



# **Regina Planning Commission**

**Wednesday, December 1, 2021  
4:00 PM**

**Henry Baker Hall, Main Floor, City Hall**



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## OFFICE OF THE CITY CLERK

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### Public Agenda Regina Planning Commission Wednesday, December 1, 2021

#### Approval of Public Agenda

#### Adoption of Minutes

Minutes of the meeting held in November 3, 2021.

#### Administration Reports

RPC21-67 Heritage Designation - 2506 McTavish Street

##### **Recommendation**

Regina Planning Commission recommends that City Council:

1. Approve the application for designation of the James Residence located at 2506 McTavish Street, being Lot: B, Block: 8, Plan: FN3917, as a Municipal Heritage Property.
2. Instruct the City Solicitor to issue and serve notice of Council's intention to consider a bylaw to designate the property at 2506 McTavish Street as a Municipal Heritage Property in accordance with *The Heritage Property Act*.
3. Instruct the City Solicitor to prepare the necessary Municipal Heritage Property bylaw to be considered by Council at its first meeting following the statutory notice period to:
  - a. Designate the subject property as a Municipal Heritage Property;
  - b. Identify the reasons for the designation and character defining elements as stated in Appendix C, attached to this report;
  - c. Provide that any subsequent alterations to the property be consistent with the "*Standards and Guidelines for the Conservation of Historic Places in Canada*".
4. Approve these recommendations at its meeting on December 8, 2021.





## OFFICE OF THE CITY CLERK

RPC21-68 Official Community Plan Amendment & Zoning Bylaw Amendment - 3005 Saskatchewan Drive- PL202100161

### **Recommendation**

Regina Planning Commission recommends that City Council:

1. Amend *Design Regina: The Official Community Plan Bylaw No. 2013-48* by adding an exemption to Policy 17 in the OCP Part B.6 *Cathedral Area Neighbourhood Plan* to allow for mixed-use at 3005 Saskatchewan Drive.
2. Rezone the property located at 3005 Saskatchewan Drive, being Lot 25, Block 316, Plan 99RA11005, in the OLD33 Subdivision, from IL – Light Industrial Zone to MH – Mixed High-Rise Zone.
3. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
4. Approve these recommendations at its meeting on December 8, 2021.

RPC21-69 Zoning Bylaw Amendment and Discretionary Use Application - 1700 & 1734 Elphinstone Street - PL202100139 & PL202100140

### **Recommendation**

Regina Planning Commission recommends that City Council:

1. Approve the application to add a new Regina Exhibition Grounds Direct Control District (DCD-RExG) to *The Regina Zoning Bylaw, 2019* (Zoning Bylaw) and rezone the properties at 1700 Elphinstone Street and 1734 Elphinstone Street, legally described below, and known historically as the Regina Exhibition Grounds including the stadium, from PS – Public Service Zone to DCD-RExG:
  - Blk/Par H, Plan No. 14513, Extension 1;
  - Blk/Par FF, Plan No. 84R29489, Extension 1;
  - Blk/Par K, Plan No. DV4404, Extension 0;
  - Blk/Par T, Plan No. 102121311, Extension 2; and
  - Blk/Par W, Plan No. 102254622, Extension 0.
2. Approve zoning amendments related to DCD-RExG as described in Appendix A-2.1.



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## OFFICE OF THE CITY CLERK

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3. Approve the discretionary use application for a proposed development of “Industry, Food & Beverage” (distillery/brewery) located at 1700 Elphinstone, being legally described as Block/Parcel: H, Plan No. 14513, Extension 1 subject to compliance with the following development standards and conditions:
  - a. the development shall be generally consistent with the plans attached to this report as Appendix A-3.1 to Appendix A-3.10 dated May 4, 2021, prepared by TBD Architecture and Urban Planning; and
  - b. except as otherwise required by this approval, the development shall comply with all applicable standards and regulations in *The Regina Zoning Bylaw, 2019*.
4. Authorize the Development Officer to issue a development permit with respect to the application, upon the applicant making payment of any applicable fees or charges and entering into a development agreement if one is required.
5. Instruct the City Solicitor to prepare the necessary bylaws to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of the recommendations and the required public notice.
6. Approve these recommendations at its meeting on December 8, 2021.

