracked concrete at door.



Concrete and red lava rock at north side of the site. Asphalt has been poured to ramp up from sidewalk level to concrete pad.



East Concrete pad and surrounding sidewalk. The concrete pad is elevated one to two inches from the sidewalk.



West concrete parking pad.



West concrete pad showing cracking and spalling. Concrete was poured in the last two years.



Southwest corner looking east, showing pool entry and loading bay.



Southeast corner, looking north.



Southeast corner looking south, SBS covering on concrete patio surface to prevent water infiltration into the parking garage.



Southeast concrete pool in fair to good condition with surrounding concrete patio and SBS.



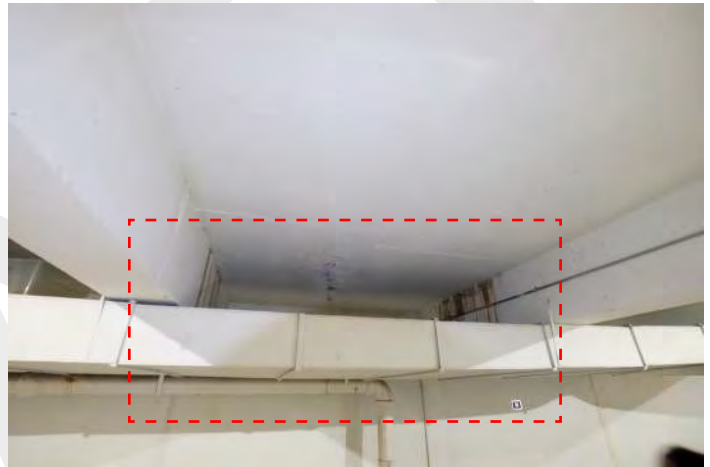
Overall view of underground parkade.



Crack and water staining on parkade wall.



Water staining from leaking mechanical pipes.



Severe water staining at west parkade wall.



Water staining on west parkade wall.

6.2 Form, Scale and Massing

Prince Charles Apartments is a 13-storey, International Style high-rise apartment with a concrete structure. The building possesses rectangular massing and a flat roof. It is a simple design with regular and uniform windows and projecting balconies on each of its façades.

Conservation Strategy: Preservation & Restoration

- Preserve the extant form and scale of the building. Any adjacent additions or new development should strive to be subordinate and sympathetic to the historic resource.

6.3 Exterior Facade

The upper levels of the building's façade consist of orange brick cladding, exposed floor slab edges, and pebble dash stucco in a regulated design on every elevation. The main level is primarily stucco with exposed concrete at the top and bottom of the level. The main entrance features a fairly prominent cantilevered concrete canopy.

The brick cladding appears to be in good condition, with no concerns at the time of inspection.

The stucco is in generally poor condition, with several instances of cracking and parging. The stucco on the main level and areas underneath the windows have many areas with cracking. These areas should be inspected

for any water infiltration that could be compromising the building envelope.

The concrete appears to be in poor to fair condition. Several hairline cracks are visible at the continuous concrete slab and wall at the top of the main level. The lack of a drip edge at the exposed concrete slabs above each window has resulted in some spalling and cracking throughout each elevation, with paint peeling above every window. The concrete should be further inspected by an engineer to determine if these areas are of structural concern.

Conservation Strategy: Preservation

- Review concrete condition for any structural complications that may be present.
- Review and restore stucco siding throughout the façade.
- Review brick cladding condition.
- Anchoring of equipment in the masonry is highly discouraged. Mortar joints may be utilized for anchoring if it does not damage the masonry unit.

6.3.1 Balconies

The east elevation has projecting balconies going up the centre of the upper levels. The front panels are precast concrete with metal railings on the sides. The balcony concrete slabs are in poor condition. Cracks are visible down the centre of the majority of the balconies, with



View of Prince Charles Apartments from the southwest corner of Central Park.



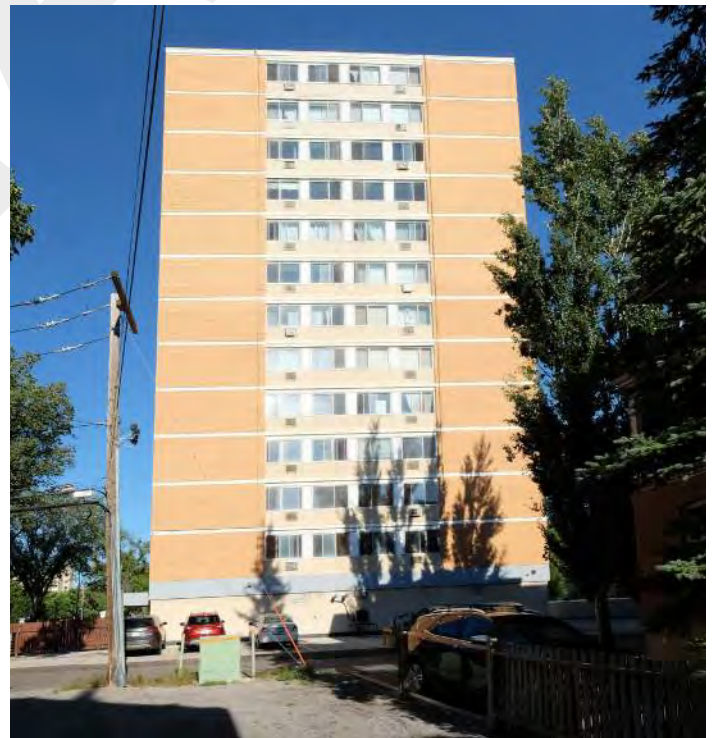
North Façade



East Façade



South Façade



West Façade



North façade, showing deteriorating concrete slab edge and excessively caulked aluminum windows.



East façade, showing spalled and cracked stucco.



North façade, showing cracked stucco and hairline cracks in concrete



East façade, showing portion of cracked stucco and cracked concrete.



East façade, showing cracking down the centre of the majority of projecting balconies. Cracks are most severe on the second floor balcony.



Detail of cracking down the centre of the third floor balcony.



Detail of cracking down the centre of the second floor balcony. Also showing cracking and staining on the front face of the concrete slab.

6.4 Roof

The roof of Prince Charles Apartments is a flatline roof with a concrete block elevator penthouse. The original roof was a built-up roof system. The roof has been redone in the last two years with and styrene-butadiene-styrene (SBS) modified bitumen roofing system.

The current roof has had some leakage during heavy rain and has been patched with sealant to mitigate the issue. At the time of review, the east side of the roof had some water pooling due to the lack of slope toward the drains. The elevator penthouse appears to be in fair condition, with minor cracks on the north elevation that have been patched with sealant.

The roof should be monitored if any water infiltration occurs or worsens.

Conservation Strategy: Restoration & Rehabilitation

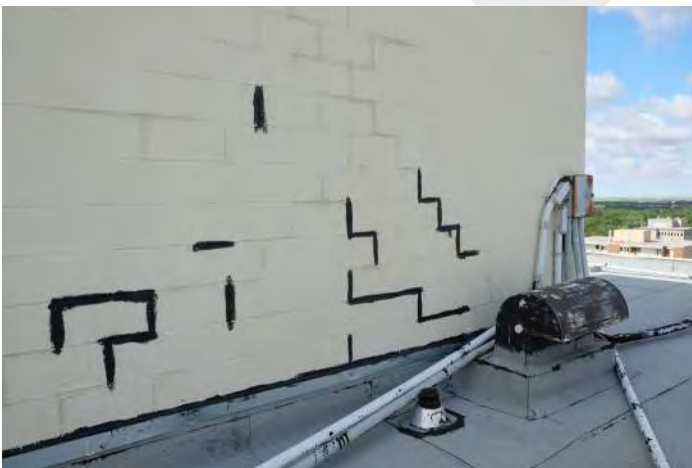
- Preserve massing and shape of the flatline roof.
- Preserve, if feasible, the existing penthouse and make any necessary repairs to its masonry.



Southeast corner of roof looking toward elevator penthouse.



Roof looking east, showing patched roof where some water has infiltrated the roofing after a heavy rain.



Roof looking toward north side of the elevator penthouse, showing patched cracking in the concrete block masonry.



Roof looking east, showing water pooling on the south side. The roof slope should be revised for adequate drainage during the next roof replacement.

6.5 Fenestration

6.5.1 Windows

The original windows of the Prince Charles Apartments are double glazed aluminum sliding windows. The windows on the north, south, and west elevations have a prefinished spandrel panel at the centre of the windows where the structural column is located on the interior. The existing windows appear to be the original windows from the building's 1966 construction.

The existing windows are in poor condition. The perimeter of the windows have been excessively caulked over as a measure to mitigate water leakage. As mentioned in *Section 6.3*, the paint on the exposed concrete slabs is peeling at each window location due to the lack of a drip edge. Additionally, some spandrel panels are cracked through the middle. While it is unknown if the panels are original, they should be detailed more efficiently while maintaining the original appearance. The windows should also be fully replaced as they are at the end of their life cycle and failing.

Conservation Strategy: *Preservation & Rehabilitation*

- Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.
- New windows should maintain their regulated pattern on each elevation.
- Avoid mirrored glass with high reflectivity as a replacement material.
- If it is infeasible to preserve the aluminum windows, replace them with a visually compatible window to the original and the building's façade.



Detail of a window on the north elevation, showing built up caulking and deteriorating painted concrete slab edge.



Interior side of general aluminum windows.



Interior side of general aluminum windows.



North façade, showing aluminum windows and front entry signage.



South elevation window detail. Showing excessively caulked window frames, cracked prefinished panel, and spalling concrete slab edge with peeling paint.



West façade, showing overall of aluminum windows in poor condition.

6.5.2 Doors

The exterior doors of Prince Charles Apartments include aluminum and wood doors. The building initially had four door openings on the main level; one aluminum door for the main north entrance, two wood doors at the loading dock on the south elevation, and one wood sliding door for the pool patio at the south elevation. Each level on the east elevation has a set of two doors for balcony access on the upper levels and patio access on the main level.

Today, the east elevation has one ground floor door opening, as the floor plan has been reorganized for its new use as a commercial space. An additional door has been introduced on the north elevation to accommodate commercial space as well. At the south elevation, all but one of the original doors remain. The centre wood door has been replaced with a painted steel door, and the east pool access door has been replaced with a polyvinyl chloride (PVC) door.

The condition of the doors varies from poor to fair condition, as some of the aluminum doors appear to be original and are having similar issues to the aforementioned original windows mentioned in *Section 6.5.1*. The condition of the general balcony doors was not investigated at the time P3A reviewed the building.

The proposed interventions on the Prince Charles building does not impact the doors. If any doors require replacement, they should be compatible to the original, similar to the west door introduced on the north elevation.

Conservation Strategy: Restoration & Preservation

- Retain door opening on the north elevation in its original location.



North entrance door



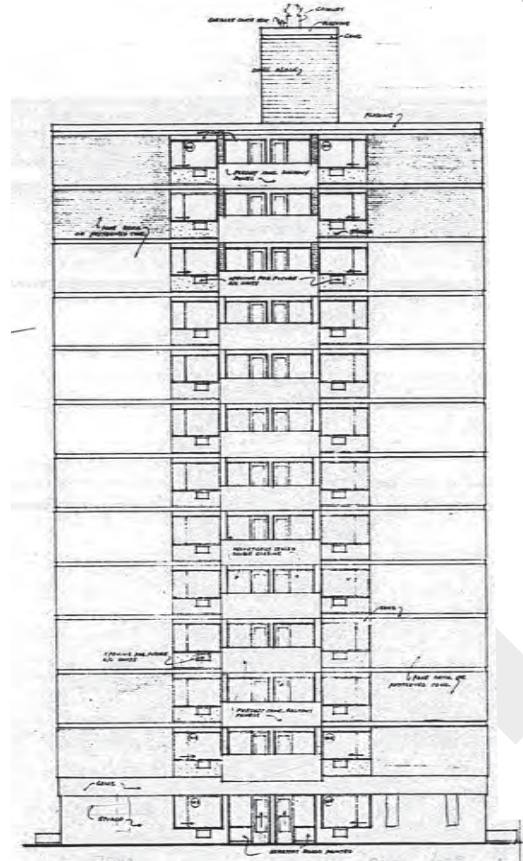
West door on north elevation, introduced when the main floor was reorganized to suit commercial use. Door is in fair condition.



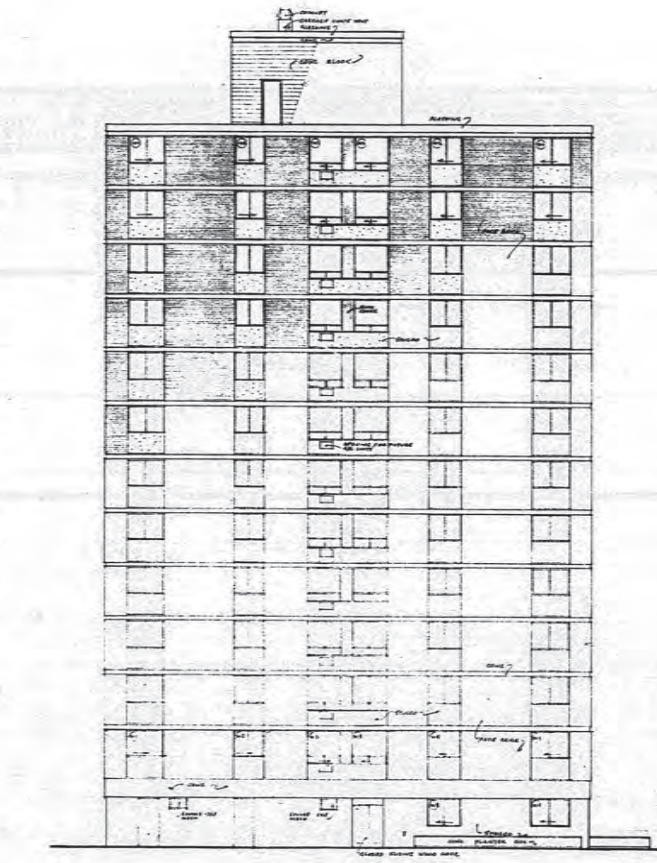
East elevation door for existing commercial space. Door to the north has been infilled with a larger window in a past intervention.



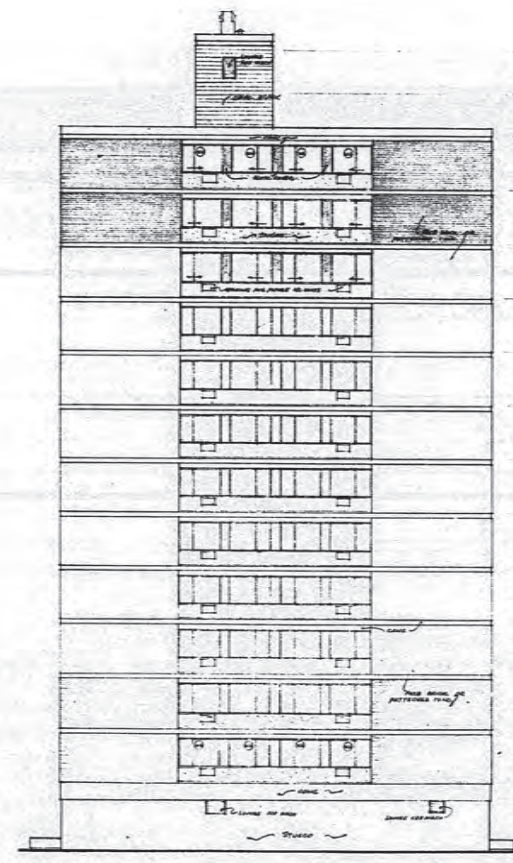
North Elevation Drawing by Louie Plotkin & Associates.



East Elevation Drawing



South Elevation Drawing



West Elevation Drawing

6.6 Interior

The interior of Prince Charles Apartments was originally only used for residential occupancy. Since then, the main floor has been modified for commercial and public use. One commercial space is currently vacant and the other is occupied by 'Fresh Look.' Public washrooms have been added to the south end of the main floor near the back patio access. The only remaining original element on the interior of the building is the main floor lobby, with the exception of its entry vestibule. The original decorative trowel swept plaster and stucco remains on some walls. This should be preserved as much as possible but is not integral to the heritage value of the building.

Conservation Strategy: Rehabilitation

The current plan for the interior of the building is to introduce a cafe into the vacant commercial space at the northwest corner of the building.

- Make any alterations compactible and sympathetic to the historic building.
- Use an appropriate colour scheme when painting the interior.
- If any restoration is done, have evidence to base it upon (i.e. original floor plans or photographs).



Section 7.0 — Maintenance Plan

7.1 Maintenance Guidelines

Per the Standards and Guidelines, “Maintenance is an important part of the preservation process. Regular maintenance will preserve character defining elements and extend the service life of functional components” (p9, 12).

Where the building requires repairs or modification to its existing elements, written approval from the department responsible for Provincial Heritage Properties is required prior to proceed. The best treatment must be discussed in order to protect the heritage character of the building. Regular building maintenance does not require approval.

7.2 Permitting

Repair activities, such as simple in-kind repair of material, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

7.3 Routine, Cyclical, and Non-Destructive Cleaning

Use gentlest means possible when cleaning heritage elements of the building. Use non-destructive methods when undertaking any cleaning procedures.

7.4 Repairs and Replacement of Deteriorated Materials

Interventions such as repairs and replacements must conform to the Standards and Guidelines for the Conservation of Historic Places in Canada. The building’s character-defining elements must be conserved, referencing the follow principals to guide interventions:

- Approach of minimal intervention must be adopted. Meaning any interventions on the building should be carried out in the least obtrusive way possible.
- Repair rather than replace character-defining elements.
- Make any interventions physically compatible with the historic place.

7.5 Inspections

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building. From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building’s elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

7.5.1 Maintenance Programme

Inspection Cycle

Daily

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

Semi-Annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms.
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom brush.

Annually (Spring)

- Inspect concrete for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.

Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

Major Maintenance Work (As Required)

- Thorough repainting, downspout and drain replacement; replacement of deteriorated building materials; etc.

7.6 Information File

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed. The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

7.6.1 Logbook

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets.

It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate.

The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

7.7 Exterior Maintenance

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

7.7.1 Inspection Checklist

The following checklist considers a wide range of potential problems specific to the different masonry of the building, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

Site

- ☐ Is the lot well drained? Is there pooling of water?
- ☐ Does water drain away from the foundation?

Foundation

- ☐ Does pointing need repair?
- ☐ Paint peeling? Cracking?
- ☐ Is bedding mortar sound?
- ☐ Moisture: Is rising damp present?
- ☐ Is there back splashing from ground to structure?
- ☐ Is any moisture problem general or local?
- ☐ Is spalling from freezing present? (Flakes or powder?)
- ☐ Is efflorescence present?
- ☐ Is spalling from sub-fluorescence present?
- ☐ Is damp proof course present?
- ☐ Are there shrinkage cracks in the foundation?
- ☐ Are there movement cracks in the foundation?
- ☐ Is crack monitoring required?
- ☐ Is uneven foundation settlement evident?
- ☐ Are foundation crawl space vents clear and working?
- ☐ Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil build-up;
- ☐ Deflection of lintels?

Masonry

- ☐ Are moisture problems present? (Rising damp, rain penetration, condensation, water run-off from roof, sills, or ledges?)
- ☐ Is spalling from freezing present? Location?
- ☐ Is efflorescence present? Location?

- ☐ Is spalling from sub-fluorescence present? Location?
- ☐ Need for pointing repair? Condition of existing pointing and re-pointing?
- ☐ Is bedding mortar sound?
- ☐ Are weep holes present and open?
- ☐ Are there cracks due to shrinking and expansion?
- ☐ Are there cracks due to structural movement?
- ☐ Are there unexplained cracks?
- ☐ Do cracks require continued monitoring?
- ☐ Are there signs of steel or iron corrosion?
- ☐ Are there stains present? Rust, copper, organic, paints, oils / tars? Cause?
- ☐ Does the surface need cleaning?

Windows

- ☐ Is there glass cracked or missing?
- ☐ Are the seals of double glazed units effective?
- ☐ If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- ☐ If the glass is secured by beading, are the beads in good condition?
- ☐ Is there condensation or water damage to the paint?
- ☐ Are the sashes easy to operate? If hinged, do they swing freely?
- ☐ Is the frame free from distortion?
- ☐ Do sills show weathering or deterioration?
- ☐ Are drip mouldings/flushing above the windows properly shedding water?
- ☐ Is the caulking between the frame and the cladding in good condition?

Doors

- ☐ Do the doors create a good seal when closed?
- ☐ Do metal doors show signs of corrosion?
- ☐ Is metal door sprung from excessive heat?
- ☐ Are the hinges sprung? In need of lubrication?
- ☐ Do locks and latches work freely?
- ☐ If glazed, is the glass in good condition? Does the putty need repair?
- ☐ Are door frames wicking up water? Where? Why?
- ☐ Are door frames caulked at the cladding? Is the caulking in good condition?
- ☐ What is the condition of the sill?

Gutters and Downspouts

- ☐ Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- ☐ Are downspouts complete without any missing

sections? Are they properly connected?

- ☐ Is the water being effectively carried away from the down spout by a drainage system?
- ☐ Do downspouts drain completely away?

Roof

- ☐ Are there water blockage points?
- ☐ Is the leading edge of the roof wet?
- ☐ Is there evidence of biological attack? (Fungus, moss, birds, insects)
- ☐ Are wood shingles wind damaged or severely weathered? Are they cupped or split or lifting?
- ☐ Are the nails sound? Are there loose or missing shingles?
- ☐ Are flashings well seated?
- ☐ Are metal joints and seams sound?
- ☐ If there is a lightening protection system are the cables properly connected and grounded?
- ☐ Does the soffit show any signs of water damage? Insect or bird infestation?
- ☐ Is there rubbish buildup on the roof?
- ☐ Are there blisters or slits in the membrane?
- ☐ Are the drain pipes plugged or standing proud?
- ☐ Is water ponding present?

Section 8.0 — Preliminary Opinion of Probable Rehabilitation Costs

Priority 1 - Exterior

Stucco / Windows / AC	Cost/Hr	Hrs/Quantity	Total
Main Floor Stucco Refresh			\$25,000.00
Stucco Under Windows			\$119,545.00
A/C Sleeves with Grills	\$179.00	72	\$12,888.00
A/C 220V-110V	\$90.00	72	\$6,480.00
A/C Units	\$450.00	72	\$32,400.00
Swing Stage Rental A1	\$5,000.00	5	\$25,000.00
Window Install Labor	\$140.00	220	\$30,800.00
Window Install Material			\$10,000.00
All-Weather Windows			\$193,497.10
RRME Profit			\$45,561.00
Total			\$501,171.10
Balcony Doors and Decks			
Painting Balcony Structure	\$750.00	24	\$18,000.00
Sliding Door and Window	\$2,300.00	24	\$55,200.00
Resurface Balcony Deck	\$900.00	24	\$21,600.00
Total			\$94,800.00

Priority 2 - Mechanical and Electrical Systems

Plumbing Replacement			
Prep and Demo	\$350.00	72	\$25,200.00
Plumbing (Domestic Water and Sewer)	\$2,800.00	72	\$98,600.00
Reconstruction	\$1,950.00	72	\$140,400.00
PRME Profit			\$36,720.00
Total			\$403,920.00
Mechanical Work			
Domestic Hot Water Tanks	\$350.00	72	\$16,362.22
Boiler Replacement and Glycol System	\$2,800.00	72	\$73,750.00
Total Mechanical Work	\$1,950.00	72	\$90,112.22

Priority 3 - Patio and Pool Revitalization

Pool Area			
Create Putting Green	\$350.00	72	\$25,200.00
Restore Original Swimming Pool	\$2,800.00	72	\$98,600.00
Total			\$403,920.00

Section 9.0 — Appendix A: Research Summary

Sources for Historic Context and Statement of Significance

A Brief History of Regina. City of Regina, n.d.

Community Planning Scheme. Regina, Planning Department (1961).

Denise Cook Design, Birmingham & Wood, Dr. Keith Thor Carlson, Stephanie Danyluk, Dr. Jean Barman with Dr. J. William Brennan. Regina's Recent Past 1930-1976: Historic Context Report (2010).

Faludi, Eugene G. Thirty Year Program for Development, Regina, 1946-1976. Community Planning Committee (December 1947).

Housing Survey Report. Regina, Planning Department (1961).

Insurance Plan of the City of Regina. Underwriters' Survey Bureau, Ltd. (June 1957).

Lasner, M.G. Architect as Developer and the Postwar U.S. Apartment, 1945-1960. Building & Landscapes: Journal of the Vernacular Architecture Forum. Vol. 21, No. 1 (Spring 2014).

"Louie Plotkin [Obituary]". Winnipeg Free Press, February 22, 2001.

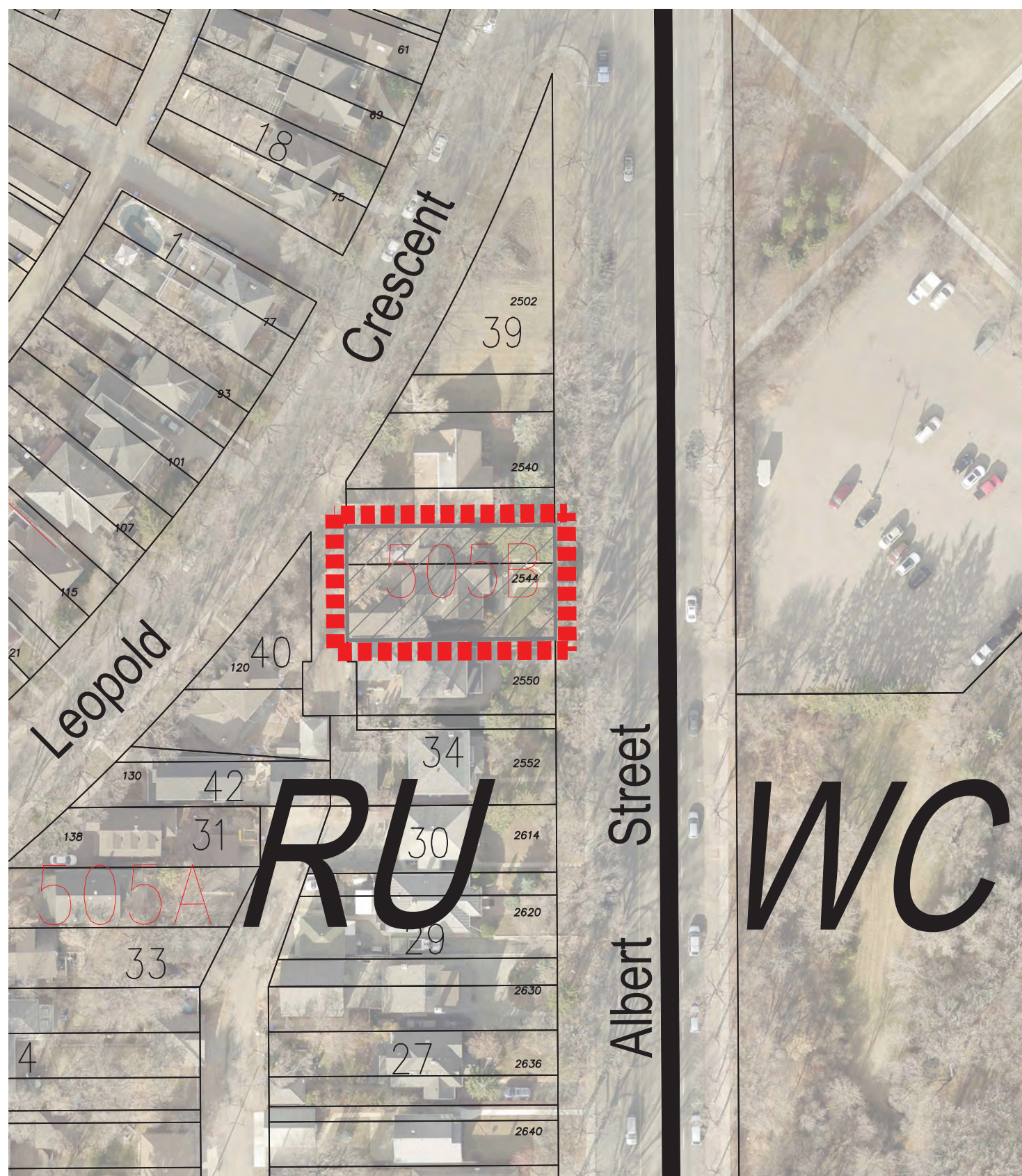
Regina Walking Tours: Centre Square. City of Regina, n.d.

Rowe, H.A. The Rise and Fall of Modernist Architecture. Student Pulse, Vol. 3, No. 4 (2011).

Sennott, Stephen (Ed). Encyclopedia of Twentieth Century Architecture. Fitzroy Dearborn (2004).

Wright, Robert W. Regina C.B.D. Economic Study. Regina, Department of Industrial Development (1964).

A special thanks to Melissa Munro, Information Preservation Assistant at the City of Regina Archives, and additionally the Prairie History Collection at the Regina Public Library.



Subject Property



Heritage Designation

Date of Photography : 2020





Date of Photography: 2020



Subject Property



Heritage Designation

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	May 17, 2021
	Neighbourhood	Cathedral
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

Historic Place Name MacKenzie Residence	
Municipal Address 2544 Albert Street	Year of Construction 1942
Architectural Style Minimal Traditional Architect/Designer Unknown Builder Unknown	Legal Address/Description Lot 36, Block 505B, Plan CM3942 Lot 44, Block 505B, Plan 101222086 Themes: Capital City Development Site Area (m ²)
Consultant Donald Luxton & Associates	
Heritage Planner	



HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name MacKenzie Residence
----------------------------------	--

Description of Historic Place

The Mackenzie Residence, located in the historical Riverside area of Regina's Cathedral neighbourhood, is situated midblock on a rectangular lot fronting onto Albert Street across from the Royal Saskatchewan Museum. The Minimal Traditional-style dwelling is characterized by its one and one-half storey height, distinctive cross-gabled roof design with decorative knee brackets, wood sashes with multi-light storm windows, recessed front entry with brick surround, stucco cladding, and a corbelled brick chimney.

Heritage Value of Historic Place

Built in 1942, the Mackenzie Residence is valued for its construction during the Second World War in the Cathedral neighbourhood. Located within the historical Riverside area, situated between Albert and Princess Streets and Wascana Creek and Leopold Crescent/College Avenue, this area was initially subdivided in 1906 in response to the announcement by the province of the new legislative building in the vicinity. Like the adjacent Crescents and Lakeview areas, Riverside experienced its first residential development boom at this time, further augmented by its idyllic adjacency to Wascana Lake and Creek, and proximity to the proposed Grand Trunk Pacific Railway terminus and hotel. Development in Riverside stalled during the First World War, but increased again during the 1920s. The Great Depression significantly slowed housing construction across the city, a problem which continued to persist into the Second World War. While wartime production buoyed the economy out from its decade-long stagnation, it ushered in an era of resource scarcity, labour shortage, and urbanization, making the construction of the MacKenzie Residence during this time a notable achievement.

The Mackenzie Residence is also valued for its association to its original owners and longtime residents John A. (1918-2000) and Maxine E. (née Neil; 1917-2003) MacKenzie. Born in Winnipeg and moving to Regina in 1919, John spent his career working for, and later becoming a partner in his family's jewelry business, J. Alex MacKenzie, Ltd. which had been established in 1928 by his father. John was also an active member of the Regina community, serving in a variety of clubs and fraternal organizations. Maxine was born in Saskatoon and was the daughter of Nellie and Albert Neil, the latter who owned and operated a successful automobile dealership, Neil Motors. Construction of John and Maxine's home began several months before their marriage in 1942 on property owned by Maxine's parents, immediately south of her parent's 1938-constructed dwelling at 2540 Albert Street, of which the MacKenzie Residence borrows design elements from. The MacKenzies resided in their new home until John's retirement and disposal of the jewelry business, at which time him and Maxine moved to West Vancouver in 1972.

The Mackenzie Residence is also valued for its Minimal traditional design. The Minimal Traditional-style emerged as a response to the economic conditions of the Great Depression and the drastic decrease in available capital and housing starts. Reflecting a transitional stage between the preceding and popular Period Revival movement and the approaching wave of Modernism, Minimal Traditional architecture is characterized by its simplified interpretations of traditional aesthetics and design features. The Mackenzie Residence incorporates elements of this style, as evident by its restrained use of ornamentation, cross-gabled roof, stucco siding finish, triangular window openings, corbelled brick

HERITAGE INVENTORY EVALUATION FORM

chimney, and decorative knee brackets.

Character-Defining Elements

The character defining elements include but are not limited to:

- Location midblock on the west side of Albert Street, between Leopold Crescent and 19th Avenue in the historical Riverside area;
- form, scale and massing, as expressed by its one and one-half storey height; full basement; and cross-gabled roof with projecting front gable;
- wood-frame construction with concrete foundation; wood bargeboards and soffits; and wood window frames, casings and sills;
- Minimal Traditional-style elements including low-profile form and scale with intermediate pitched cross-gabled roof with short projecting eaves; stucco cladding; corbelled brick chimney; scroll-cut wood knee brackets; and recessed front entry with brick surround;
- fenestration including original triangular window openings; multi-assembly windows, original multi-light wood window sashes and wood storms; and original wood front door with decorative glazing; and
- internal red brick chimney with clay pots.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name MacKenzie Residence
-------------------------------	--

Values Summary

- Valued for its location along Albert Street bordering Regina's Riverside area.
- Valued for its original owners and residents, the Mackenzie family.
- Valued for its Minimal Traditional architecture.

Period of Significance

1940s

Chronology of Alterations

Unknown dates:

- Removal and replacement of all most original wood sash windows.
- Local repointing of brick door surround and brick chimney.
- Replacement of original front brick doorsteps.
- Installation of two skylights along front elevation.
- Replacement of original front screen door.

Aspects of Integrity

1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

Statement of Integrity

The MacKenzie Residence maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).

The Mackenzie Residence retains a notable degree of its historic integrity based on its location, form, scale, massing, and excellent maintenance by past and present owners.

- Foundation: Foundation material is unconfirmed, but presumed to be concrete in good condition
- Cladding: Stucco cladding is in excellent condition with minimal staining and minimal signs of cracking or moisture related deterioration. Exterior painting and cleaning work was likely performed recently, as evident by the pristine condition of the finish.

HERITAGE INVENTORY EVALUATION FORM

- Roof: Asphalt shingle roofing is presently in good condition and visibly well-maintained. Original roof material is unconfirmed.
- Roof elements: All wood features on the roof including fascia, bargeboards, soffits and decorative braces are in excellent condition. Exterior painting and cleaning work was likely performed recently, as evident by the exceptional condition of all wood roof elements.
- Windows: All original window openings remain in place; however many sashes have been replaced. Original wood window frames and storms extant remain in triangular openings on front elevation.
- Doors: Front door is original and appears to be in good condition. Original screen door at this location has been replaced.
- Other: Brick chimney is in good condition with minor mortar joint deterioration observed. Front entry brick surround and entrance steps are in excellent condition.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name MacKenzie Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: •	<input checked="" type="checkbox"/> No (Result is GRADE 2)		<input type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input checked="" type="checkbox"/> Grade 2		<input type="checkbox"/> Grade 1		
Date Evaluated by City:					
Date Approved by City:					

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name MacKenzie Residence
--------------------------	--



Caption: Aerial view of the MacKenzie Residence.

Date: 1951

Source: City of Regina

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Front elevation of the MacKenzie Residence.

Date: circa 1988

Source: City of Regina Archives (CORA-Q-26.6)

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front (right) and south (left) elevations of the MacKenzie Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of an original triangular wood frame window opening and wood storms on the front elevation of the MacKenzie Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the front entry of the MacKenzie Residence with decorative brick surround.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Partial view of the north elevation of the MacKenzie Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Partial view of the rear elevation of the MacKenzie Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the corbelled red brick chimney with clay pots.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