### Adjournment

AT REGINA, SASKATCHEWAN, WEDNESDAY, NOVEMBER 3, 2021

AT A MEETING OF REGINA PLANNING COMMISSION  
HELD IN PUBLIC SESSION

AT 4:00 PM

**These are considered a draft rendering of the official minutes. Official minutes can be obtained through the Office of the City Clerk once approved.**

Present: Councillor John Findura, in the Chair  
Councillor Terina Shaw  
Councillor Shanon Zachidniak  
John Aston (Videoconference)  
Frank Bojkovsky (Videoconference)  
Biplob Das (Videoconference)  
Adrienne Hagen (Videoconference)  
Cheri Moreau (Videoconference)  
Tak Pham (Videoconference)  
Kathleen Wilson (Videoconference)  
Celeste York (Videoconference)

Also in Attendance: Council Officer, Elaine Gohlke  
Legal Counsel, Cheryl Willoughby (Videoconference)  
Executive Director, City Planning & Community Development,  
Diana Hawryluk  
Director, Planning & Development Services, Autumn Dawson  
(Videoconference)  
Manager, City Planning, Yves Richard  
Senior City Planner, Ben Mario (Videoconference)  
Senior City Planner, Michael Cotcher (Videoconference)  
Senior Engineer, Max Zasada (Videoconference)

(The meeting commenced in the absence of Kathleen Wilson.)

APPROVAL OF PUBLIC AGENDA

**Frank Bojkovsky moved, AND IT WAS RESOLVED, that the agenda for this meeting be approved, as submitted, and that the delegations be heard in the order they are called by the Chairperson.**

ADOPTION OF MINUTES

**Cheri Moreau moved, AND IT WAS RESOLVED, that the minutes for the meeting held on October 6, 2021 be adopted, as circulated.**

### TABLED AND SUPPLEMENTAL REPORTS

RPC21-63 Supplemental Report - Zoning Bylaw Amendment - All Properties Zoned as DCD-CBM – Chuka Boulevard Mixed Direct Control District Zone - PL202100105

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#### **Recommendation**

That Regina Planning Commission:

1. Attach this supplemental report, including the Retail Impact Study Findings Summary prepared by Kieron Hunt, Planning Studio Lead dated October 18, 2021 (Appendix A), to report RPC21-54 Zoning Bylaw Amendment - All Properties Zoned as DCD-CBM – Chuka Boulevard Mixed Direct Control District Zone - PL202100105, as Appendix C, for City Council's information.

**Councillor Shanon Zachidniak moved that the recommendation contained in the report be concurred in.**

(Kathleen Wilson joined the meeting.)

**The motion was put and declared CARRIED.**

<b>RESULT:</b>	APPROVED [Unanimous]
<b>MOVER:</b>	Councillor Zachidniak
<b>IN FAVOUR:</b>	Councillors: Zachidniak, Shaw, Findura, Commission members: Aston, Bojkovsky, Das, Hagen, Moreau, Pham, Wilson and York

RPC21-54 Zoning Bylaw Amendment - All Properties Zoned as DCD-CBM – Chuka Boulevard Mixed Direct Control District Zone - PL202100105  
(Tabled September 8, 2021)

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#### **Recommendation**

Regina Planning Commission recommends that City Council:

1. Approve the proposed text amendments to the DCD-CBM Chuka Boulevard Mixed Direct Control District in *The Regina Zoning Bylaw, 2019*, as detailed in Appendix A-3, to allow for:
  - a. A "Drive-Through" as a discretionary use;
  - b. Standalone commercial development along the Chuka Boulevard interface; and
  - c. Other housekeeping amendments as described in Appendix A-3.
2. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to a meeting of City

Council following approval of the recommendations and the required public notice.

3. Approve these recommendations at its meeting on September 15, 2021.

The following addressed the Commission:

- Chad Jedlic and Blair Forster, representing Forster Harvard Development Corp, Regina;
- Chris LeTourneur, representing MXD Development Strategists, Richmond, British Columbia;
- Mike Di Stasi, owner of five Regina Tim Hortons outlets, Regina;
- Ron Pfeifer, representing Gateway Developments, Regina;
- Kevin Reese, representing Greens on Gardiner Development Corp., Regina;
- Kieron Hunt, representing FBM, Halifax, Nova Scotia; and
- Rob Bresciani and Josh Bresciani, representing 102049625 Saskatchewan Ltd., Regina.

**Councillor Terina Shaw moved that the recommendation contained in the report be concurred in.**

(Biplob Das left the meeting.)