HERITAGE INVENTORY EVALUATION FORM

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

HERITAGE INVENTORY EVALUATION FORM

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



South
side

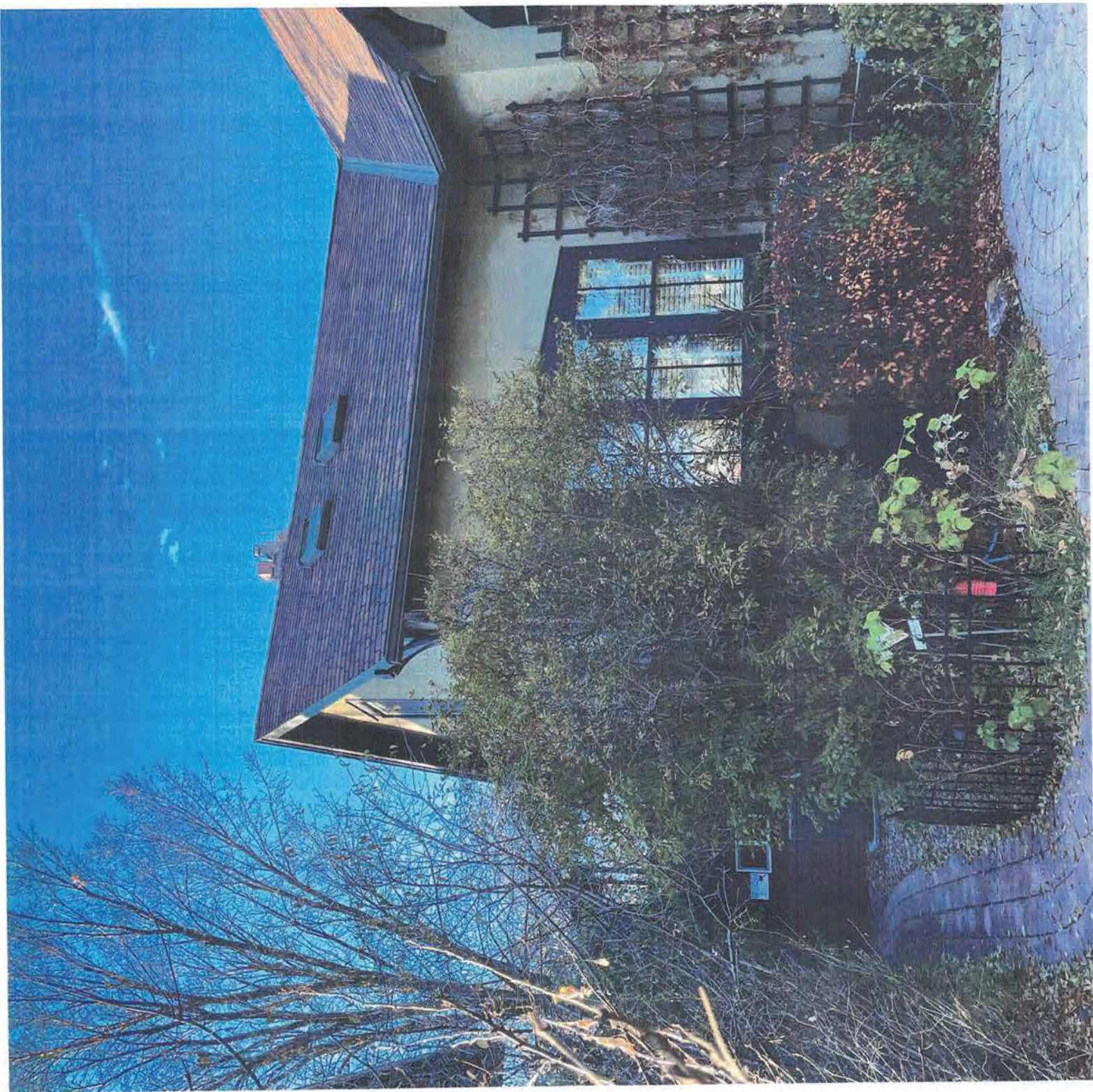


Tree

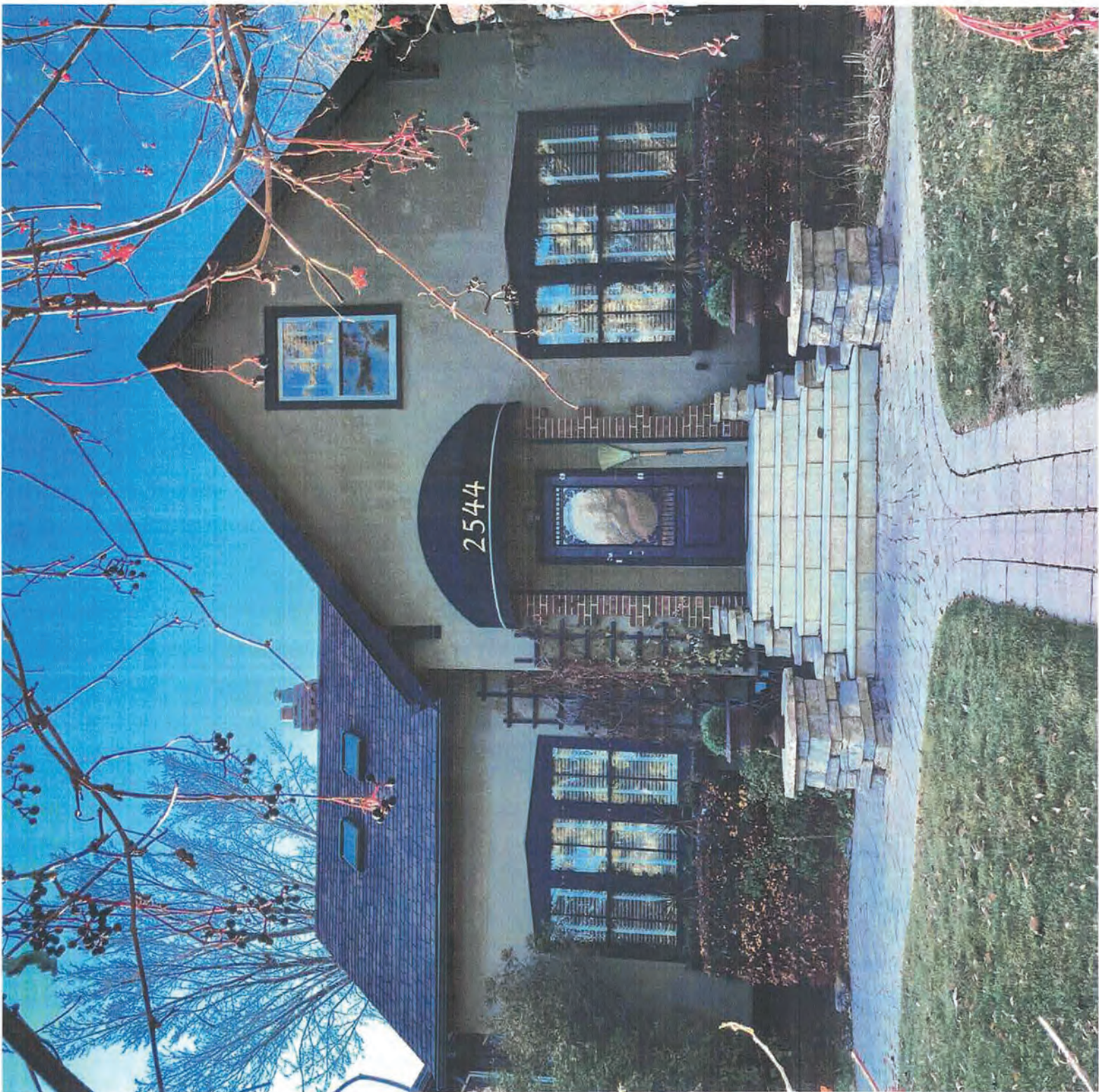
South
side



South
side

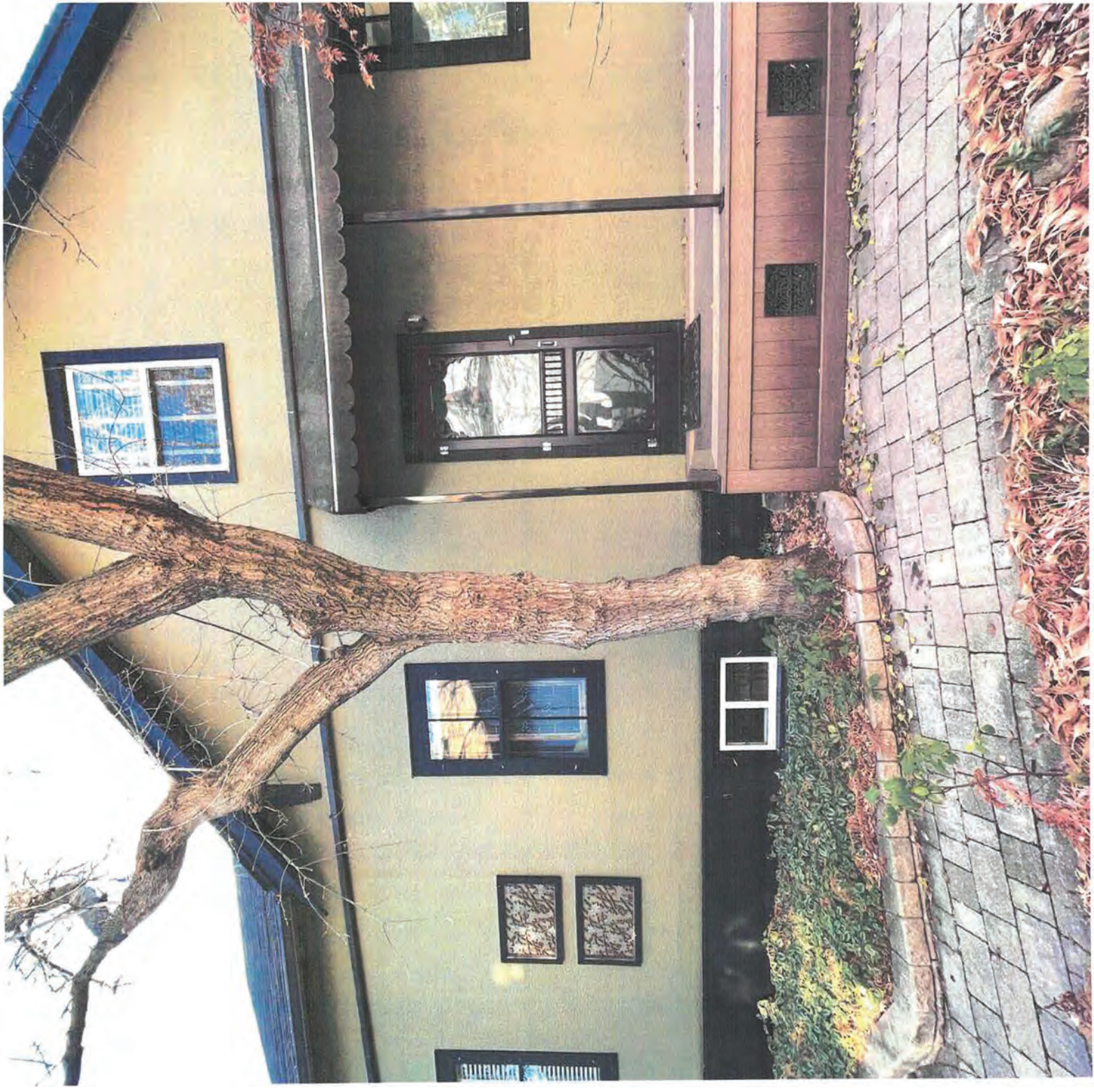


East



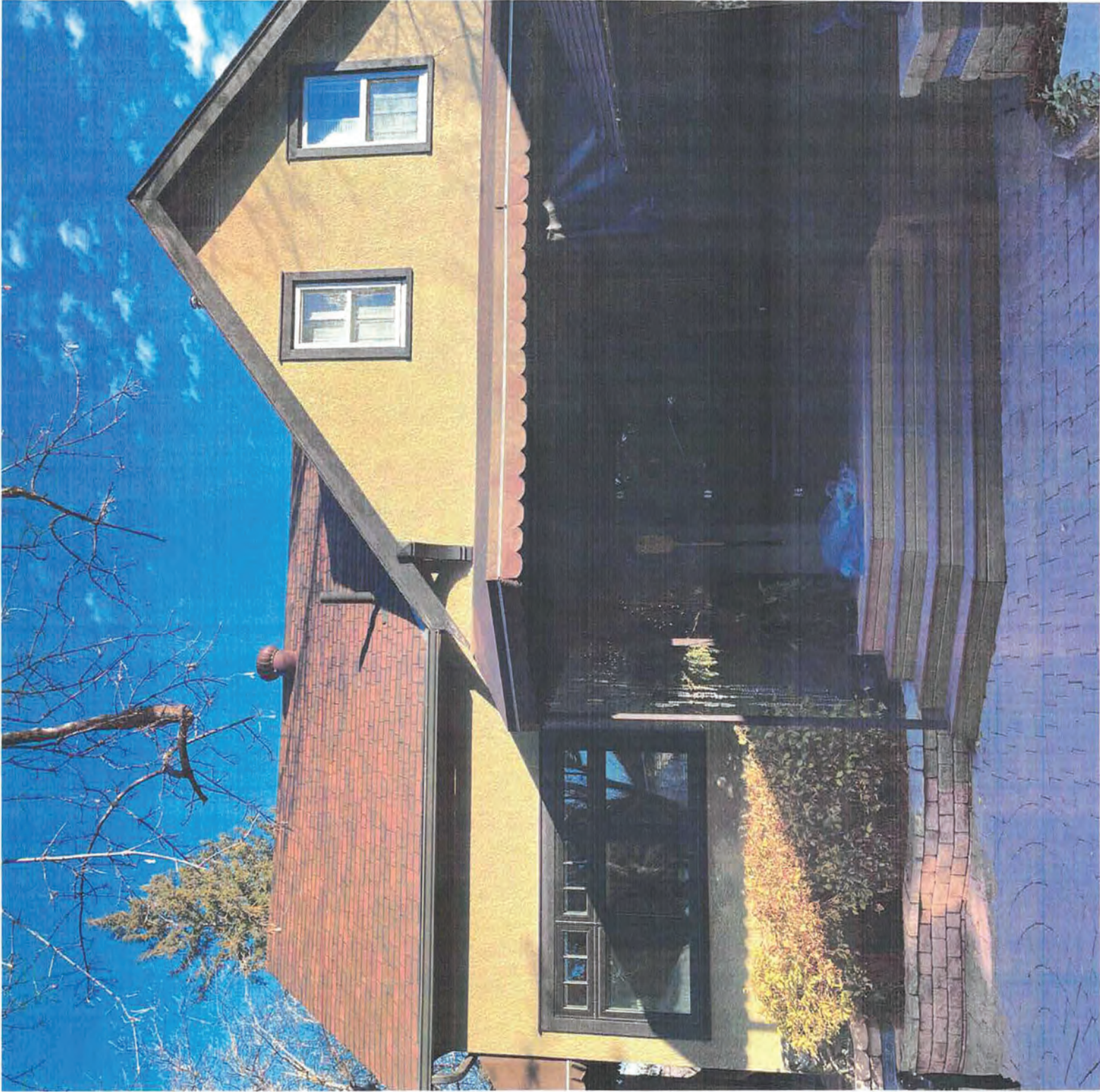
NE
corner





North
side

West
side





NW
corner

SURVEYOR'S CERTIFICATE

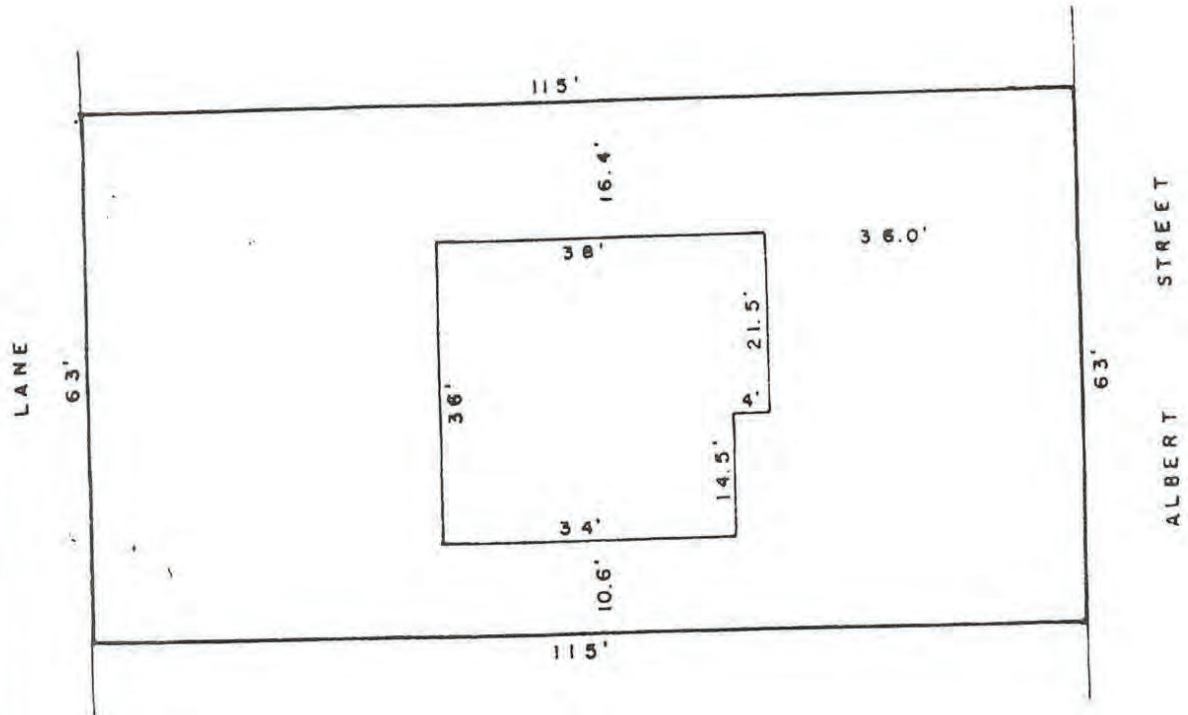
Appendix G

PROPERTY: LOT 36 & S. 1/2 LOT 37, BLOCK 505 B

ACCORDING TO A PLAN OF RECORD IN THE LAND TITLES OFFICE FOR
THE REGINA LAND REGISTRATION DISTRICT AS NUMBER CM 3942

I, JAMES PATRICK CONDON, SASKATCHEWAN LAND SURVEYOR, DO
HEREBY CERTIFY:

1. THAT THE BUILDING NOW SITUATED ON THE ABOVE-DESCRIBED
PROPERTY IS LOCATED AS SHOWN ON THE FOLLOWING SKETCH.
2. THAT THERE ARE NO ENCROACHMENTS UNLESS SHOWN BELOW.
3. MEASUREMENTS SHOWN ARE TO FOUNDATION AT GROUND LEVEL
UNLESS NOTED.



(2544 ALBERT ST.)

DATED AT REGINA IN THE PROVINCE OF SASKATCHEWAN
THIS 11 DAY OF October, 1972

James Patrick Condon
SASKATCHEWAN LAND SURVEYOR



4A - 2700 MONTAGUE STREET
RIVER HEIGHTS SHOPPING CENTRE

SCALE: 1" = 20'

OUR FILE: 72 R 529

FIELD BOOK: G 21

#3 2544 Albert Street – opposite the Grasshopper

Our main entrance is through the back gate off Leopold Crescent which to us is like our front yard. This is because there is no front drive on Albert Street.

Our home was built in 1942 by Albert Neil of Neil Motors for his daughter Maxine when she married Jack MacKenzie of MacKenzie Jewelry. Our home and the Neil home (next door at 2540 Albert Street) still retain many of the original, identical features, such as art plaster walls and arched wall niches. Although a completely different style than the Neil house, our home was designed so that the kitchen, dining room and sitting room windows all aligned between the two homes for family reasons. The MacKenzies occupied the main floor only until around 1950 when they finished the second floor.

We purchased this home in 1994. The hardwood floors and the character of the walls and arches are what appealed to us the most. Other than the addition of a wine cellar, repainting, and other minor changes, the kitchen and the master bedroom/ensuite are the two main renovations that we have completed. We also landscaped the back yard as this was all gravel when we first moved in. We hope you enjoy your tour and thank you for supporting the Davin School Parents' Association.

Davin School Tour

Sept 17, 2005

Also, featured in

Secrets Garden Tour July 2011

2544 Albert Street (2nd house south of the metal art Grasshopper on Albert Street)

Important: Come through back gate off Leopold Crescent, through the yard to the back door. There is no front drive. Our main entrance is through the back gate off Leopold Crescent which our friends and family use like a front access.

Our home was previously in the school tour in 2005. It was also featured in the Leader-Post on May 25th, 2002. Like all old homes, updates and renovations seem perpetual and the home and yard has seen many further changes since the 2005 school tour.

Our home was built in 1942 by Albert Neil of Neil Motors for his daughter Maxine when she married Jack MacKenzie of MacKenzie Jewellery. Next door to each other, the Neil home (2540 Albert Street) and our home still retain many of the original, identical features, such as art plaster walls and arched wall niches. Although a completely different style than the Neil house next door, our home was designed so that the kitchen window (now gone with 2013 kitchen reno), dining room and sitting room windows all aligned between the two homes for family reasons. The MacKenzies' initially only occupied the main floor of the house until around 1950 when they finished the second floor.

We purchased the home in 1994, location combined with the hardwood floors and the character of the walls and arches are what appealed to us the most. We have completed several renovations – some major and some minor. The kitchen, the master bedroom/ensuite and ½ of basement are the major renovations. Minor renovations have included built-ins shelving in the living room, the laundry room, a wine cellar and general painting and updating. We also did major work in the yard with the addition of an outdoor kitchen and entertaining space in the backyard and adding an herb garden and terraced area in the front yard all with low voltage lighting.

The main floor includes an office, ½ bath, living, sitting and dining rooms as well as the kitchen. The 2nd floor includes the master bedroom with full ensuite as well as a second full bath and two other large bedrooms. The basement includes laundry, workout area, wine cellar and storage.

We hope you enjoy your tour and thank you for supporting the Crescents School home tour.

May 25, 2002

CRESCENT AREA OLDER HOME

Appendix G

Decadence and style mix nicely

By MARGARET HRYNIOUK
for the Leader-Post

Some homes, like some people, lead charmed lives.

The Crescent Area home owned by Neil and Ellen McClughan, for example, was built in 1942 by Albert Neil of Neil Motors for his daughter Maxine when she married Jack MacKenzie of MacKenzie Jewelry. Next door to each other, the Neil and MacKenzie homes once shared a garage and still retain many of the original, identical features, such as art plaster walls and arched wall niches.

The current owner of the Neil home says: "We've lived here for 30 years and, while there have been many different owners next door, each one has loved that house."

The McClughans are no different. Natives of Saskatchewan, they had moved to England in 1992 and, when they decided to return two years later, decided to live in the Crescent Area mostly because of the older homes. They saw the MacKenzie house during a one-week scouting trip, and they "were hooked," says Ellen.

As with each of the former owners, they also made changes, mostly cosmetic at first. For example, the MacKenzies had initially lived in a first-floor bedroom at the rear of the house. Subsequent owners had divided this area into an office and a wide, red-tiled extension of the centre hall that now leads through garden doors to a deck. In the powder room off this hall, Neil stripped wallpaper, added wainscoting, stenciled gold fleur-de-lis on the red wall above, and installed an antique washstand into which he fit a sink.

See They have honoured on Page F2



Photo by MARGARET HRYNIOUK

The sitting room. The corner cupboard led the McClughans to buy a container load of antiques in England.

The gracious back entrance deserves a powder room, of such distinction, which the McClughans have further acknowledged by furnishing the space with some of their antiques; for example, an oak bench deeply carved with maple leaves. The bench prompts the story of finding it in a shop called Pew Corner, where the antique dealer told them it was from the 1774 Colchester Church in Colchester, England, "the home of Old King Cole." The barley twist coat rack was found in Quebec during the couple's years in Ottawa, and an English key box high on the wall was bought on their way home from a wine tasting in Spain.

"Wine and food are definitely two of our passions," says Ellen, explaining that she and Neil are area representatives of the Optimian Society. Walking into the kitchen off the hall, she goes on to point out that one of their first changes to the house was the construction of an island with a stovetop "so that Neil can cook while the rest of us watch and drink wine."

More recently, the kitchen countertops were covered with ceramic tile chosen for its mix of green and beige. After they were installed, however, the green was found to be blue. Because the grouting was epoxy, which is expensive and difficult to use, it is also wine-proof, the couple decided to live with the tile and change their kitchen accents to blue.

Then, last year, they saw work by artist Gazdewich of Walls of Art interior. Impressed, they had her create a frescoed look on the kitchen walls, paint the ceiling tile to look like linen, and age the high-gloss white European cupboard fronts. They had ready stenciled grapes and leaves on the backsplash but asked her to enlarge upon the wine motif.

"So she frescoed over our stencils, made the grapes more three-dimensional and suggested adding wine bottles. We thought this was a great idea and gave her a pile of old labels. But we came home and discovered she had painted the wrong kind of bottles around the labels: for example, she checked a German label for an Italian bottle. The next day we had to phone her and say, 'Janice, we can't live with this,'" explains Ellen with a laugh. Their happy association continued

and tassels, for example, she suggested she use these as subjects for small trompe l'oeils in the kitchen. As a result, a blue-hued gargoyle grins fiendishly from high in one corner, while tassels on two separate surfaces give ongoing pleasure to the McClughans, especially as one covers a defect in the surface.

Except for painting the walls various shades of sage green, the remainder of the main floor has been untouched. Many of the furnishings are English antiques, each with its own story. In the sitting room, for example, in an oak corner carved with a crest, Gothic arches and the words "Linen Fold." It was the McClughans' first English antique.

"And this is when Ellen said: 'Well, now we have to buy a container-load of furniture to make it worthwhile shipping home.' The prices were fairly good because what we bought wasn't considered old by the English," says Neil, who still gets excited when he talks about his favourite pieces.

The antiques upstairs were mostly bought in Canada. Other second-storey differences are the flooring — fir rather than oak — and the structural changes,

Ellen says: "Our space!" After major plumbing work, a large, tempered-glass shower was tucked under the eaves, an old six-foot-long clawfoot tub was installed, and a sink into a hole cut in a 1990s Belgian buffet.

Speakers, which are controlled in the bedroom, were also installed in the ensuite bathroom. "It's decadent," says Ellen cheerfully.

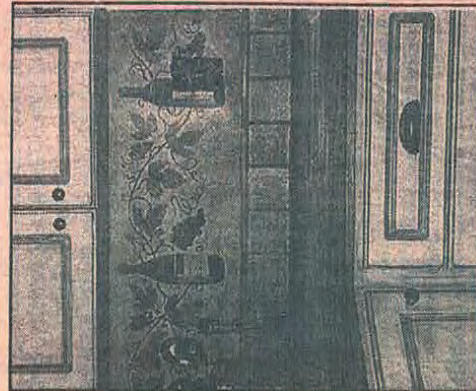
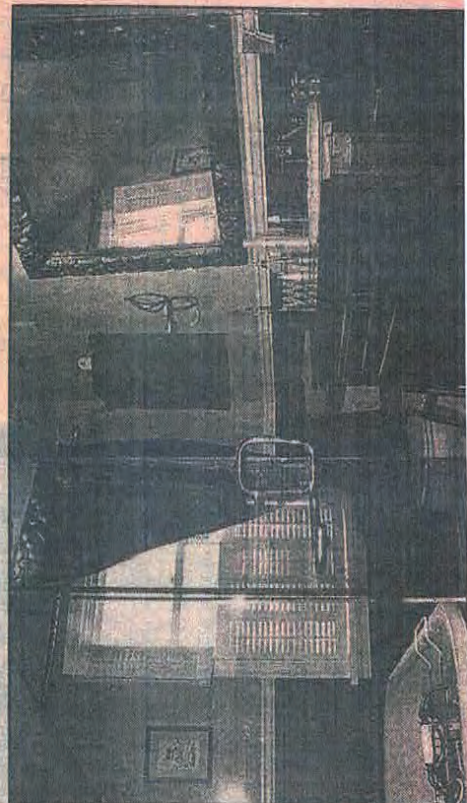
Decadence is the master-suite theme in fact. The new bathtub fixtures are gold-plated, and the new bathroom wainscoting was painted purple to match the purple velvet duvet cover on the master bed. Thick gold braid outlines this cover and is echoed in the gold fabric on the variously shaped pillows and rolls atop it. Like these bedcoverings, the heavy gold and purple drapery in the bedroom and bathroom were custom-made by Cover Story.

Race cars, painted by Janice, soon will be the theme in six-year-old Scott's bedroom. Her work is already evident upstairs, where, in response to Ellen's request for "funky and different" in the bathroom, she painted the wainscoting plaid to match the plaid towels.

An artist with words as well, Janice

Photos by MARGARET HRYNUIK

The family room (clockwise from top) with stepladder holding plants behind chesterfield and copper lamp all from England; gargoyle above a door in a corner; wine motif under the aged cupboards in the kitchen; and ensuite bathroom featuring 1890s Belgian buffet with sink cut into its top.





JGN Kitchens & Baths

"CAN DO IT" KITCHENS

- JGN offers custom-built cabinets in a wide variety of wood, thermofoil, laminates and finishes.
- Our in-house designer works with you every step of the way, free of charge, helping bring to life your dream kitchen or bathroom!
- 3D-rendering to view your new cabinetry.
- All the latest accessories including garbage pullouts, spice racks, pull-out shelves and more!
- Many door profiles to pick from.

WOOD SPECIES WE WORK WITH:

- | | |
|------------|-------------|
| • Maple | • Pine |
| • Alder | • Red Birch |
| • Cherry | • Red Oak |
| • Hickory | • Walnut |
| • Mahogany | • MDF |

ABOVE L-R Leon Moxham, owner, and Neil McClughan, customer

LOCALLY OWNED & OPERATED. Part of the Regina Home Builders Association and Better Business Bureau of Saskatchewan.

MONDAY - FRIDAY, 9 A.M. - 5:30 P.M. No appointment necessary; just come on down and talk with our designer! Saturdays open for appointments.



JGN KITCHENS AND BATH | 441 DEWDNEY AVENUE | REGINA, SASKATCHEWAN
P: 306-546-3232 | F: 306-546-3290

25th March 2013
 Chelene reno 3013

For more Winter 2013 Vol 4

Pink Magazine
Jan 2014 Pg 8

Kitchen
reno
from
2013
2544
Albert



Marina Hildebrand

Beautiful Designs
for a Beautiful Life

BY JESSICA REIMER



TURN YOUR YARD INTO A WORK OF ART WITH YARD SMART

BY MATTHEW STONE PHOTOS CALVIN FEHR

When you only have few precious months of summer weather, choosing the right landscaping company is a decision that doesn't leave a whole lot of room for error. In the spirit of getting things right, go with Yard Smart for all your landscaping needs.

Yard Smart was started in 2006 by Brian Nestman. A long time SaskTel employee, Brian had been dabbling in landscaping for years, and decided it was finally time to turn his passion into a business. "I love the creative aspect of landscaping," Brian

says. "When I look at a yard, I see more than a patch of grass and a few trees: I see a canvas."

Yard Smart is known especially for its high-quality water features. Whether they are flowing water designs or still ponds, the work produced by Yard Smart is unique, creative — and best of all — maintenance free. Yard Smart is able to follow a pre-set plan, but taking full advantage of this company's outstanding ability to think outside the box will often produce the best results. "No plan is sacred," Brian says. "We will always do

whatever is needed to fulfill the project for our clients."

That basic philosophy extends to any type of project that Yard Smart undertakes. They are also highly regarded for their work with paving stones and retaining walls. These beautifully crafted designs can really make a yard sizzle, and the best part is that the team at Yard Smart believes so highly in their work, they guarantee it for three years. It's a nice touch but hardly necessary; Yard Smart is only interested in doing quality work that is meant to last.

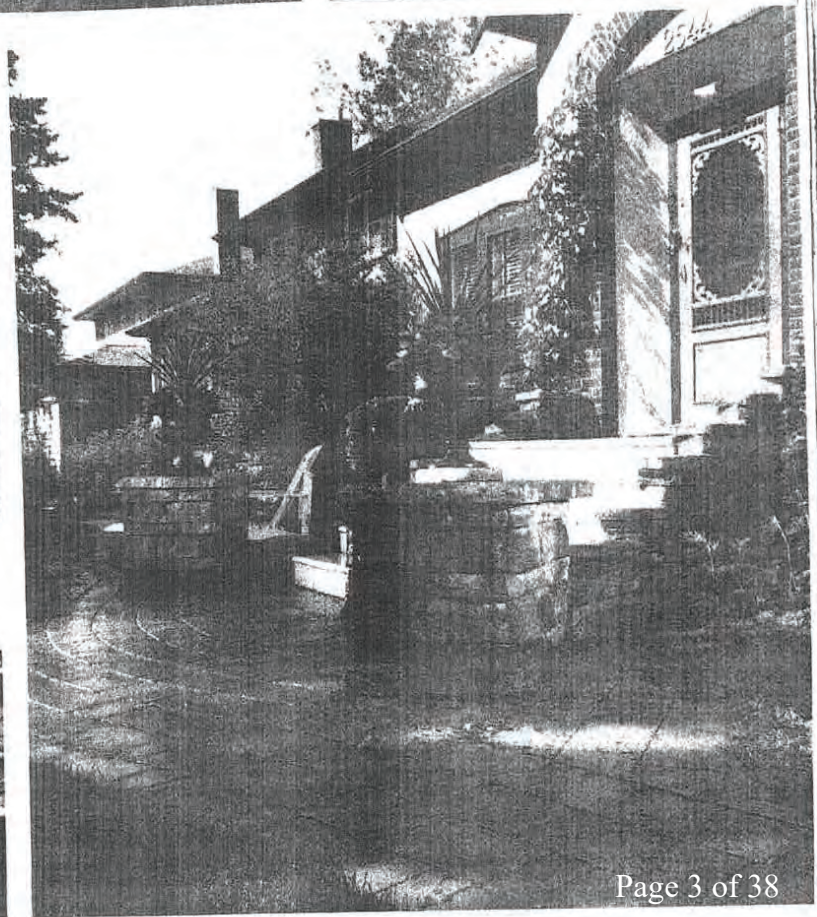
So what can you, the customer, expect from Yard Smart? "Communication is the key," Brian says. "We're going to be a consultant while we're doing the job. Our service model is to make sure the customer is always completely satisfied. One of the best parts of my job is that clients often become friends of ours."

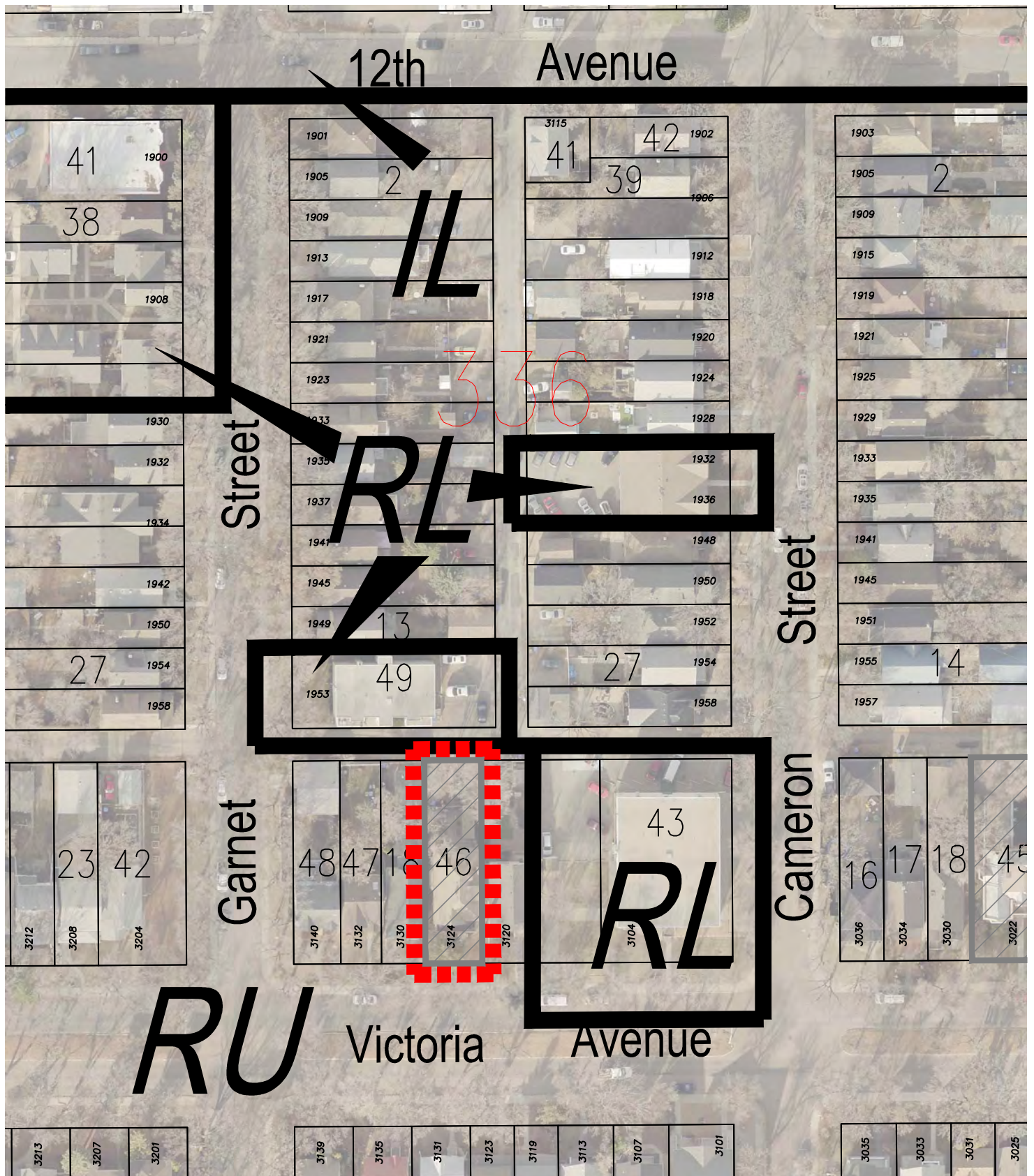
This is a critical attitude to have in a landscaping company, and Yard Smart stresses that they always try to be fair and accurate. They aren't going to do a job with an inferior product, so clients will always know exactly what they are getting. With no major surprises, you can sit back and let the experience unfold before you. Watching a dedicated group of professionals transform your yard into something beautiful will leave you wondering why you didn't do it sooner.

So, if you are in need of landscaping this summer, visit www.yardsmart.ca and view some of Yard Smart's past creations. They are primarily based in Regina and Emerald Park, but according to Brian Nestman, "Yard Smart will go just about anywhere for our clients." FLR

Yard Smart
8 Nelson Place, Emerald Park, SK
306.781.4700
www.yardsmart.ca

BELOW Brian Nestman, owner





Date of Photography : 2020



Subject Property



Heritage Property





Date of Photography: 2020



Subject Property



Heritage Property

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	March 23, 2021
	Neighbourhood	Cathedral
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

Historic Place Name Neal Institute	
Municipal Address 3124 Victoria Avenue	Year of Construction 1912
Architectural Style Queen Anne Revival Architect/Designer Unknown Builder Thomas R. Davidson	Legal Address/Description Lot 46, Block 336, Plan 99RA05074 Site Area (m ²) Themes: Architecture & Design
Consultant Donald Luxton & Associates	
Heritage Planner	



HERITAGE INVENTORY EVALUATION FORM

Statement of Significance	Historic Place Name Neal Institute
----------------------------------	---------------------------------------

Description of Historic Place

The Neal Institute is located on the north side of Victoria Avenue, a tree-lined boulevard with a tree-lined median, between Garnet and Cameron Streets in Regina's Cathedral neighbourhood west of downtown. Situated in a primary residential context, this great example of a Queen Anne Revival style dwelling is characterized by its two and one-half storey height; asymmetrical design; extensive use of wood shingle and red brick cladding; enclosed full-width verandah with original multi-light triangular windows; steeply pitched hip roof; two-storey canted bay window; and multiple dormers.

Heritage Value of Historic Place

The Neal Institute is incredibly valued for its Queen Anne Revival style. Common throughout the late 1800s and into the early 1900s, Queen Anne Revival was an eclectic style originating in Britain and disseminated across North America. Typically reserved for domestic architecture, Queen Anne Revival was meant to be aesthetically extravagant and irregular, seeking to exhibit an array of textures and details with a range of simplified and high styles. Technology advances at this time allowed carpenters and lumber mills to easily and inexpensively produce a variety of decorative wooden elements to incorporate and showcase in their residential projects. The Neal Institute was constructed by local builder Thomas R. Davidson (b.1879) in 1912, presumably on speculation due to the thriving economy during the Edwardian era. Having arrived in Regina approximately a year prior to construction, Davidson may have striven to publicize his ability as a builder and craftsman to the community at-large. Residing in Regina with his family until the 1920s, he eventually moved to Detroit, continuing in his profession. The dwelling features notable elements of the Queen Anne Style in the Canadian context, including a full-width verandah; steeply pitched roof slope; projecting gable with a two-storey bay window underneath; half-timbering; and shed and eyebrow dormers.

The Neal Institute is also valued for its early and original use as a private treatment centre for those battling alcoholism and drug addictions. Established in Des Moines, Iowa by Benjamin E. Neal (1867-1949) in 1909, the Neal Institute Company claimed to have formulated a 3-day cure for alcohol addiction, requiring patients to reside at their infirmary for the duration of the pseudoscientific vegetable-based remedy treatment. In direct competition with the more well-known Keeley Institute, the Neal Institute was able to franchise and quickly expand their venture, and less than a year later after its founding, a local Neal Institute was opened at Regina in December 1910, the fifth one in Canada. Originally located at 2244 Smith Street and under management of Charles W. Bragg (1880-1922), the Neal Institute relocated to 3124 Victoria Avenue in circa 1913, remaining as the original tenant in this dwelling for approximately two years. At its peak, the Neal Institute had over 60 branches throughout the United States and Canada, though by 1922, almost all had been closed due to prohibition and a lack of scientific credibility with the treatment method. Converting to a single-family dwelling following the closure of the Neal Institute, the house was eventually purchased by long-term residents Edmund J. (1862-1935) and Mary (née Wallace; 1867-1941) who lived here from circa 1920 until Edmund's passing.

The Neal Institute is lastly valued for its Edwardian-era contribution to the built heritage landscape of the Cathedral neighbourhood. As part of the Canadian Pacific Railway's original townsite subdivision, which extended west of Albert Street, the Cathedral area expanded rapidly in the early 20th century in

HERITAGE INVENTORY EVALUATION FORM

proximity to Victoria Avenue, which served the primary east-west corridor in the south half of the city. In 1911, the Regina Municipal Railway was a further catalyst for development in the area when their inaugural streetcar system included a line along 13th Avenue to Elphinstone, extended two years later to Pasqua Street. During this time, the Roman Catholic Archdiocese commenced construction of their cathedral along 13th Avenue; the Westminster Presbyterian congregation erected their edifice; and Connaught School was built as well, further attracting new residents and both residential and commercial developments.

Character-Defining Elements

The character defining elements include but are not limited to:

- location midblock on the north side of Victoria Avenue between Garnet and Cameron Streets in a single-family detached residential context;
- form, scale, and massing as expressed by its: asymmetrical façade with canted bay window projections on front and west elevations; rectangular plan and two and one-half storey height with full basement; high pitched hipped roof with a front gable projection;
- wood-frame construction with masonry (brick) and/or concrete foundation; wood shingle cladding, cornerboards, and fascia; wood frame windows, casings, and sills; and brick veneer and window lintels along the first storey;
- Queen Anne Revival style elements including: enclosed, wood shingle clad full-width tapered verandah with triangular fenestration, wood frieze and dentil crown moulding, and supporting a second storey balcony; stretcher bond red brick veneer and soldier bond red brick window lintels along first storey; canted bay window on west elevation; wood tongue and groove soffit; wood shingle cladding on second storey with repeating thick butt coursing on front and side elevations; two-storey canted bay window on front elevation; wood modillions, half-timbering, dentil lintel above window, and flared wood bargeboard on projecting front elevation gable; flared eaves with curved decorative wood raftertails; and shed and eyebrow dormers;
- original fenestration including: triangular openings on verandah with multi-light fixed wood sashes; single light wood windows; 1-over-1 hung wood windows; semi-circle, single-light fixed wood window in eyebrow dormer; variety of single and multi-light wood storm windows; original wood screen door on verandah with glazing; possible original wood front door; original second-storey exterior wood doors with glazing on front and rear elevations; and
- other exterior features including: parging along foundation level; and large red brick chimney with three clay pots.

HERITAGE INVENTORY EVALUATION FORM

Statement of Integrity	Historic Place Name Neal Institute
-------------------------------	---------------------------------------

Values Summary

- Valued for its Queen Anne Revival style.
- Valued for its early and original use as a private addiction treatment centre.
- Valued for its Edwardian-era contribution to the built heritage landscape of the Cathedral neighbourhood.

Period of Significance

1910s

Chronology of Alterations

Unknown Dates:

- Infilling of original doorway on rear elevation and new doorway installed at-grade.
- Removal of second-storey access on rear elevation.
- Replacement of front exterior steps leading to verandah.
- Replacement of some wood window storms with fixed aluminum storms.
- Asphalt shingle cladding installed on shed dormers.
- Possible removal of original red brick chimney crown/corbeling feature.

Aspects of Integrity

1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

Statement of Integrity

The Neal Institute maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).

The Neal Institute retains an excellent degree of its historic fabric and integrity, though many exterior elements are in poor condition and deteriorating.

- Foundation: The foundation material is unknown, but likely brick or concrete. There is evidence of red brick extending down to at or near-grade, with parging applied on these lower courses. The parging itself is in fair condition but is cracking and disintegrating in select areas.

HERITAGE INVENTORY EVALUATION FORM

- Cladding: Paint deterioration is extensive on all wood features. Spray foam insulation has been applied in mortar joints and used as a window seal, instead of proper repointing and caulking, particularly on the side elevations. Notable mortar loss in brick veneer at southeast corner of residence. Several bricks missing above window on east elevation near the northeast corner. Step cracking and past repointing on rear elevation brick veneer. Half-timbering detail in gable is not overtly visible due to its painting. Shed dormers are presently clad with asphalt shingles (type of original wood cladding unknown).
- Roof: Asphalt shingle roof material, while not original, is presently in good condition.
- Roof elements: most wood fascia along eaves and dormers have little to no paint evident.
- Windows: Almost all fenestration feature their original wood sash windows, though only a handful of original wood storm windows remain. Original wood windows and storms appear to be in fair condition and retain their original glazing, but may require maintenance such as re-puttying and repainting.
- Doors: Infilling of original doorway on rear elevation, and possible non-original doorway opening installed adjacent to it, and closer to grade. Front wood door (within the verandah) not completely observable.
- Other: Original second storey porch (or egress) on rear elevation no longer present. Exterior red brick chimney exhibiting structural problems above the eaves and is currently being braced. Possible that this chimney originally featured some corbelling detail below its crown. Chimney appears to have been extensively repointed in the past, and there is mortar loss evident in the brick courses below the concrete crown.

HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name Neal Institute			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. <i>(Historic)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. <i>(Historic)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. <i>(Aesthetic, Architectural, Technical)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. <i>(Social, Cultural, Spiritual)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. <i>(Landmark, Symbolism)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. <i>(Scientific, Educational)</i>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. <i>(Historic, Rarity)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. <i>(Context, Landscape, Urban Context, Group Value)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: <ul style="list-style-type: none"> While having some significant integrity issues due to the deterioration of exterior elements, the Neal Institute retains an outstanding degree of its historic fabric. It maintains a unique association to the Neal Institute Company, and distinctive design features such as its triangular windows and alternating shingle course butt thickness. 	<input type="checkbox"/> No (Result is GRADE 2)		<input checked="" type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input type="checkbox"/> Grade 2		<input checked="" type="checkbox"/> Grade 1		
Date Evaluated by City:					

HERITAGE INVENTORY EVALUATION FORM

Date Approved by City:

HERITAGE INVENTORY EVALUATION FORM

Additional Images	Historic Place Name Neal Institute
--------------------------	---------------------------------------



Caption: Aerial view with the Neal Institute indicated.

Date: 1951

Source: City of Regina

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the east elevation of the Neal Institute.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the main entrance on the enclosed verandah.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the gable peak on the front elevation.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the front elevation of the Neal Institute from the southwest.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Partial view of the west elevation of the Neal Institute.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: View of the rear elevation of the Neal Institute.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Partial view of the east (left) and rear (right) elevations of the Neal Institute.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM



Caption: Detail of the exterior red brick chimney and partial view of the eyebrow dormer on the east elevation of the Neal Institute.

Date: March 1, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

HERITAGE INVENTORY EVALUATION FORM

EXPLANATORY NOTES**Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

HERITAGE INVENTORY EVALUATION FORM

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

HERITAGE INVENTORY EVALUATION FORM

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

HERITAGE INVENTORY EVALUATION FORM

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

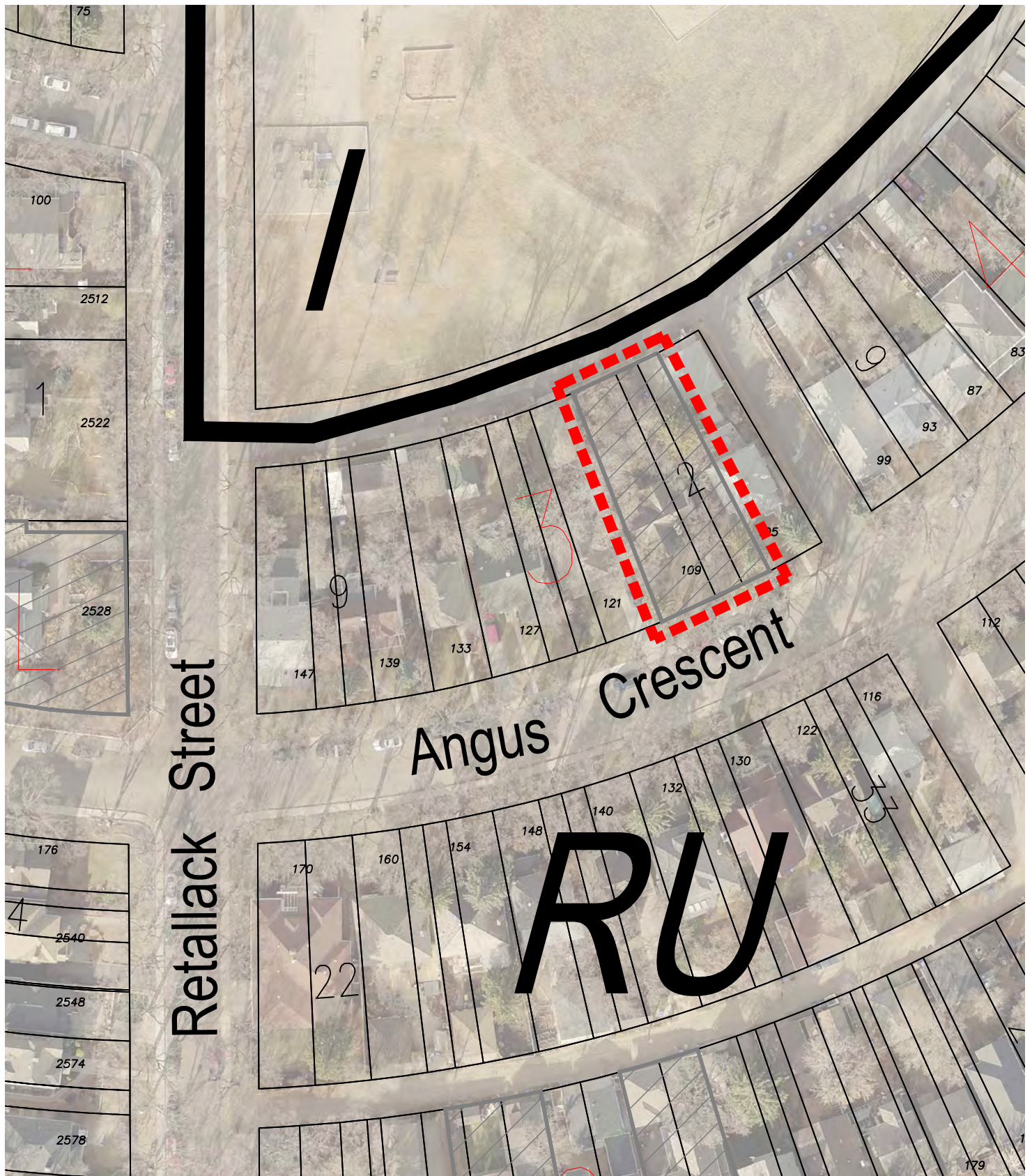
A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



Date of Photography : 2020



Subject Property



Heritage





Date of Photography: 2020



Subject Property



Heritage

<p>City of Regina</p> <p>HERITAGE INVENTORY EVALUATION FORM</p>	Evaluation Date	March 29, 2021
	Neighbourhood	Cathedral
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

Historic Place Name Portnall Residence	
Municipal Address 109 Angus Crescent	Year of Construction 1927
Architectural Style Period Revival Architect/Designer Francis H. Portnall Builder George Curry	Legal Address/Description Lot 3, Block 3, Plan DV678 Lot 12, Block 3, Plan 101218047 Site Area (m ²) Themes: Architecture & Design
Consultant Donald Luxton & Associates	
Heritage Planner	



Statement of Significance	Historic Place Name Portnall Residence
----------------------------------	---

Description of Historic Place

The Portnall Residence is located mid-block along Angus Crescent between Retallack Street and Angus Boulevard in the Crescents area of Regina's Cathedral neighbourhood. The house is characterized by its one and one-half storey form, steep side-gabled and saltbox roof, prominent front-gabled jettied projection above a large bay window, and off-centre recessed entryway with decorative arched brick surround. Situated near to Wascana Creek and The Crescents School, the Portnall Residence exists among other historic single-family residences in the area.

Heritage Value of Historic Place

The Portnall Residence is valued as an excellent example of the type of high quality suburban residential development occurring in the Crescents area during the resurgent Interwar period. Development of the Crescents area was initiated by the Canada North-West Land Company (CNWLC) as a very early addition to the Regina townsites. First subdivided in 1887, the Crescents originally consisted of 12 large semicircular and wedge-shaped lots between Leopold Crescent and College Avenue. However, it was not until the Edwardian era boom (1900s-1910s) when development in this area began in earnest. At this time, the large properties between Leopold Crescent and College Avenue began to be further subdivided to accommodate increased demand for residential development. The proximity of the Crescents area to Wascana Lake and Creek, the legislative building, and the proposed terminus and hotel of the Grand Trunk Pacific Railway made it a desirable and exclusive area. Having been outside the jurisdiction of Regina, the Crescents were annexed by the City in 1911. While development halted with the outbreak of the First World War, it resumed the following decade and continued into the mid-century.

The Portnall Residence is also valued for its association with long-time original owner and resident, and one of Regina's leading architects for over five decades, Francis H. Portnall (1886-1976). Portnall studied as an architect in London, England prior to leaving for Canada in 1906, arriving in Regina two years later. In the early 1910s, he formed a decade-long partnership with Frederick C. Clemesha, interrupted when Portnall served in the First World War, before becoming a sole practitioner in the 1920s. Portnall designed a number of prominent residences, ecclesiastical, educational, and public buildings across the city and province, utilizing a range of traditional and revivalist architectural styles, and successfully transitioning into Modernism. Portnall held the post of President of the Saskatchewan Association of Architects in 1928-29, and was nominated as a Fellow of the R.A.I.C. in 1945. Several of his notable and landmark buildings in Regina include: the old No. 1 Fire Hall, Frist Presbyterian Church, Knox-Metropolitan United Church, The Crescents and Thomson Schools, Masonic Temple, Dominion Government Building, Beth Jacob Synagogue, and the Provincial Law Courts. Portnall and his wife Mabel (née Morgan; 1890-1977), born in Carberry, Manitoba, would remain in this house from its construction in 1927 until Francis' death in 1976 and Mabel's the following year.

Completed in 1927, the Portnall Residence is valued for its whimsical Period Revival architectural style. The Period Revival style was a popular choice during the Interwar era, as entrenched traditionalism dictated a nostalgic preference for architectural expressions rooted in the past. Portnall's residential work tended toward finely composed and impeccably detailed Collegiate Gothic, Georgian Revival, or Period Revival styles. The fine attention to detail is obvious in the design of this, his own Period

Revival home. Most notably, the Portnall Residence features an asymmetrical façade, prominent front-gabled dormer jettied projection, paired hexagonal brick chimneys, and off-centre recessed entryway with decorative arched brick surround, evocative of the soon to proliferate Art Deco style.

Character-Defining Elements

The character defining elements include but are not limited to:

- location along Angus Crescent in the Crescents area of the Cathedral neighbourhood of Regina with its setting in the middle of a deep lot with a generous setback from the street;
- continuous use as a residence since 1927;
- residential form, scale, and massing as expressed by its one and one-half storey height; steeply sloped side and flushed gabled and saltbox roof; large front and rear gable projections; and off-centre entryway;
- wood-frame construction with stucco cladding; foundation with exterior brick veneer and bevelled upper watertable course; wood bargeboards, fascia, and soffit; and wood window frames, casings, sills, and aprons;
- Period Revival style features such as its: large front-gabled jettied projection with glass bottle end quatrefoil-like detail in the gable peak, dropped finial, exposed raftertails, pointed bargeboards, and triangular brackets; large 1st storey bay window positioned below jettied gable, supported by large wooden brackets; brick steps leading to the off-centre recessed front entryway featuring decorative brick surround with brick quoining and Art Deco-style arch motifs; small shed roof wall dormer situated above the front entryway; elaborate external brick chimney stack on front elevation, transitioning from a rectangular shape to twin hexagonal shaped stacks with corbelled brick hexagonal caps and clay pots; rectangular bay window on the side elevation with projecting shed roof with stucco cladding and curved stucco clad brackets; clay tile roof; original half-round copper eavestroughs with decorative scroll-like hangers and round downspouts; and
- original fenestration with original wood sash windows including, but not limited to: a bank of six-over-nine and four-over-six double-hung assemblies in the bay on the front elevation; a triple assembly in the large front-gabled dormer featuring a six-over-six double-hung window flanked by a four-over-four assembly on either side; the shed roof wall dormer features a four-over-four assembly; various clustered and single wood frame, multi-light hung and casement assemblies; all windows feature flared stucco clad hoods and projecting wood sills; and
- original, multi-panel wood front door.

Statement of Integrity	Historic Place Name Portnall Residence
-------------------------------	---

Values Summary

- Valued as an excellent example of the type of high quality suburban residential development occurring in the Crescents area during the resurgent Interwar period.
- Valued for its association with long-time original owner and resident Francis H. Portnall.
- Valued for its whimsical Period Revival architectural style.

Period of Significance

1920s

Chronology of Alterations

Unknown Dates:

- Sliding door installed on rear elevation.
- Installation of screen on front door frame.

Aspects of Integrity

1. LOCATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
2. DESIGN	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
3. ENVIRONMENT	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
4. MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
5. WORKMANSHIP	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
6. ASSOCIATION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

Statement of Integrity

The Portnall Residence maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).

The Portnall Residence is a truly remarkable residence, retaining an unprecedented degree of its historic fabric and integrity, including such features as its original clay tile roof and original eavestroughs and downspouts, features which are usually replaced, but continue to be in good condition - a testament to the care and maintenance provided by both past and present owners.

- Foundation: The foundation is presumably concrete, and its exterior brick veneer appears to be in good condition.
- Cladding: Stucco cladding is in good condition. No cracking noted, but some localized staining, especially on the window hoods.

- Roof: Original clay tile roof is in moderate to good condition. Many shingles show evidence of broken corners.
- Roof elements: It appears all original roof elements, including wood bargeboards, raftertails, and soffit are in good condition with some minor painter deterioration. Original copper eavestroughs and downspouts continue to be operable and are in good condition.
- Windows: All original wood window sashes are extant, however, two basement windows on the east elevation are boarded over.
- Doors: Original front door is extant, and two rear doors at the northeast corner of the residence appear to be original.
- Other: Chimney stacks are in good condition, and there is evidence of some past repointing.

Criteria of Integrity		Historic Place Name Portnall Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. (<i>Historic</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. (<i>Aesthetic, Architectural, Technical</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. (<i>Social, Cultural, Spiritual</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. (<i>Landmark, Symbolism</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. (<i>Scientific, Educational</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. (<i>Historic, Rarity</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. (<i>Context, Landscape, Urban Context, Group Value</i>)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: <ul style="list-style-type: none"> Nearly five decade long association with its original owner and prominent Regina-based architect, Francis Portnall, who left an architectural legacy across the province. 	<input type="checkbox"/> No (Result is GRADE 2)		<input checked="" type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
FINAL EVALUATION	<input type="checkbox"/> Grade 2		<input checked="" type="checkbox"/> Grade 1		
Date Evaluated by City:					
Date Approved by City:					

Additional Images	Historic Place Name Portnall Residence
--------------------------	---



Caption: Aerial view of the Portnall Residence.

Date: 1951

Source: City of Regina

Copyright: City of Regina



Caption: Partial view of the east elevation of the Portnall Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: View of the Portnall Residence from the southeast.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: Detail of the jettied gable on the front elevation of the Portnall Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: Detail of the main entryway of the front elevation of the Portnall Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: Detail of the brick veneer along the foundation and stucco texture of the Portnall Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: View of the Portnall Residence from the southwest.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: Detail of the twin, hexagonal brick chimney stacks on the Portnall Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: View of the Portnall Residence from the northeast.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina



Caption: Partial view of the rear elevation of the Portnall Residence.

Date: March 2, 2021

Source: Donald Luxton & Associates

Copyright: City of Regina

EXPLANATORY NOTES**Eligibility for inclusion the Heritage Inventory:**

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

CRITERIA 1 – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

N/A

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

Low

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

Moderate

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

High

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

CRITERIA 2 – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

N/A

Little or no known historic association.

Low

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

Moderate

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

High

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

CRITERIA 3 – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

N/A

An average example of a style, type, design or technology that remains common in Regina.

Low

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

Moderate

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

High

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

CRITERIA 4 – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

N/A

The place possesses limited social, cultural or spiritual value.

Low

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

Moderate

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

High

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

CRITERIA 5 – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

N/A

A place of no landmark or symbolic significance.

Low

A landmark in an immediate area or a place of symbolic importance to an immediate area.

Moderate

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

High

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

CRITERIA 6 – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

N/A

The place is not able communicate the history of the immediate area, neighbourhood, or city.

Low

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

Moderate

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

High

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

CRITERIA 7 – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

N/A

There are a significant number of similar places.

Low

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

Moderate

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

High

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.

CRITERIA 8 – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

N/A

A place with little evidence of a recognizable historic pattern.

Low

A place that provides some evidence of an historic pattern of importance for the immediate area.

Moderate

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

High

A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

THRESHOLDS

Ranking: If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

Integrity: This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



Hillsdale Neighbourhood Land-Use Plan

Date	October 4, 2022
To	Regina Planning Commission
From	City Planning & Community Development
Service Area	Planning & Development Services
Item No.	RPC22-33

RECOMMENDATION

Regina Planning Commission recommends that City Council:

1. Approve an amendment to Part B of *Design Regina: The Official Community Plan Bylaw No. 2013-48* by adding the Hillsdale Neighbourhood Land-Use Plan as Part B.20, with such amendments to come into force on the date of Ministerial Approval.
2. Instruct the City Solicitor to prepare the necessary bylaw to give effect to the recommendations to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
3. Approve these recommendations at its meeting on October 12, 2022.

ISSUE

A Neighbourhood Land-Use Plan (NLP) has been prepared for the Hillsdale Neighbourhood and, through this report, is submitted to City Council for approval consideration (Appendix A). NLPs form part of *Design Regina: The Official Community Plan Bylaw 2013-48* (OCP); therefore, City Council approval of a bylaw to amend the OCP is required.

NLPs serve as a policy framework for guiding the type, location and design of new development in a particular neighbourhood with the intent to support objectives of the OCP, and aspirations of

neighbourhood residents, relating to growth and development.

Preparation of the Hillsdale NLP included comprehensive public engagement and consultation with the Hillsdale Community Association and is deemed to comply with relevant provincial legislation (*Planning and Development Act, 2007* and the *Statements of Provincial Interests Regulations*) and with Part A of the OCP (Design Regina).

IMPACTS

Financial Impact

This Neighbourhood Land-Use Plan (NLP) serves as a policy framework for guiding the type, location and design of new development in the Hillsdale neighbourhood (Neighbourhood). The cost of any additional, or changes to existing, infrastructure that may be required to support new development, directly or indirectly, will be the responsibility of individual developers, in accordance with City standards and applicable legal requirements.

Environmental Impact

The Hillsdale NLP identifies opportunities for additional residential and commercial development; therefore, supports a more compact and complete neighbourhood.

Intensification in established areas of cities is generally known to contribute to the reduction of energy consumption and associated GHG emissions in various ways, including:

- Reducing travel distances
- Encouraging active transportation (e.g. walking and cycling) and transit.
- Making more efficient use of land and infrastructure already developed and in place.

Policy / Strategic Impact

Official Community Plan

The Hillsdale NLP identifies opportunities for additional residential and commercial development, which supports the intensification target (Section C, Goal 1, Policy 2.3); compact and complete neighbourhoods (Section C, Goal 2, Policy 2.5; Section D5, Goal 1) and the efficient use of existing infrastructure (Section C, Goal 2, Policy 2.4).

Comprehensive Housing Strategy

The Hillsdale Neighbourhood includes a diversity of housing types. Although 75 percent of the land area is comprised of low-density residential development, at least 60 per cent of the dwelling units fall within the category of medium or high-density. The Hillsdale NLP supports the existing land-use composition while supporting some intensification, thus supporting objectives of the *Comprehensive Housing Strategy* relating to housing diversity.

Regina Cultural Plan

Built heritage was part of the community consultation discussion as it relates to neighbourhood character. The Hillsdale Neighbourhood was the first master planned neighbourhood in the city; the first to deviate from the traditional gridiron street design and is associated with a Fredrick Hill,

noteworthy historical figure. There is significant support from residents for the original neighbourhood design and architectural character.

The Hillsdale NLP supports the continuation of the existing character of the Neighbourhood; therefore, supports this goal of the *Regina Cultural Plan*: “*Identify and understand the heritage value and character of not only buildings but also areas, streetscapes, and cultural landscapes through the process of creating neighbourhood plans...*” (Section 8.0 - Commemorate and Celebrate Regina’s Cultural Heritage).

Underutilized Land Improvement Strategy

The Hillsdale Neighbourhood is a fully developed neighbourhood – only three significant infill opportunities were identified, and the Hillsdale NLP provides a policy solution for developing these. The Albert Street Urban Corridor frames the west boundary of the Neighbourhood, which has the opportunity for significant intensification. The Hillsdale NLP supports intensification along this corridor; however, does not provide a detailed strategy for achieving this, as this will be addressed through a future Urban Corridor Study.

OTHER OPTIONS

Alternative options would be:

1. Deny the amendment to Part B of the OCP to include the proposed Hillsdale NLP. Growth policies in Part A of the OCP will continue to apply; however, neighbourhood specific growth policies would be absent for the Hillsdale Neighbourhood.
2. Refer the Hillsdale NLP back to Administration. If City Council has specific concerns with the proposal, it may refer the applications back to Administration to address or make additional recommendations and direct that the report be reconsidered by RPC or brought directly back to Council following such further review.

COMMUNICATIONS

Interested parties will receive a copy of the report and notification of their right to appear as a delegation at the Council meeting when the application will be considered. Notification and a link to the report will also be posted on the City’s Be Heard public engagement project page: Regina.ca/Hillsdale

Public notice of Council's intention to consider the OCP amendment (Hillsdale NLP), as well as of the public hearing that is required to be conducted upon consideration of the proposed bylaw, will be given in accordance with the *Public Notice Policy Bylaw, 2020*.

DISCUSSION

Neighbourhood

Overview

The Hillsdale Neighbourhood is primarily residential and located immediately south of the Wascana Centre, between Albert Street (west boundary) and Wascana Parkway (east boundary). The Neighbourhood was developed between 1955 and 1980 and is noteworthy for being the first master planned neighbourhood in the city and the first to deviate from the traditional “gridiron” design.

The Neighbourhood is fully developed and includes a core area comprised of low-density residential, flanked by commercial development on the west side (Albert Street) and medium to high-density residential in the SE and NE areas. The Hillsdale Neighbourhood may be regarded as the first post-war “suburban” neighbourhood in the city and, although it is not within typical walking distance of the downtown, it is well serviced by transit and within easy access to the Albert Street Urban Corridor, which provides a full range of services.

Population

The Hillsdale Neighbourhood has experienced population growth, generally, since 2001 (15 percent increase between 2001 and 2016), with a slight (5 percent) population decline recorded for the period between 2011 and 2016, resulting in the current population of 6855. The population situation is influenced by cyclical demographic factors (maturation and departure of children; birth and mortality), as well as new development.

(Note: 2021 Stats Canada data for neighbourhoods will not be available until 2023)

Another consideration is the “shadow” student population – the Hillsdale Neighbourhood is in close proximity to the University of Regina and it is known (through discussion with residents) that rooms within private dwellings are rented out to students. This population is transient; therefore, implications for total population will vary and is unknown.

Residential

Although 75 per cent of the land is low-density residential development, at least 60 per cent of the dwelling units are in the form of medium or high-density development.

This is due to two factors: 1) The single-detached dwellings lots are larger than in other neighbourhoods (ie. 1,000 square metres is typical versus 300 square metres, which is typical in an older neighbourhood, such as Al Ritchie); and 2) there are large clusters of medium and high-density dwellings, in the form of condominiums, townhomes and apartments, which flank the periphery of the Neighbourhood. A unique feature is the Roberts Plaza Tower located at Hillsdale Street and 23rd Avenue, which, at 20 stories/ 60 metres in height, is the tallest residential building within the city.

Commercial

The primary location for commercial development is along Albert Street, which is a designated

Urban Corridor, as per OCP. Additionally, there is an active neighbourhood-oriented commercial node at Kramer Boulevard and Wascana Parkway, which is an important resource for residents and university students, and a partially vacant commercial node at Hillsdale Street - 23rd Avenue. The nearest grocery store, a key component of a complete neighbourhood, is on the west side of Albert Street, flanking the Neighbourhood. This location is within walking distance (800 metres – 10-minute walk) for approximately half of the Neighbourhood; however, the east half does not have convenient access to a grocery store within walking distance. The Lakeshore Mall site filled this gap in the past by accommodating a grocery store; however, this site is now partially vacant and accommodates limited services.

Character

The Hillsdale Neighbourhood was the first privately driven master planned neighbourhood and the first to deviate from the traditional grid street pattern. The street network, intentionally designed to minimize through-traffic, is comprised of loops and crescents; the lots are exceptionally large and rear lanes are absent. The overall design was intended to create a “country ambience in the city” and to complement the adjacent Wascana Park.

The predominant architectural style for the single-detached homes is the ranch-style building: single-story, long-low profile, low-pitch roofline, rectangular or L-shaped footprint. The condominium clusters are each comprised of townhomes and are characterized by their signature, although uniform design.

The apartment clusters are generally comprised of typical three to four storey walk-up style buildings; although, the high-density buildings in the north east part of the Neighbourhood, fronting Hillsdale Street and Wascana Parkway, have a more robust and accentuated (prestige) architectural style.

There are no designated heritage resources within the Hillsdale Neighbourhood.

Engagement

Community engagement included:

- | | | |
|--------------------------------------|---------------|-----------------|
| • Survey of community aspirations | March 2021 | 400 respondents |
| • Virtual, on-line presentation | November 2021 | 35 attendees |
| • Review of full draft Hillsdale NLP | January 2022 | 20 respondents |

Administration also participated in a “Town Hall”-style meeting hosted by the Hillsdale Community Association in June 2022 with 80 attendees.

Key feedback heard from Neighbourhood residents is summarized as follows:

- Retain existing character of low-density area; direct commercial and high-density residential development to the periphery.

- An option to intensify collector and transit roadways by allowing semi-detached dwelling units (e.g., duplexes), in addition to the existing single-detached dwelling units, was met with opposition.
- An option to intensify the Lakeshore Mall site, by allowing two 9-storey buildings and mixed-use development, was met with opposition.
- Many residents and the Hillsdale Community Association expressed a desire to have the existing utility corridor, extending between 25th Avenue and Hillsdale Street, reconstructed to include a multi-use pathway (this project is also supported by the City's Transportation Master Plan).

The draft Hillsdale NLP was revised to reflect above noted feedback.

Stakeholder consultation included regular check-in meetings with the Hillsdale Community Association (HCA) and communication (draft Hillsdale NLP review) sent to Saskatchewan Health Authority, Regina and Region Home Builders' Association, school authorities and the Provincial Capital Commission (PCC).

The school authorities noted that there is no intent to eliminate existing schools and there is no current need for additional schools to accommodate future populations.

The PCC noted that the proposed height strategy outlined in the Hillsdale NLP does not align with the height strategy supported by the Wascana Centre Master Plan. The Administration responded by noting that building heights are "potential" only and would still be subject to the provisions of the *Regina Zoning Bylaw 2019-19* (Zoning Bylaw). Buildings on land subject to the Height Overlay Zone would be processed under the discretionary use procedure where they are over 13 metres in height and this process would include consultation with the PCC.

Hillsdale NLP Strategy

Land Use

A key objective of the land-use strategy is to maintain the existing land-use configuration of the Neighbourhood. Key aspects of this strategy include:

- Maintain the existing low-density areas and direct commercial and high-density development to the periphery.
- Support Albert Street as the primary commercial area and location for potential transition to high-density mixed-use development.
- Provide opportunity for "flexible" (residential, commercial or mixed-use) land-use solutions at key locations.

- Transition the existing utility corridor, extending between 25th Avenue and Hillsdale Street, to a multi-use pathway.

Built Form

Key objectives of the built-form strategy, including design, form and size of buildings, is to coordinate building height and to maintain the large-lot character of the low-density areas. Key aspects of this strategy include:

- Increase the minimum lot width of the low-density areas from 10.36 metres to 15 metres to prevent subdivision and to discourage the development of house forms that may not be consistent with the prevailing large ranch style footprint.
- Support tallest buildings at key peripheral locations, including along Albert Street.
- Special site design requirements for the Lakeshore Mall site, a key infill site, to support appropriate interface and integration with adjacent residential parcels.

Intensification

A key objective of the OCP is to direct 30 per cent of new population growth, associated with the 300,000-population target, to the Intensification Area of the City (as shown on OCP – Map 1c). The Hillsdale Neighbourhood is within the Intensification Area.

Although the Hillsdale NLP supports the retention of the low-density area, it also supports the OCP intensification target by allowing older, original 3-storey, walk-up style apartment buildings (which comprise a significant number of the total dwelling units) to be replaced with four to five storey buildings. Further, the Hillsdale NLP supports key intensification opportunities, including Albert Street Urban Corridor, Lakeshore Mall site, Evans Court site and the Kramer Boulevard commercial node.

Much of the Neighbourhood is impacted by the Height Overlay Zone, which requires proposed buildings over 13 metres in height to be reviewed under the Discretionary Use procedure. These regulations reflect the Wascana Centre Master Plan height strategy, which recommends, for specified areas adjacent to the Wascana Centre, that height not exceed 13 metres. Therefore, the Hillsdale NLP height strategy reflects a potential scenario, which would need to be confirmed through the Discretionary Use process. (The Wascana Centre Master Plan is not legally binding on lands beyond the Wascana Centre.)

The low-density area of the Neighbourhood has limitations for intensification due to the absence of rear lanes and due to the curved street configuration, as opposed to the grid street pattern, which was intentionally designed to minimize through-traffic. Intensification has occurred, however, within the peripheral areas of the Neighbourhood – between 2009 and 2019, 3 high-density multi-unit residential buildings were constructed, along with the Evans Court subdivision. An additional high-density multi-unit residential building was approved in 2022 (Evans Court).

Implementation

Zoning Bylaw

To implement the policies of the Hillsdale NLP, an amendment to the Zoning Bylaw is required. Currently, the Residential Infill Development Overlay Zone (RID Zone) is used to help support more compatible and complementary infill development; however, these regulations are generic in nature and apply to one and two-unit residential buildings in the city corresponding to the Intensification Area (OCP Map 1c).

As the Hillsdale NLP includes regulations specific to the Hillsdale Neighbourhood, the Zoning Bylaw will need to be amended to include neighbourhood specific regulations.

A proposed amendment to the Zoning Bylaw, as described above, will be presented to Council at a future meeting. As the Hillsdale NLP requires review and approval by the Government of Saskatchewan (as an OCP amendment), the Zoning Bylaw amendments will be prepared during this intervening period.

DECISION HISTORY

On August 29, 2016, City Council approved a Motion by Councillor Shawn Fraser to update existing neighbourhood plans and create and implement new neighbourhood plans to help achieve the vision of the OCP (MN16-9).

On February 20, 2019, the Priorities and Planning Committee accepted a report (PPC19-2), from the Administration, outlining the City's strategy to complete new neighbourhood and corridor plans.

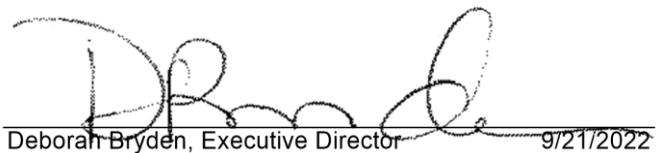
Respectfully Submitted,

Respectfully Submitted,



Autumn Lawson, Director, Planning & Development Services

9/15/2022



Deborah Bryden, Executive Director

9/21/2022

Prepared by: Jeremy Fenton, Senior City Planner

ATTACHMENTS

HillsdaleNLP_Rep_20221004_RPC

Hillsdale Neighbourhood Land-Use Plan

OCP – Part B. 20



CONTENTS

1	Introduction		
1.1	Summary	.....	1
1.2	Legal	.....	2
2	Overview		
2.1	Context	.....	3
2.2	History	.....	4
2.3	Composition	.....	5
2.4	Public Realm	.....	6
2.5	Built Realm	.....	7
3	Objectives	.....	8
4	Policy		
4.1	General	.....	9
4.2	Implementation	.....	9
4.3-	Sub-Area	.....	10
4.7	Policies	.....
Fig. 5	Land-Use	.....	16
Fig. 6	Height	.....	18

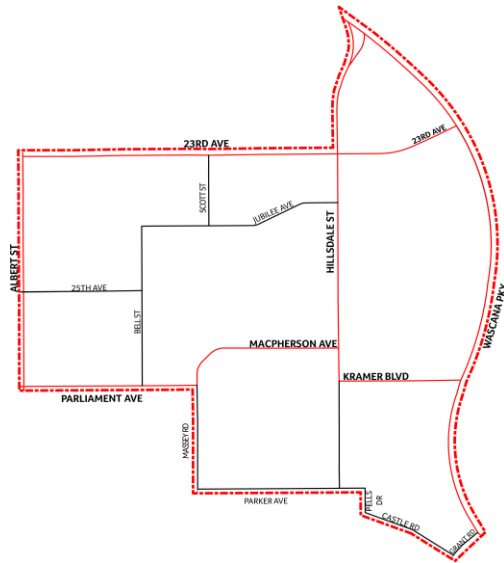
ENACTMENT

		Date	Bylaw
Approved	City of Regina		
	Government of Saskatchewan		N/A
Amended			
<p>This Plan forms part of: <i>Design Regina: The Official Community Plan</i> <i>Bylaw No. 2013-48</i></p> <p>Enactment of this Plan is authorized through Section 29 of: <i>The Planning and Development Act, 2007</i></p>			

1.0 INTRODUCTION

1.1 Summary

Figure 1 - Location



The intent of the Hillsdale Neighbourhood Land-Use Plan (“Hillsdale NLP” or “Plan”) is to serve as a policy framework for guiding the type, location and design of new development in the Hillsdale Neighbourhood.

As the City continues to grow and evolve, it is important to guide new development in a way that supports the aspirations of residents, as well as broader objectives that aim to foster a vibrant and sustainable city. This Plan supports this objective by establishing a policy framework for guiding new development in the Hillsdale Neighbourhood (Neighbourhood). The intent is to enhance the Neighbourhood by encouraging complementary and compatible new development.

This Plan focusses on land-use and built-form. Respectively, this means: the type and location of new development; the shape, design and configuration of buildings. This Plan has a specialized role by directing how the regulations of the Zoning Bylaw, which provides detailed direction for land-use and built-form, are applied appropriately to the Neighbourhood. Other important matters, such as the provision of various community services, are addressed in City master plans.

Thank you to the residents of the Hillsdale Neighbourhood for providing valuable input into the preparation of this Plan. The objectives and policies grew through community dialog and evolved through the process as we checked back with residents at various stages. Although generally long-term in nature, this Plan may be subject to reviews, so that it remains in alignment with evolving resident aspirations, market conditions and development concepts.

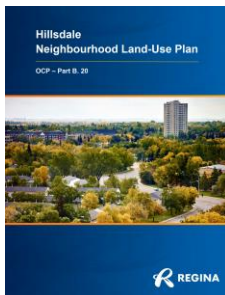
This Plan forms part of the City's Official Community Plan (*Design Regina: The Official Community Plan Bylaw No. 2013-48*) and is in accordance with Provincial legislation and regulations: The *Planning and Development Act, 2007* and the *Statements of Provincial Interests Regulations*.

1.2 Legal

The City uses a hierarchy of policy and regulatory instruments to guide land-use and development across the city, from the high-level, city-wide policy of the Official Community Plan to the detailed regulations of the Zoning Bylaw. Neighbourhood Land-Use Plans fit in the middle, providing policy direction for the growth and development of specific neighbourhoods.



At the top of the policy hierarchy is the Official Community Plan (*Design Regina: The Official Community Plan Bylaw No. 2013-48*). The Official Community Plan (OCP – Part A) is used to guide growth, development, the provision of services, and other important matters, across the city. The OCP is comprehensive and long-term in focus. Neighbourhood Land-Use Plans and the Zoning Bylaw must be in conformity with the OCP.



The Hillsdale NLP forms part of the OCP (OCP - Part B) and acts as a bridge between the high-level goals of the OCP and the detailed regulations of the Zoning Bylaw. Neighbourhood Land-Use Plans specify how the applicable policies of the OCP, and the regulations of the Zoning Bylaw, are applied to a particular neighbourhood. The Zoning Bylaw, and “zoning bylaw related decisions”, must be consistent with this Plan.

This Plan includes maps, policy and various terminology for guiding land-use and development and associated administrative processes. Key terms should be interpreted as follows:

- “Shall” equates to mandatory compliance.
- “Should” infers that compliance is generally expected, except where execution of the policy is not practical or where an exceptional situation applies, etc.
- “May” infers that execution of the policy is optional; however, where “may” is used in conjunction with a City directive, the City has final authority to require or waive requirement.

When specific land-uses are mentioned, please refer to the Zoning Bylaw for further clarification.

Where a proposed development conflicts with this Plan, an amendment is possible where it is in accordance with the decision authority of the City Council and Section 4.2 of this Plan.

2.2 History

**Regina is located on Treaty 4 land
and within the traditional territory of the Metis.**

Regina was incorporated, as a city, in 1903. The city was centered on a CP Rail station and the original town plan was based on a classic CP Rail settlement design: grid pattern; evenly spaced roadways; central town hub and train station.

Through the “Faludi” Official Community Plan (Regina’s first OCP - 1947), new neighbourhoods began incorporating modified or alternate designs.

The neighbourhood is named after the Hill family. In 1954, Frederick Hill (McCallum Hill Co.) acquired 240 hectares of farmland, south of 23rd Avenue, to establish Regina’s first privately developed, master-planned, neighbourhood.

Born in Regina in 1920, Mr. Hill was a prominent businessperson, philanthropist and WWII air force officer. Mr. Hill went on to serve as City Councillor and to earn the Order of Canada in 1986.

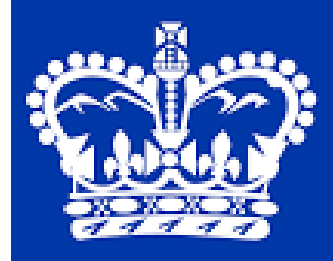
Hillsdale was the first neighbourhood designed with large lots, no lanes and a non-grid street network to ensure minimal through-traffic and a quiet, bucolic ambience. This design was intended to complement the adjacent Wascana Park.

This image is from a 1955 Fire Insurance Plan – it shows the very first stage of development. Hillsdale was developed between 1955 – 1970s.

A defining feature of Hillsdale is the Wascana Parkway and the “Knowledge Corridor”, which frames the east boundary.

Wascana Parkway is an exceptional corridor and was awarded the “Highway Beautiful 1970 Award of Merit” for outstanding design of a scenic drive.

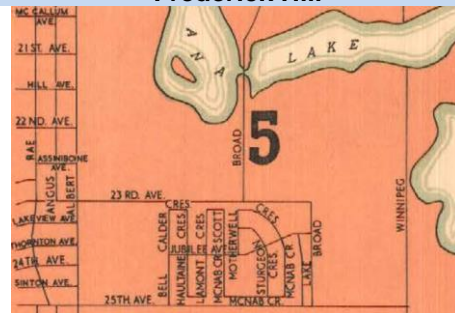
The Knowledge Corridor includes the University of Regina main campus – Hillsdale has a relationship with the U of R by providing amenity and residential opportunities for students.



City of Regina Emblem



Frederick Hill



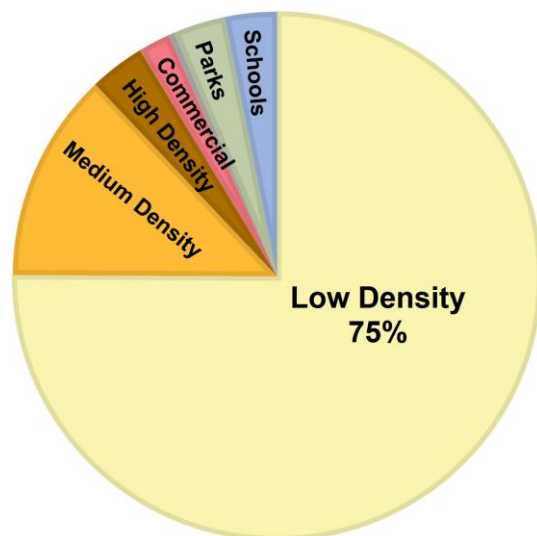
Fire Insurance Plan



Wascana Parkway

2.3 Composition (2022)

Land-Use



* This chart shows land area (ha) per land-use type





75% of the Hillsdale Neighbourhood land area consists of low-density residential development.

The dwelling unit and population yield of this low-density area is particularly low due to the large lot size (18m width is typical). As a comparison, there are 18 units per hectare in the Hillsdale context and are 30 units per hectare in the low-density area of a typical older, grid planned neighbourhood.

The medium and high-density areas comprise only 12% of the total land area of the Neighbourhood, but yield almost half of the total dwelling units.

Non-residential development includes: commercial along Albert Street and at key intersections along 23rd Avenue and Kramer Boulevard; four schools; seven parks providing various recreational services and office buildings along Hillsdale Avenue and Wascana Parkway.

Residential

			
Building, Detached	Building, Row (2)	Building, Row (3+)	Building, Stacked
1170 - 40%	10 - .33%	400 - 13.5%	1400 - 47%

Almost half of the dwelling units in the Neighbourhood consist of apartment and condo units in multi-unit buildings that average 3-4-storey in height – an exception being the Roberts Plaza building, which is 20-storeys in height and includes 142 units. The predominant form/ design of the single-detached (building, detached) homes is Ranch Style – characterized by the following elements: single-story, long-low profile, low-pitch roofline, rectangular or L-shaped footprint.

Population

Stats Canada data shows that the population is growing overall, with some fluctuation:

2006 Pop. = 6713	2011 Pop. = 7240	2006-2011 + 7 %	2016 Pop. = 6855	2011-2016 -5 %
----------------------------	----------------------------	---------------------------	----------------------------	--------------------------

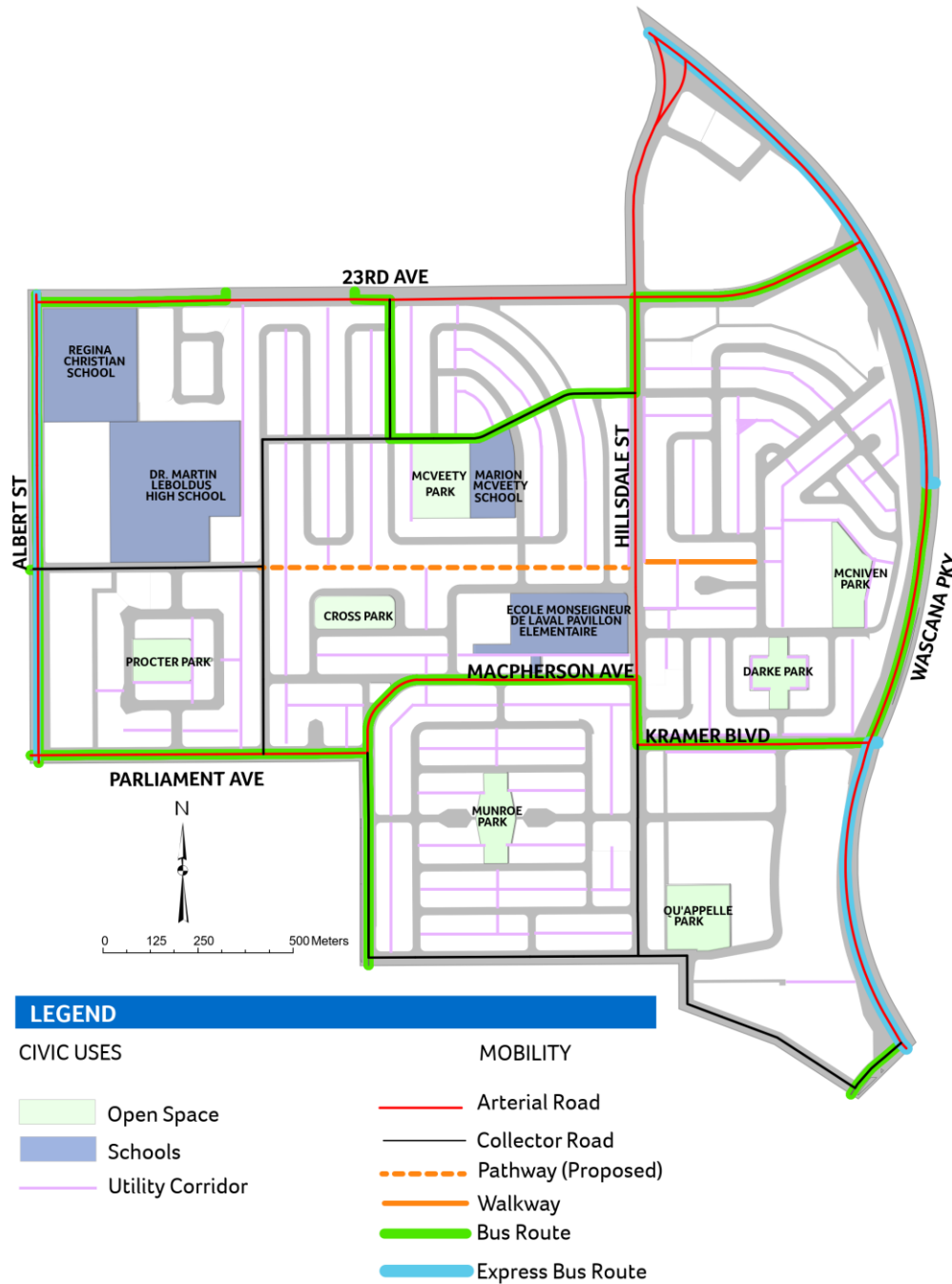
For more demographic data, go to City website and search:

[“Neighbourhood Profiles”](#)

2.4 Public Realm

The public component of the Hillsdale Neighbourhood physical framework consists of streets, utility corridors, parks and schools. The street network is comprised of loops and crescents and was intentionally designed to minimize through-traffic and to foster a quiet residential setting. In lieu of rear lanes, a web of utility corridors backs the rear of most lots. The design of the street network and the absence of rear lanes is not conducive for significant intensification.

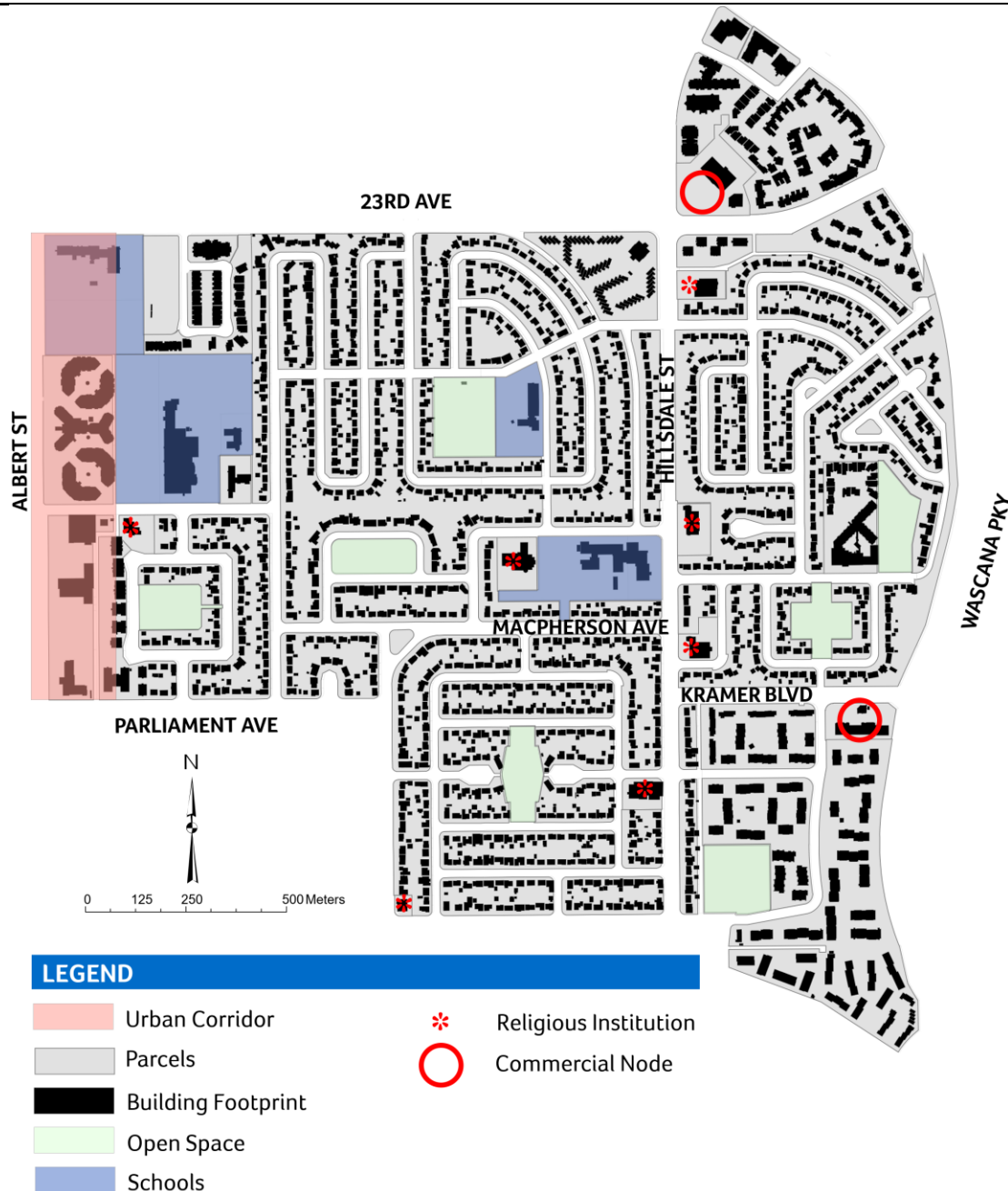
Figure 3 – Features



2.5 Built Realm

The predominant land-use type in the Hillsdale Neighbourhood is residential; however, medium-scale commercial frames part of the west edge (Albert Street Urban Corridor) and there are two neighbourhood-oriented commercial nodes. Hillsdale is characterized by its low-density residential area, comprised of single-storey bungalow-style homes on large lots (18-25 metre widths), which occupies the interior of the Neighbourhood. In addition to the commercial areas, medium and high-density residential development is located on the Neighbourhood periphery.

Figure 4 – Features



3.0 OBJECTIVES

The following objectives of this Plan are focused on supporting the existing land-use pattern and character, while allowing for appropriate growth and development in key locations. These objectives reflect the goals and vision of Neighbourhood residents and serve to direct the policy of this Plan; how the policy is to be interpreted and future amendments to this Plan.

The overall objective is to retain the original, core, design concept for the Neighbourhood: A quiet, low-density residential area characterized by large, spacious lots and single-detached homes. At the same time, this Plan welcomes opportunities and diversity by supporting the many medium and high-density housing, and neighbourhood commercial, areas within the Neighbourhood.

Hillsdale Neighbourhood Land-Use Plan Objectives

- 1** Preserve the large-lot, single-home character of the low-density residential area
- 2** Direct higher-density residential development to areas of existing medium and high-density
- 3** Support existing neighbourhood-oriented commercial opportunities
- 4** Direct more intense commercial development to the Albert Street corridor
- 5** Maintain public open space as a community amenity

4.0 POLICY

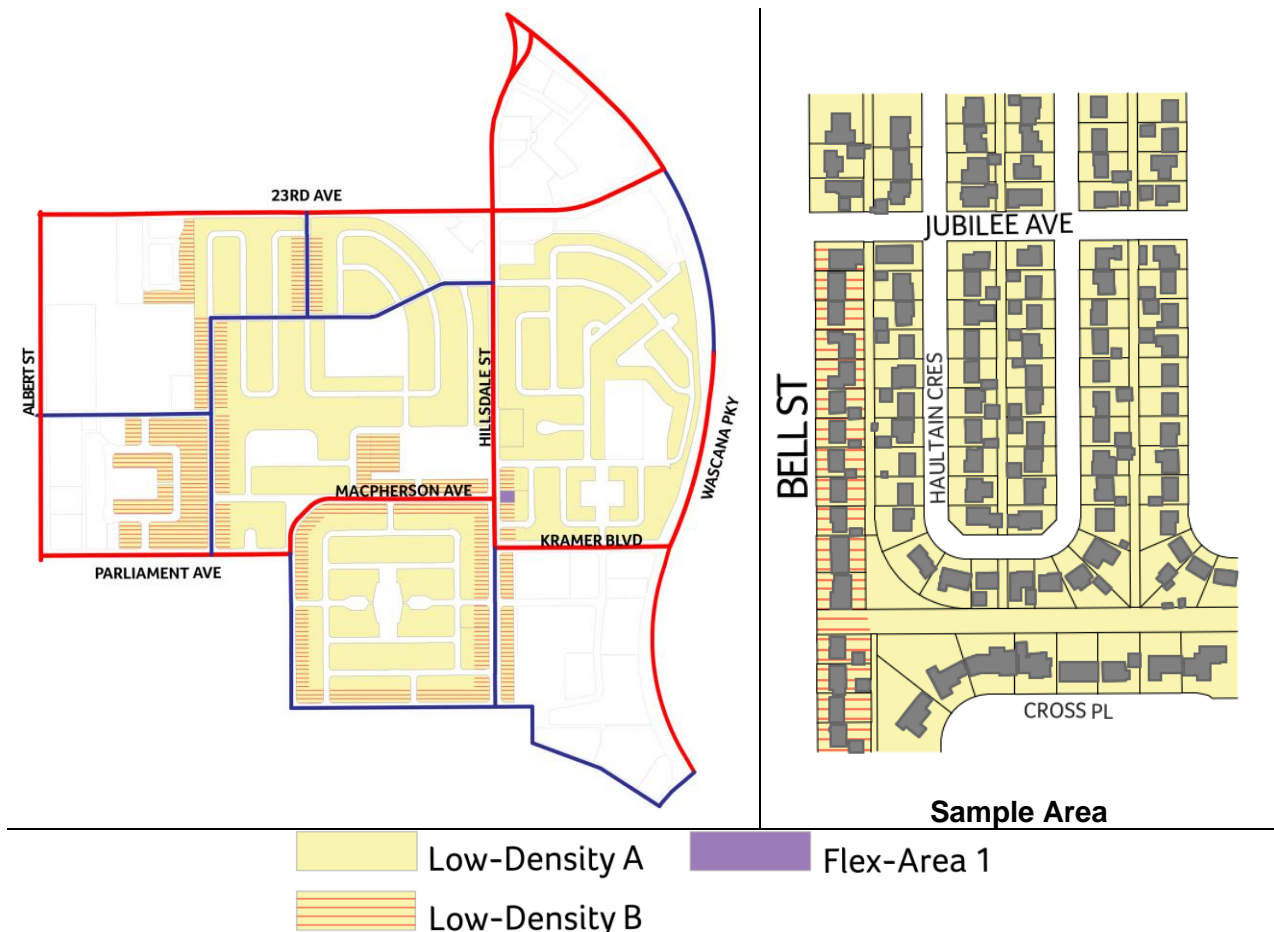
4.1 General

1. Land-use shall be in accordance with the respective Sub-Area policies (Sections 4.3-4.7); Figure 5 and Table 1.
2. Public open space shall remain as public open space, except where the City approves a portion of the public open space for a facility associated with a public utility or service.
3. Notwithstanding Policies 4.1.1; 4.1.2, should a school no longer be required, the site may transition to public open space, or another land-use, as per the School Re-Use policies of Part A of *Design Regina: The Official Community Plan Bylaw No. 2013-48*.
4. The maximum height of buildings shall be in accordance with Figure 6, excepting:
 - a. Assembly, Religion; Institution, Education; Public Use land-uses.
 - b. Any lesser height, as a result of consideration of the Wascana Master Plan and consultation with the Provincial Capital Commission, as determined by the City.
5. A pathway shall be constructed within the existing corridor linking Bell Street to Hillsdale Street, as shown on Figure 5, and in accordance with the following requirements:
 - a. Appurtenances should include, at a minimum, seating, waste receptacles, lighting.
 - b. The design and function shall be determined at the detailed design stage, prior to construction, and shall include consideration of landscaping features.

4.2 Implementation

6. Notwithstanding any other part of this Plan, the Variance and Exception provisions authorized through the Zoning Bylaw shall apply.
7. The City may require, at its discretion, that applications for major developments (e.g. high-density residential buildings; large-scale commercial and mixed-use development, etc.) be accompanied by analysis, prepared by qualified professionals, demonstrating serviceability (e.g. provision of transportation and utility services).
8. Applications to amend this Plan, to accommodate a proposed development, shall be contingent on demonstration, to the City's satisfaction, that the proposed development is:
 - a. In general accordance with the Plan objectives, and
 - b. Is considered complementary and compatible with adjacent development.
9. At the City's discretion, this Plan may be subject to periodic reviews to ensure that the information and policies remain current and continue to reflect resident aspirations.
10. The process associated with applications to amend this Plan, or to amend the Zoning Bylaw, in relation to development proposals within the area of this Plan, shall include consultation with the affected Community Association.

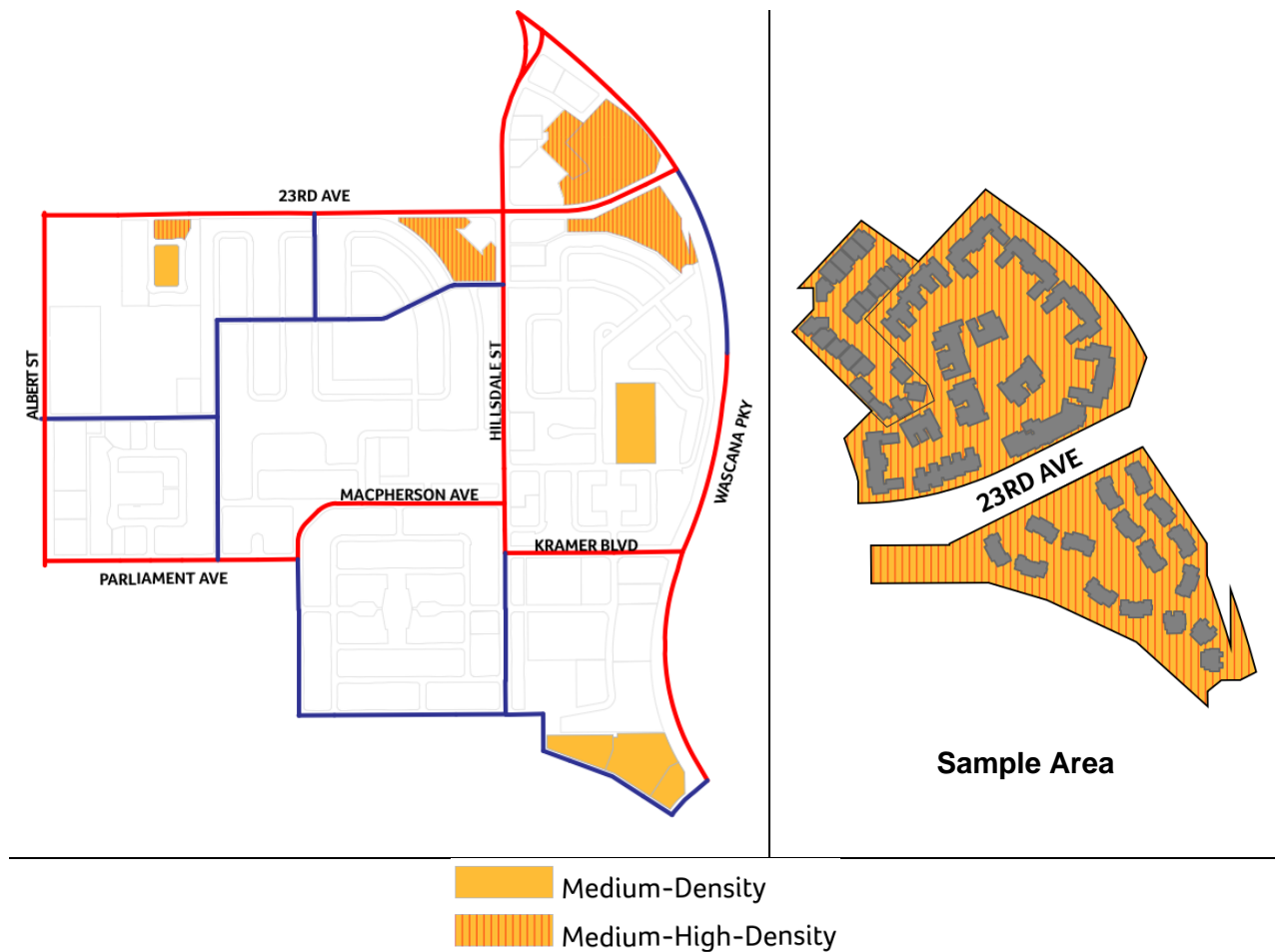
4.3 Sub-Area A Policy



The Low-Density Area quintessentially represents the Hillsdale Neighbourhood. This area is characterized by its quiet residential enclaves, large, wide lots and Ranch-Style homes. This area was purposely designed for a country ambience with minimum through-traffic; therefore, lot-splitting is discouraged and intensification is directed to other areas of the Neighbourhood.

1. Sub-Area A shall be reserved for low-density, large-lot, single-detached homes.
2. Within the Low-Density A area of Sub-Area A, lot-splitting (subdivision), for residential purposes, is discouraged; therefore, minimum lot width shall be 15 metres.
3. Within Sub-Area A, within areas corresponding to 7.5 metre maximum height, as shown on Figure 6, developers for new homes are encouraged to emulate, generally, the prevailing Ranch-Style building design: single-story, long-low profile, low-pitch roofline, rectangular or L-shaped footprint.
4. The property shown as Flex-Area 1 (3911 Hilldale Street) shall be limited to the following land-uses: Residential; Assembly, Religious; Institution; Office; Service Trade, Clinic.

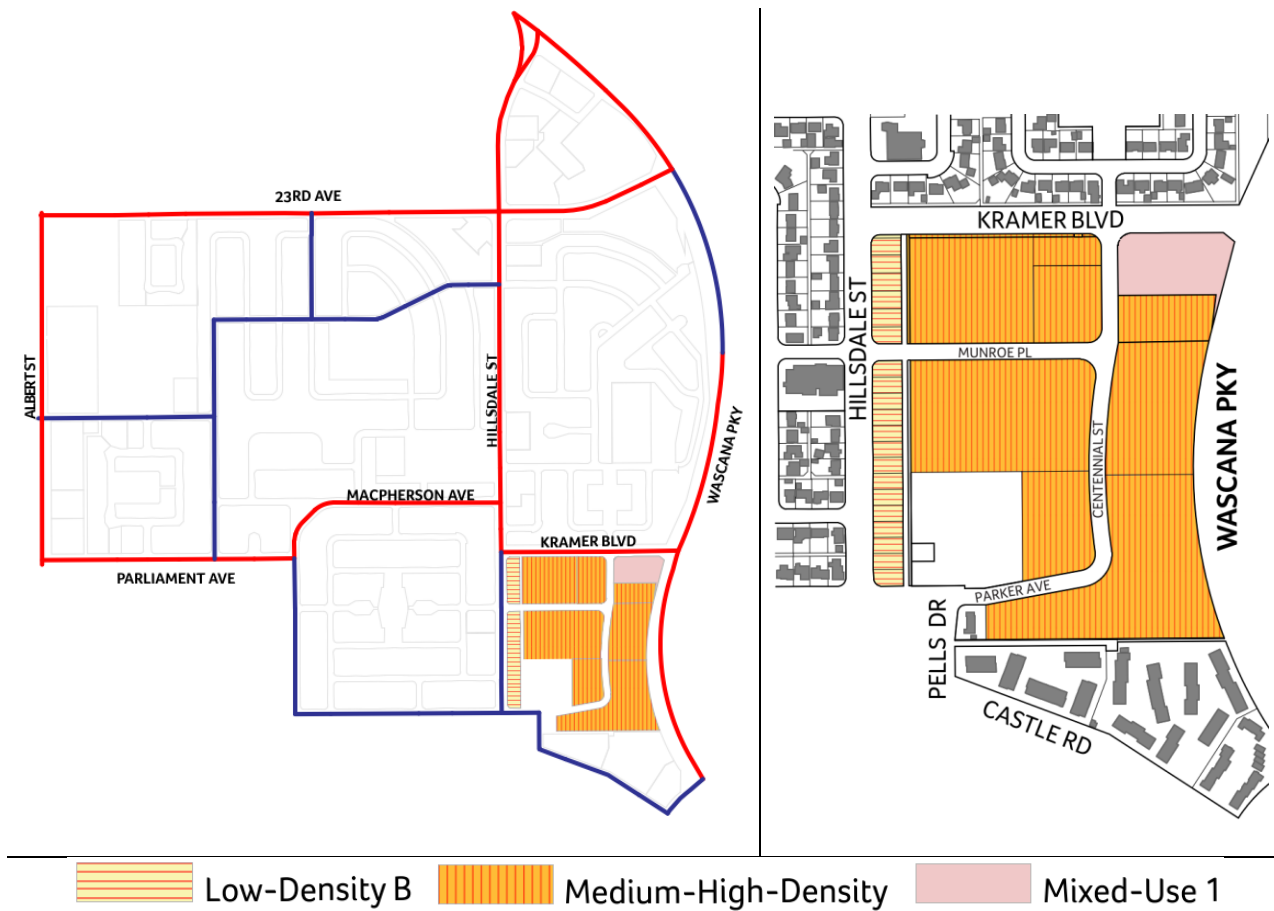
4.4 Sub-Area B Policy



These areas of the Neighbourhood accommodate unique, master-planned, residential condominium developments and are characterized by duplex or townhouse residential dwellings situated within a system of private lanes, open space and community facilities. These areas were purposely designed to reflect a cohesive design style and unified ambience; therefore, this Plan supports the existing character and does not contemplate any changes.

1. Sub-Area B shall be reserved for, primarily, medium-density, townhouse style homes.
2. Within Sub-Area B, the implementation and enforcement of unified building and landscaping design standards, by the respective condominium corporations, is encouraged in order to maintain the unique character themes.
3. Within Sub-Area B, future redevelopment of a particular area should follow a comprehensive, master-plan process and the areas should continue to be managed as private communities where private lane access is currently utilized.

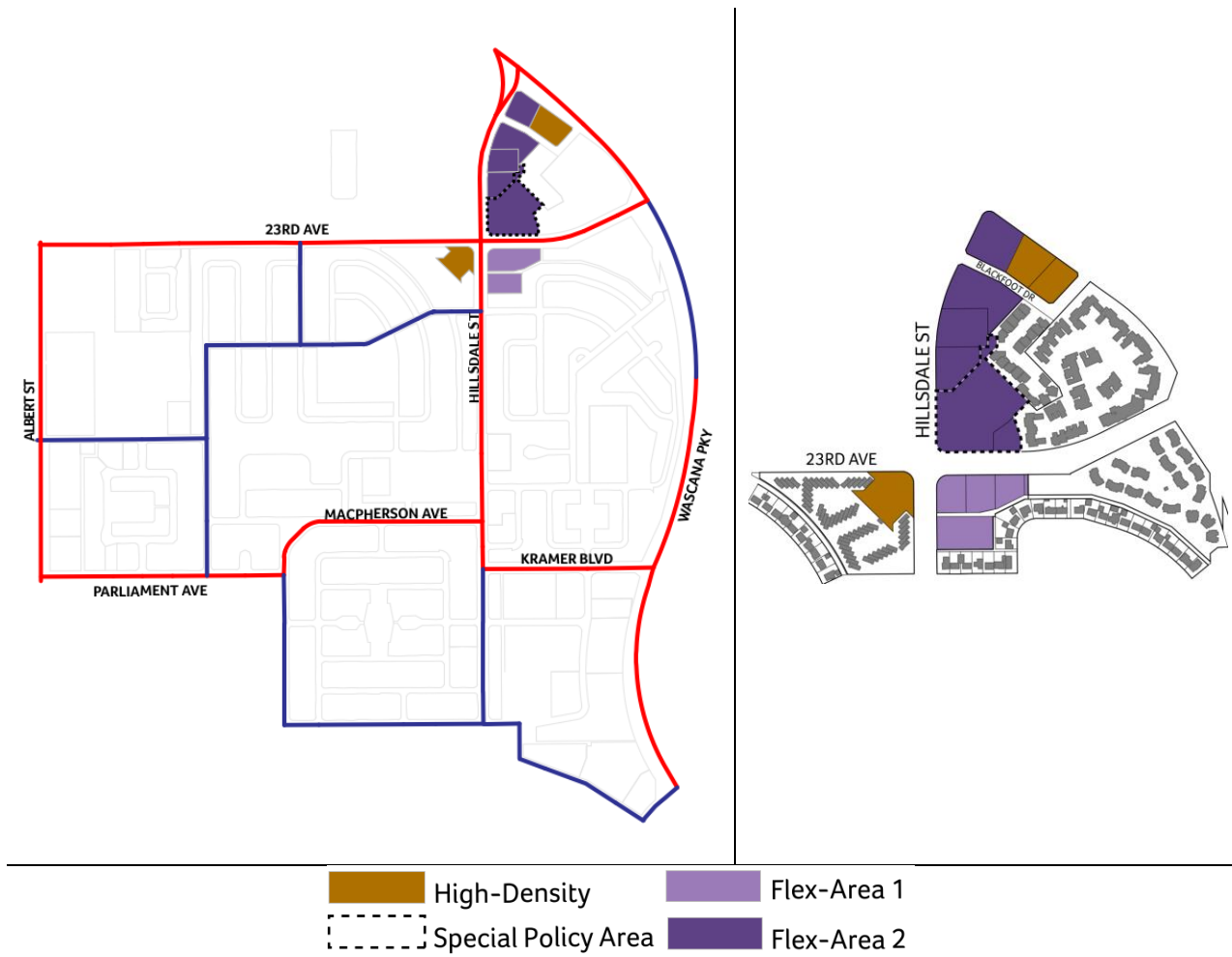
4.5 Sub-Area C Policy



This area of the Neighbourhood includes the highest concentration of medium and high-density residential development, and also includes a local commercial node. This area is important for supporting alternative housing options (other than single-detached homes), as well as shopping opportunities; therefore, this Plan supports the continuation of existing land-use. As the area is close to a major roadway, transit and the University, some intensification is allowed for.

1. The Mixed-Use 1 area of Sub-Area C shall be reserved for commercial development; however, mixed-use buildings are also acceptable.
2. Buildings over 15 metres in height within the Mixed-Use 1 area of Sub-Area C should reflect a high level of design quality, including: prominent entranceways; high level of glazing along main floor front wall; traditional masonry for outer walls (or indistinguishable fabricated masonry); base-middle-top differentiation; avoidance of stucco.
3. The Medium-High Density area of Sub-Area C shall be reserved for medium and high-density residential, and a transition from medium to high-density is encouraged.

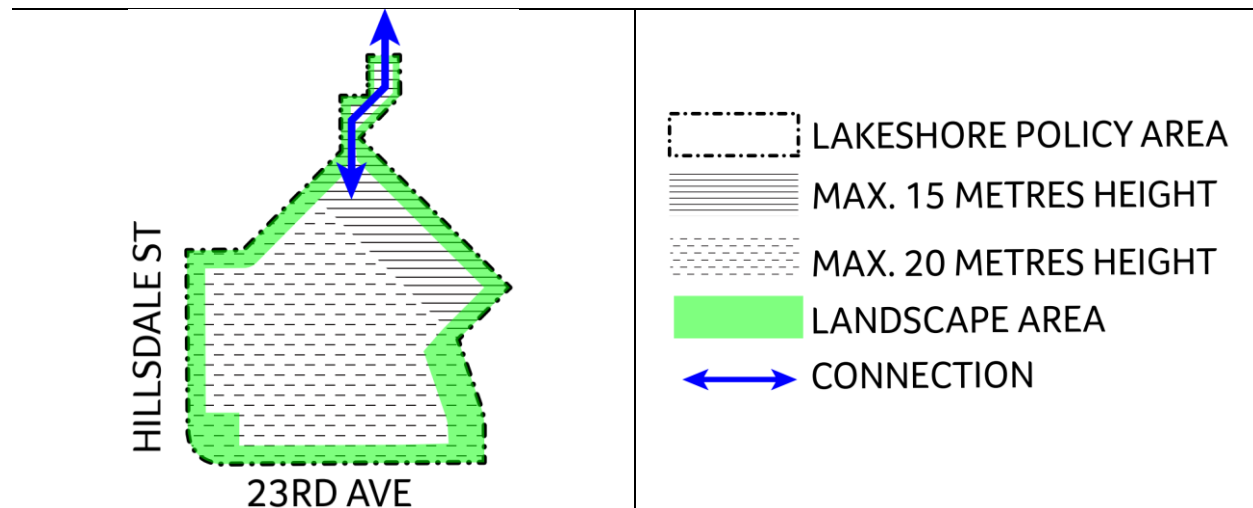
4.6 Sub-Area D Policy



This area of the Neighbourhood includes several prominent and unique features, including: the 20-story Roberts Plaza residential tower; prestige office and residential along Hillsdale Street and Wascana Parkway; the “Lakeshore Mall” site, which is strategically located at the intersection of Hillsdale Street and 23rd Avenue. This Plan supports the existing assemblage and form/ massing of land-use along Hillsdale Street, as well as an opportunity to accommodate neighbourhood commercial and/ or prestige residential or mixed-use development at the Lakeshore Mall site.

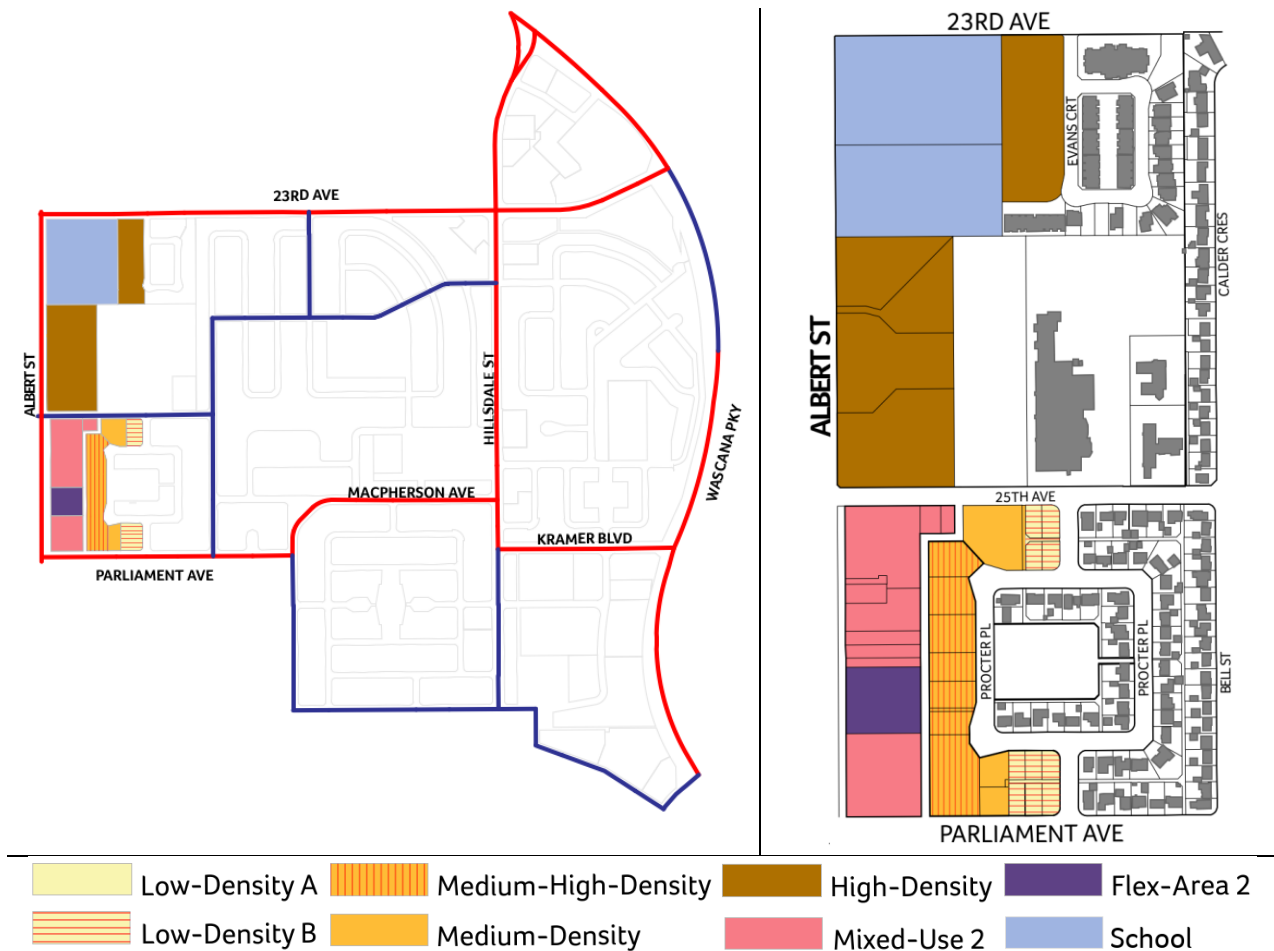
1. Within the Flex-Areas of Sub-Area D, excepting the Special Policy Area:
 - a. Land-use shall be limited to: high-density residential; mixed-use buildings (stacked); office.
 - b. Buildings should be at least 3-stories in height.
2. Within the Special Policy Area (Lakeshore Mall Site), development shall be in accordance with the following requirements:

Special Policy Area (Lakeshore Mall Site)



- The optimal land-use is a neighbourhood hub that accommodates various neighbourhood-oriented amenities and services, such as a grocery store, café, restaurant, etc., in a mixed-use setting that also includes high-density residential.
- On-site lighting should minimize off-site spillage and reflect a decorative style.
- Superior (above Zoning Bylaw minimum requirements) perimeter landscaping should be implemented, by the developer, including:
 - A landmark entrance plaza feature at the intersection of Hillsdale Avenue and 23rd Avenue that includes landscaping, seating, appropriate appurtenances.
 - Landscape buffer (vegetative screen) between new development and the Gryphons Walk subdivision.
- Parking, loading, storage, garbage collection should be directed to the interior of the site, and not directly abut a public street.
- Where a building is proposed to have a height exceeding 20 metres, Policies 4.6(2)(b)(c)(d) shall apply, in addition to the following:
 - The suitability of the proposed building shall be determined through a Neighbourhood Land-Use Plan amendment process (amendment to this Plan), which includes a review of transportation and servicing implications; design concepts; shadowing effects; Wascana Centre impacts, as well as a public engagement event co-facilitated by the City and the developer.
 - The building shall front 23rd Avenue (closer towards intersection preferred).
 - The location and design of the building shall ensure that the effect of shadows, on adjacent residential properties, is minimized.
 - Special Zoning Bylaw regulations (e.g. contract zone or direct control district) shall be employed in order to implement the policies of this Plan.

4.7 Sub-Area E Policy



Albert Street, which frames the west boundary of the Neighbourhood, is a major thoroughfare transecting the city and is designated as an Urban Corridor in OCP – Part A. As an Urban Corridor, the optimal land-use is high-density residential and mixed-use development, which this Plan supports; however, it is recognized that a transition to the optimal land-use will occur incrementally over-time. This Plan does not include a comprehensive strategy for the Albert Street Urban Corridor, as this requires a specific study (Corridor Plan).

1. As a gateway to historic neighbourhoods, the Downtown and Wascana Centre, the optimal land-use for this segment of Albert Street is prestige commercial and mixed-use development and/ or, at the site designated Flex-Area 2, high-density residential.
2. Land-uses accommodating motor vehicles (e.g. gas and service stations; car washes; parking lots [as principal use]; car lots [retail sale]; drive-throughs, etc.), considered as a Discretionary Use, as per Zoning Bylaw, shall be screened from adjacent residential and the frontage area shall be well landscaped (trees + shrubs, etc.), per City's discretion.
3. Adjacent low-density residential shall be screened from the more intense land-use of the Albert Street Corridor through a residential density or land-use transition.

Figure 5 – Land-Use

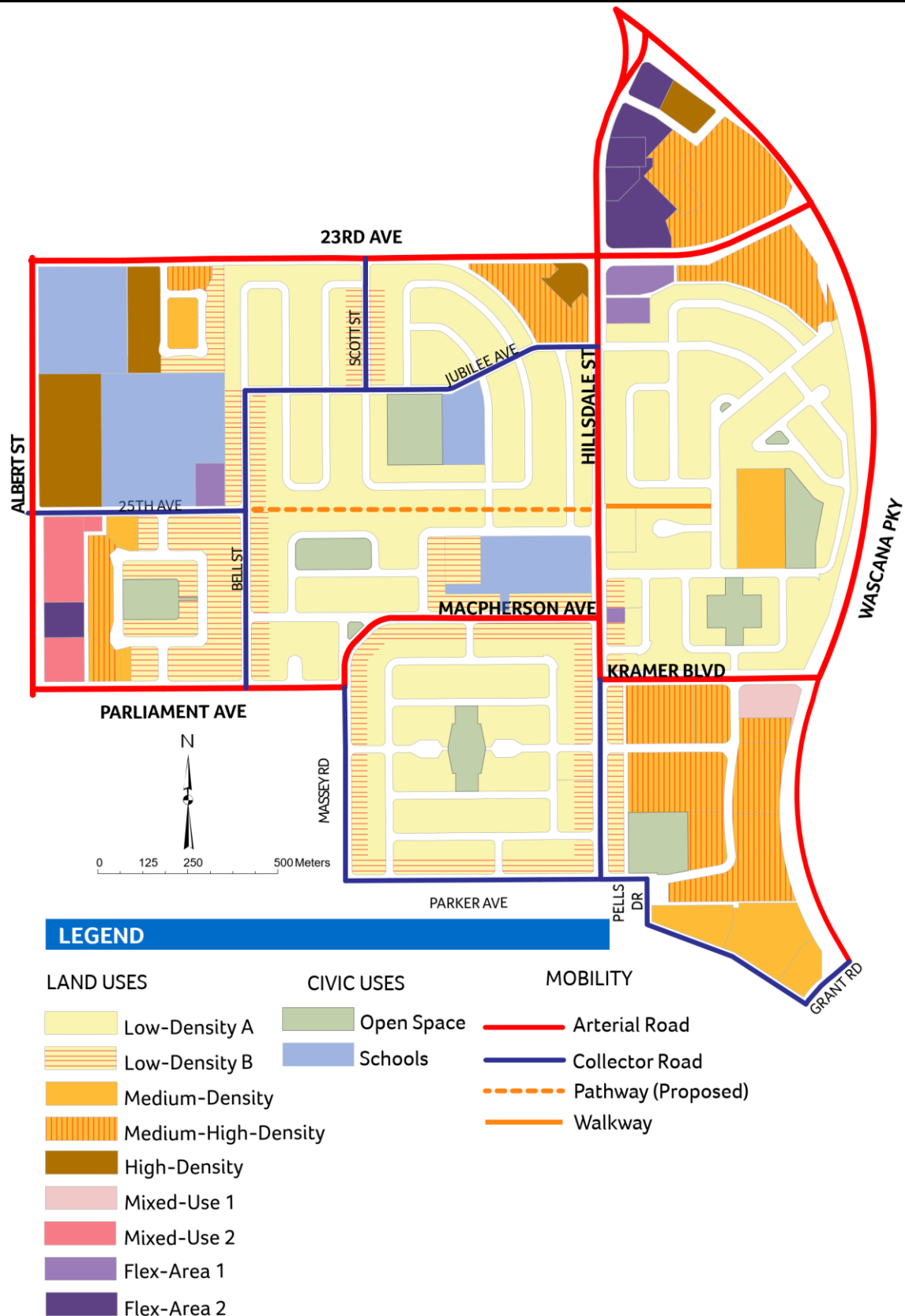
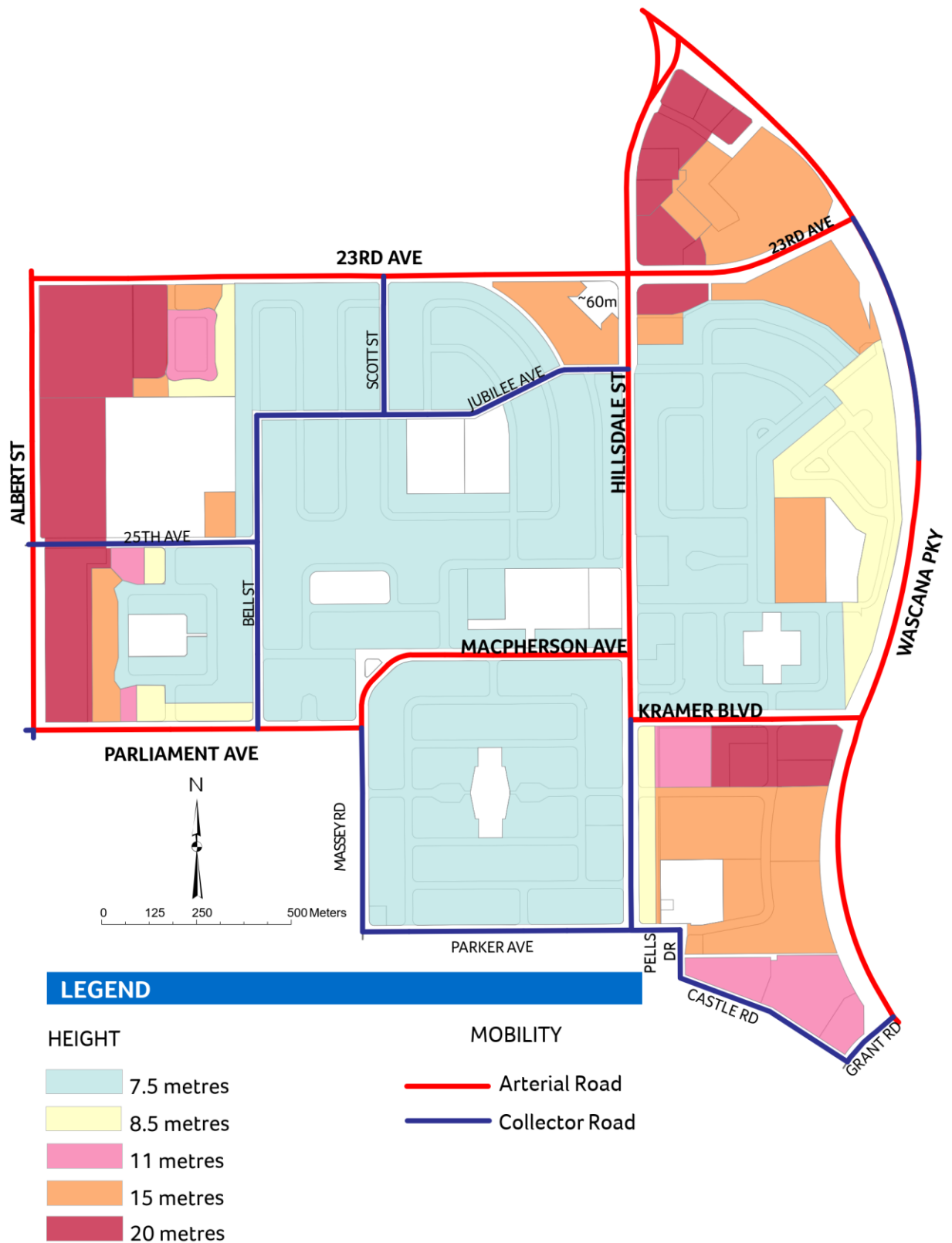


Table 1 - Land-Use Categories

Low-Density Residential (A) 	The intent of the Low-Density Residential (A) area is to accommodate single-detached dwellings, as well as complementary land-uses, on large size lots (min. width = 15 m) Corresponding Zoning Designations that support this category include: R1 – Residential Detached Zone
Low-Density Residential (B) 	The intent of the Low-Density Residential (B) area is to accommodate single-detached dwellings, as well as complementary land-uses, on medium size lots (min. width=10.5m) Corresponding Zoning Designations that support this category include: R1 – Residential Detached Zone
Med-Density Residential 	The intent of the Medium-Density Residential area is to accommodate a range of housing types, from single-detached dwellings to townhouses and low-rise apartments, as well as complementary land-uses Corresponding zoning designations that support this category include: Residential Urban Zone; Residential Low-Rise Zone
Med-High Density Residential 	The intent of the Medium-High Density Residential area is to accommodate a range of housing types, from townhouses to low-rise and mid-rise apartments, as well as complementary land-uses Corresponding zoning designations that support this category include: Residential Low-Rise Zone; Residential High-Rise Zone
High-Density Residential 	The intent of the High-Density Residential area is to accommodate apartment-style (multi-unit) housing opportunities, as well as complementary land-uses Corresponding zoning designations that support this category include: Residential High-Rise Zone
Mixed-Use Area 1 	The intent of the Mixed-Use 1 area is to accommodate small-scale commercial opportunities that cater to neighbourhood residents, which may also include mixed-use buildings (commercial on bottom and residential on top) Corresponding zoning designations that support this category include: Mixed Low-Rise Zone
Mixed-Use Area 2 	The intent of the Mixed-Use 2 area is to accommodate medium-scale commercial opportunities that cater to the neighbourhood and broader public, which may include mixed-use buildings (commercial on bottom and residential on top) Corresponding zoning designations that support this category include: Mixed High-Rise Zone
Flex-Area 1 	The intent of the Flex-Area 1 area is to accommodate medium-density housing types or small-scale, neighbourhood-oriented commercial development, or a combination of all Corresponding zoning designations that support this category include: Residential Low-Rise Zone; Mixed Low-Rise Zone; etc.
Flex-Area 2 	The intent of the Flex-Area 2 area is to accommodate high-density housing types or medium-scale commercial development, or a combination of all Corresponding zoning designations that support this category include: Residential High-Rise Zone; Mixed Low-Rise Zone; Mixed High-Rise Zone; etc.

Figure 6 – Height Limits





Proposed Concept Plan & Zoning Bylaw Amendment - 1500 N Winnipeg Street- PL202200043 & PL202200041

Date	October 4, 2022
To	Regina Planning Commission
From	City Planning & Community Development
Service Area	Planning & Development Services
Item No.	RPC22-34

RECOMMENDATION

Regina Planning Commission recommends that City Council:

1. Approve the application to amend the Somerset Concept Plan by redesignating the low and medium density residential land uses within the area identified as the subject property (being part of SW 07-18-19-2 Ext 105 and SE 07-18-19-2 Ext 3 to the north of the plan area) to Rail and Infrastructure Corridor/Buffer land use and adopt the amended Concept Plan as set out in Appendix A-3.
2. Approve the application to rezone portion of land from the Somerset neighbourhood, being part of SW 07-18-19-2 Ext 105 and SE 07-18-19-2 Ext 3, located within the Somerset Concept Plan area from UH - Urban Holding Zone to RW - Railway Zone.
3. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
4. Approve these recommendations at its meeting on October 12, 2022, following the required public notice.

ISSUE

The Applicant, the Real Estate Branch of the City of Regina, acting on behalf of the Landowner,

Earth King 135 Ventures Ltd., proposes to amend the Somerset Concept Plan. The application proposes to redesignate 13.27 hectares of low and medium-density residential land uses (Subject Property) to Rail Corridor to facilitate the development of a rail spur line that will serve the proposed Viterra Regina Crush Facility. The Applicant is also seeking concurrent rezoning approval, from UH - Urban Holding Zone to RW - Railway Zone, to accommodate the rail infrastructure.

A landowner or their representative can submit applications to amend a concept plan and the *Regina Zoning Bylaw 2019-19* (Zoning Bylaw). These processes require review by the Regina Planning Commission (RPC) and approval by City Council (Council). These applications include a public and technical review process in advance of consideration by RPC and Council.

These applications are being considered under the *Planning and Development Act, 2007* (Act); *Design Regina: The Official Community Plan Bylaw 2013-48* (OCP) and the Zoning Bylaw. The proposal has been assessed and fully complies with the requirements.

IMPACTS

Financial Impact

The Applicant will be responsible for the cost of any additions or changes to existing infrastructure that may be required to directly or indirectly support the development.

Policy / Strategic Impacts

The proposed rezoning and concept plan amendment is necessary to allow the operation of the proposed Viterra Regina Crush Facility, which will produce significant economic benefits in Regina and the region. The concept plan amendment considers proximity issues between the rail corridor and adjacent land uses.

Environmental Impacts

The Subject Property is within the high-sensitivity aquifer zone. Amendments to the concept plan and rezoning has no impact on the aquifer. When railway development occurs, the Federal Government under *The Rail Safety Act* will ensure environmental impacts are addressed.

OTHER OPTIONS

Alternative options would be:

1. Approve the application with specific amendments to the concept plan.
2. Refer the application back to Administration. If City Council has specific concerns with the proposal, it may refer the application back to Administration to address or make additional recommendations. Referral of the report back to the Administration will delay approval of the development until the requested information has been gathered or changes to the proposal have been made.

3. Deny the application. Amendment to the concept plan and Zoning Bylaw will not proceed on the subject property if City Council rejects the application.

COMMUNICATIONS

The Applicant and other interested parties will receive a copy of the report and notification of their right to appear as a delegation at the Council meeting when the application will be considered. Public notice of the concept plan amendment and the public hearing, required when Council considers an amendment to the Zoning Bylaw, will be given following *The Public Notice Policy Bylaw, 2020*. The Applicant will receive written notification of City Council's decision.

DISCUSSION

The Subject Property is located on the northern boundary of the city and is adjacent to mixed agriculture and industrial land to the west, north, and east; the Kensington Greens neighbourhood to the southwest, and future residential development within the Somerset Neighbourhood to the south. The Subject Property is a part of the Somerset Concept Plan, which was originally approved on December 16, 2013 (CR13-175). The City's Phasing Plan (OCP-Map 1b) identifies the Somerset Concept Plan area as a 235K neighbourhood intended for various land uses, including residential and commercial, and open spaces.

Proposal

Concept Plan Amendment

The proposed amendment to the Concept Plan (Appendix A-3) is intended to redesignate approximately 13.27 hectare of land, originally proposed for low and medium-density residential land uses to Rail Corridor. This change will allow for the development of a rail spur line that will serve the proposed Viterra Regina Crush Facility, located to the east of the Subject Property. The proposed Rail Corridor area is sufficient to accommodate both the railway infrastructure and a setback area to provide buffering between the rail line and proposed future residential to the south.

Zoning Bylaw Amendment

The proposed amendments to the Zoning Bylaw includes rezoning the Subject Property from the UH - Urban Holding Zone to RW - Railway Zone, as shown in Appendix A-1. The Zoning Bylaw amendment applies the necessary zoning to the Subject Property to allow for the development of the rail spur line.

Future Concept Plan Changes

The Landowner is also pursuing a separate amendment to the Somerset Concept Plan that involves an overall reconfiguration of the land-use layout and street network. This application is in a preliminary review stage and is intended to be presented to Council at a future meeting. Changes to land use configurations will consider land use compatibility between the Rail Corridor and residential land uses, following the direction from *FCM Guidelines for New Developments in Proximity to*

Railway Operations.

Community Engagement

Under the public notice requirements of *The Public Notice Policy Bylaw, 2020*, neighbouring property owners within 75 metres of the proposed development received written notice of the application, and a sign was posted on the subject site. A summary of public feedback is included in Appendix B of this report.

DECISION HISTORY

On December 16, 2013, City Council approved The Somerset Concept Plan (CR13-175).

On July 25, 2016, City Council approved the amendment to the Somerset Concept Plan (CR16-85).

On Nov 27, 2017, City Council approved the amendment to the Somerset Concept Plan (CR11-113).

Respectfully Submitted,

Respectfully Submitted,


Autumn Lawson, Director, Planning & Development Services

9/15/2022

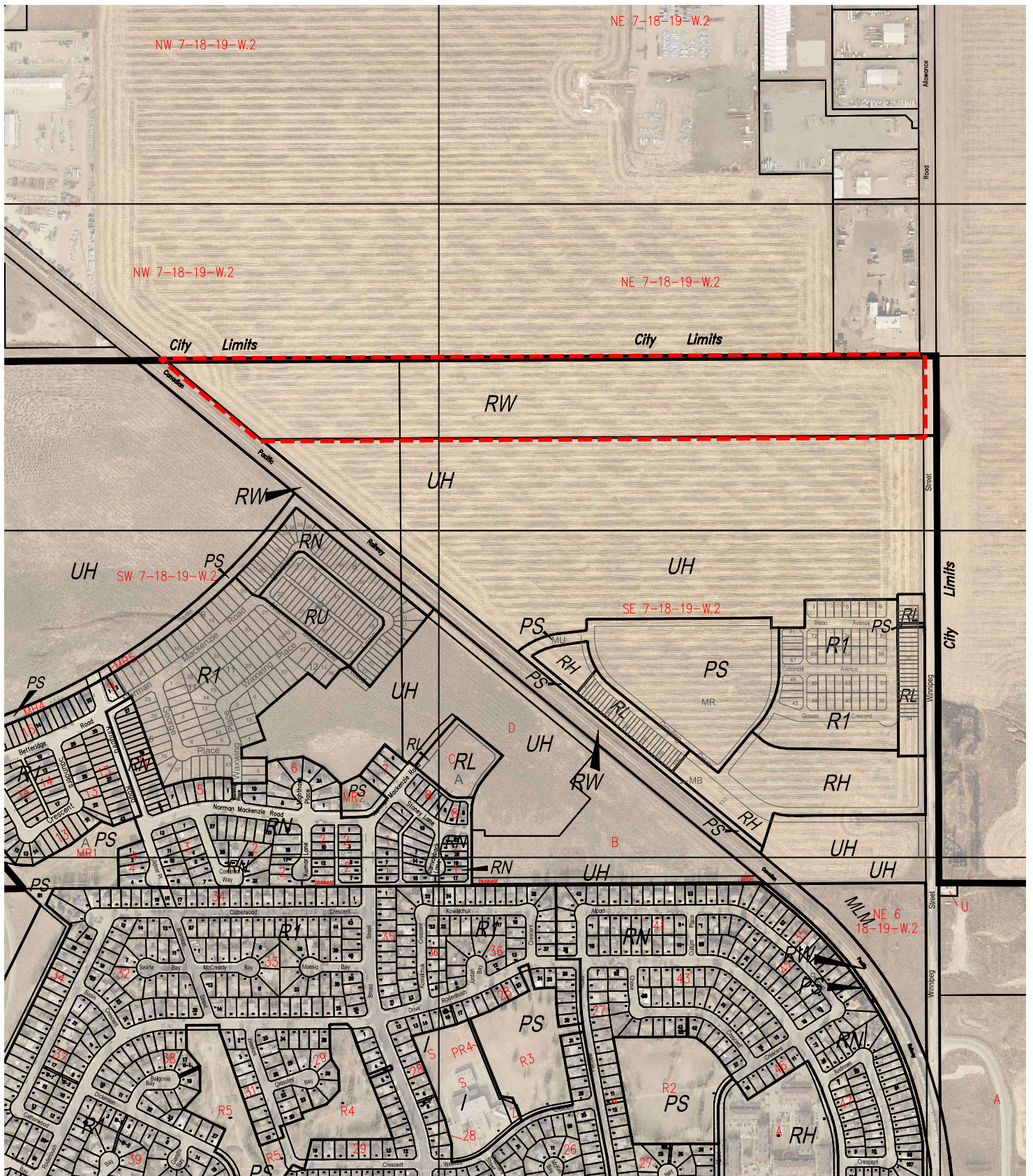

Deborah Bryden, Executive Director

9/20/2022

Prepared by: Binod Poudyal, City Planner II

ATTACHMENTS

Appendix A-1 (Subject Property Map)
Appendix A-2 (Aerial Map)
Appendix A-3 (Proposed Concept Plan)
Appendix A-4 (Existing Concept Plan)
Appendix B (Public Consultation Summary)



Date of Photography : 2020



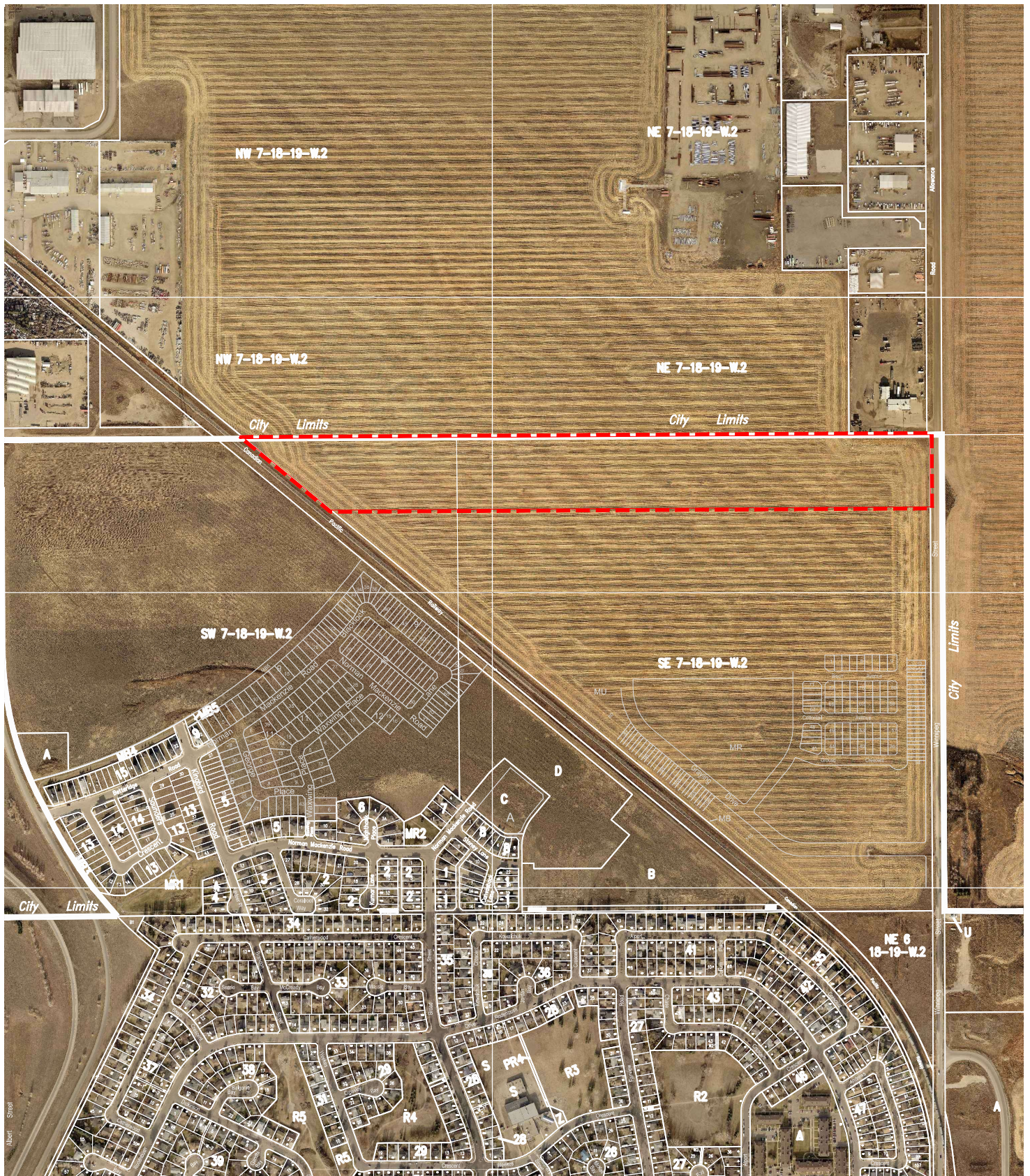
Subject Property



Project PL202200041
PL202200043

Civic Address/Subdivision

1500 N. Winnipeg Street



Date of Photography: 2020



Subject Property

Project PL202200041
PL202200043

Civic Address/Subdivision 1500 N. Winnipeg Street



SOMERSET CONCEPT PLAN CONCEPTUAL LAND USE PLAN (Proposed)

Subject Property



LEGEND

Total Area 568,925 sq.m. (140.58 ac)

Legend

- Low Density - Front Access
- Low Density - Rear Access
- Medium Density - Rowhouses
- Medium Density - Multi-Family
- Landscaped Buffers/ Corridors
- Park
- Railway Corridor Area
- Mixed Use
- Parcel Lines
- EVRAZ 1000m Buffer
- City Limits
- RAILWAY

Rail Setback (Min. 30m wide)

0 50 100 200 300

(ALL DIMENSIONS ARE IN METRES)

SOMERSET CONCEPT PLAN CONCEPTUAL LAND USE PLAN (Existing)

Subject Property

EVRAZ
1000m Buffer

CANADIAN PACIFIC RAILWAY

Combined
Pedestrian and
Utility Corridor

WINNIPEG STREET

LEGEND

Total Area 568,925 sq.m. (140.58 ac)

- Park
40,230 sq.m. (9.94 ac) = 7.07%
- Buffer
18,860 sq.m. (4.66 ac.)
- Mixed Use
- Commercial/Residential
27,685 sq.m. (6.84 ac)
- Multi Family
- Medium Density Residential
114,395 sq.m. (28.27 ac)
- Rowhouses
- Medium Density Residential
46,690 sq.m. (11.54 ac)
- Rear Access Lots
- Low Density Residential
102,550 sq.m. (25.34 ac)
- Front Access Lots
- Low Density Residential
62,050 sq.m. (15.33 ac)
- Prestige Industrial
29,935 sq.m. (7.40 ac)

0 50 100 200 300

(ALL DIMENSIONS ARE IN METRES)

Public Consultation Summary

Response	Number of Responses	Issues Identified
<i>Completely opposed</i>	22	<p>Comment Summary:</p> <ul style="list-style-type: none"> • Rail line too close to residential (Existing and Planned) • Pollution from the proposed canola crushing plant • Loss of property value • Relocate the plant outside the City limit <ul style="list-style-type: none"> - Move all rail lines further away from residential - Believe it is not in good interest of Regina. This planned sprawl will add tremendous pressure on the civil infrastructure specifically sewer. - Why is the spur not on the north east side of the plant, CN has a line running thru that area. - Having a spur line means that the rail line will be humping cars day and night, why would you put such noise pollution close to a residential area. - Do not approve this proposal - Move the plant farther outside of city limits or to a different area completely. The plant is positioned too close to city limits. Concern over Noise Pollution, light pollution, odor and residues emitted and land value. - Cancel the project - Putting a rail spur right next to Somerset, Uplands and Kensington Greens will add noise and industry to three areas that already suffer from the upgrader, and a soon to be massive canola crushing and complex. - The key change would be to not go ahead with it and locate the project far from residential areas (the current 1.4km ie 1400m or less - If the rail line goes ahead, Somerset should be stopped. - The noise, pollution and traffic created by the plant will depreciate their property value as it will have in the Uplands subdivision - Residential housing only, no multifamily or row housing. The proposed rail spur line for a canola crushing plant will do nothing for the betterment or growth for older neighbourhood. - We do not need another rail line or spur in north Regina. If it becomes a staging yard, the noise and the smell of idling trains will be unacceptable! - I feel this is too close to our residential area

		<ul style="list-style-type: none"> - The smells of the canola crushing plant on any given day of the year would greatly decrease the ability to buy or sell properties in the affected area. - Select a location further from residential homes. - Smells from industrial and agricultural activities are common causes of complaints to local councils. Councils investigate all complaints and can treat the smell as a statutory nuisance under the Environmental Protection Act 1990 (EPA). - The city needs to stop further expansion of industry in the area. - It seems rather counter productive to be in the process of moving the rail lines from the ring road area and at the same time of putting rail lines immediately adjacent to a new residential area.
<i>Accept if many features were different</i>	1	<ul style="list-style-type: none"> - Support the Spur line - Somerset Concept Plan should not be allowed! The location will foster an urban ghetto and decrease property value in uplands.
<i>Accept if one or two features were different</i>	1	<ul style="list-style-type: none"> - I support the development of the canola crush facility. and that there be no rail line in the City. We already have enough rail in this city.
<i>I support this proposal</i>	2	<ul style="list-style-type: none"> - We support economic development, and the new plant is important for Regina. - I support the devolvment of City Regina that creates more jobs - for the people.
<i>Other</i>	3	<ul style="list-style-type: none"> - I am concerned with increased traffic and how this is to be mitigated - The smells of the canola crushing plant on any given day of the year would greatly decrease the ability to buy or sell properties in the affected area. - I would like it if measures could be taken to reduce the noise and to pressure the railway to schedule trains to pass by during the day instead of at night when people are trying to sleep.

1. Rail line too close to residential

Administration's Response:

The concept plan identifies the need for a separation distance setback within the rail corridor, which follows the requirements for rail proximity. Future changes to land use and/ or rail function will consider requirements for rail proximity.

2. Noise and pollution from the proposed Canola Crushing plant/Relocation of Plant.

Administration's Response:

The planned canola crushing facility is outside the scope of this application. The plant is subject to requirements intended to address and mitigate concerns.

3. **Loss of Property Value**

Administration's Response:

Administration is not aware of any supporting documentation that supports the rationale that there will necessarily be loss of property value due to the proposed railway spur line corridor. The rail corridor is required to be properly buffered in accordance with guidelines, which will mitigate potential issues.