**The Clerk called the vote on the motion.**

**The motion was put and declared CARRIED.**

<b>RESULT:</b>	APPROVED [9 to 1]
<b>MOVER:</b>	Councillor Shaw
<b>IN FAVOUR:</b>	Councillors: Shaw, Zachidniak, Findura, Commission members: Aston, Hagen, Moreau, Pham, Wilson and York
<b>AGAINST:</b>	Bojkovsky
<b>ABSENT:</b>	Das

### RECESS

Pursuant to the provisions of Section 34 (13.1) of City Council's Procedure Bylaw No. 9004, Councillor Findura called for a 20 minute recess.

Regina Planning Commission recessed at 6:03 p.m.

Regina Planning Commission reconvened at 6:28 p.m. in the absence of Frank Bojkovsky.

(Councillor Shaw left the meeting.)

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RPC21-64 Supplemental Report - School Divisions Feedback on Cannabis Zoning

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**Recommendation**

That Regina Planning Commission:

1. During consideration of report RPC21-60 Cannabis Retail Zoning Amendments, replace Appendix A to the report with the attached amended Appendix A that maintains the separation distance of 182.88 metres from proposed cannabis retail to existing schools and adjoining parks associated with schools.
2. Attach this supplemental report, including its associated appendices, to report RPC21-60, as Appendix D, for City Council's information.

**Councillor Shanon Zachidniak moved that Regina Planning Commission attach this supplemental report, including its associated appendices, to report RPC21-60, as Appendix D, for City Council's information.**

**The motion was put and declared CARRIED.**

<b>RESULT:</b>	APPROVED [Unanimous]
<b>MOVER:</b>	Councillor Zachidniak
<b>IN FAVOUR:</b>	Councillors: Zachidniak and Findura, Commission members: Aston, Hagen, Moreau, Pham, Wilson and York
<b>ABSENT:</b>	Shaw, Bojkovsky, Das

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RPC21-60 Cannabis Retail Zoning Amendments (Tabled October 5, 2021)

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**Recommendation**

Regina Planning Commission recommends that City Council:

1. Approve the proposed amendments to *The Regina Zoning Bylaw, 2019-19* as outlined in Appendix A of this report and which will result in reducing the restrictions applicable to cannabis retail developments within the city.
2. Instruct the City Solicitor to prepare the necessary bylaw to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of the recommendations by Council and the required public notice.
3. Remove items CR18-49 and RPC20-24 from the Outstanding Items list.
4. Approve these recommendations at its meeting on October 13, 2021.

The following addressed the Commission:

- Landyn Uhersky, representing Wiid, Regina;
- Asif Alir, representing the Islamic Association of Saskatchewan, Regina Inc., Regina;
- John Thomas, representing Farmer Jane Cannabis Co., Regina; and
- Delaine Clyne, representing Regina Public School Division, Regina

(Frank Bojkovsky joined the meeting.)

**Councillor Shanon Zachidniak moved that the recommendation contained in the report be concurred in after amending Recommendation #4 to read:**

**4. Approve these recommendations at its meeting on November 10, 2021.**

**Councillor Shanon Zachidniak moved, in amendment, that Regina Planning Commission:**

- **Approve the proposed amendments to The Regina Zoning Bylaw, 2019-19, as outlined in the revised Appendix A to supplemental report RPC21-64, which will result in reducing the restrictions applicable to cannabis retail developments within the city; excepting those amendments proposed for “Institution, Education” where 182.88m will remain the separation distance for the establishment of Retail Trade, Cannabis.**
- **Replace Appendix A with the revised Appendix A attached to supplemental report RPC21-64.**

**The Clerk called the vote on the amending motion.**

**The motion was put and declared CARRIED.**

<b>RESULT:</b>	APPROVED [9 to 1]
<b>MOVER:</b>	Councillor Zachidniak
<b>IN FAVOUR:</b>	Councillors: Zachidniak and Findura, Commission members: Aston, Bojkovsky, Hagen, Moreau, Pham, Wilson and York
<b>AGAINST:</b>	Hagen
<b>ABSENT:</b>	Shaw and Das

**The Clerk called the vote on the main motion, as amended.**

**The motion was put and declared CARRIED.**

<b>RESULT:</b>	APPROVED [8 to 1]
<b>MOVER:</b>	Councillor Zachidniak
<b>IN FAVOUR:</b>	Councillors: Zachidniak and Findura, Commission members: Aston, Bojkovsky, Moreau, Pham, Wilson and York
<b>AGAINST:</b>	Hagen
<b>ABSENT:</b>	Shaw and Das

### ADMINISTRATION REPORTS

RPC21-65     Discretionary Use Application - 5000 E Green Brooks Way - PL202100144

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#### **Recommendation**

Regina Planning Commission recommends that City Council:

1. Approve the discretionary use application for the proposed development of "Building, Planned Group" and "Planned Group" located at 5000 E Green Brooks Way in the Greens on Gardiner Subdivision, subject to compliance with the following development standards and conditions:
  - a) The development shall be generally consistent with the plans attached to this report as Appendix A-3.1 and A-3.4, prepared by Newrock Developments Inc. and dated January 26, 2021.
  - b) Except as otherwise specified in this approval, the development shall comply with all applicable standards and regulations in *The Regina Zoning Bylaw, 2019*.
2. Authorize the Development Officer to issue a development permit with respect to the application, upon the applicant making payment of any applicable fees or charges and entering into a development agreement if one is required.
3. Approve these recommendations at its meeting on November 10, 2021, following the required public notice.

Cam Ens, representing NewRock Developments Inc., Medicine Hat, Alberta, addressed the Commission.

**Councillor Shanon Zachidniak moved that the recommendation contained in the report be concurred in.**

**The Clerk called the vote on the motion.**

**The motion was put and declared CARRIED.**



<b>RESULT:</b>	APPROVED [Unanimous]
<b>MOVER:</b>	Councillor Zachidniak
<b>IN FAVOUR:</b>	Councillors: Zachidniak and Findura, Commission members: Aston, Bojkovsky, Hagen, Moreau, Pham, Wilson and York
<b>ABSENT:</b>	Shaw and Das

RPC21-66 OCP/Concept Plan and Zoning Bylaw Amendments - 201 Fleet Street -  
PL202100153 & PL202100156

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**Recommendation**

Regina Planning Commission recommends that City Council:

1. Approve amendments to the Fleet Street Business Park Secondary Plan, being Part B.9 of *Design Regina: The Official Community Plan Bylaw No. 2013-48*, as outlined in Appendix A-2.
2. Approve the amended Fleet Street Business Park Phase 1 Concept Plan, as shown in Appendix A-4.
3. Approve the application to rezone the proposed parcel MU1, located at 201 Fleet Street and being a portion of existing Parcel Y, Plan AC6035, Ext 0 and of existing Parcel X, Plan AC6035, Ext 1, as shown in Appendix A-1, from UH – Urban Holding Zone to PS – Public Service Zone.
4. Direct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
5. Approve these recommendations at its meeting on November 10, 2021.

**Cheri Moreau moved that the recommendation contained in the report be concurred in.**

**The Clerk called the vote on the motion.**

**The motion was put and declared CARRIED.**

<b>RESULT:</b>	APPROVED [Unanimous]
<b>MOVER:</b>	Cheri Moreau
<b>IN FAVOUR:</b>	Commission members: Moreau, Aston, Bojkovsky, Hagen, Pham, Wilson and York Councillors: Zachidniak and Findura
<b>ABSENT:</b>	Shaw and Das

ADJOURNMENT

**Councillor Shanon Zachidniak moved, AND IT WAS RESOLVED, that the meeting adjourn.**

The meeting adjourned at 7:35 p.m.

\_\_\_\_\_  
Chairperson

\_\_\_\_\_  
Secretary



## Heritage Designation - 2506 McTavish Street

<b>Date</b>	December 1, 2021
<b>To</b>	Regina Planning Commission
<b>From</b>	City Planning & Community Development
<b>Service Area</b>	Parks, Recreation & Cultural Services
<b>Item No.</b>	RPC21-67

### RECOMMENDATION

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Regina Planning Commission recommends that City Council:

1. Approve the application for designation of the James Residence located at 2506 McTavish Street, being Lot: B, Block: 8, Plan: FN3917, as a Municipal Heritage Property.
2. Instruct the City Solicitor to issue and serve notice of Council's intention to consider a bylaw to designate the property at 2506 McTavish Street as a Municipal Heritage Property in accordance with *The Heritage Property Act*.
3. Instruct the City Solicitor to prepare the necessary Municipal Heritage Property bylaw to be considered by Council at its first meeting following the statutory notice period to:
  - a. Designate the subject property as a Municipal Heritage Property;
  - b. Identify the reasons for the designation and character defining elements as stated in Appendix C, attached to this report;
  - c. Provide that any subsequent alterations to the property be consistent with the "*Standards and Guidelines for the Conservation of Historic Places in Canada*".
4. Approve these recommendations at its meeting on December 8, 2021.

### ISSUE

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The applicant, Stacey Bouck has applied to designate 2506 McTavish Street (the James Residence) as a Municipal Heritage Property. Applications for designation as Municipal Heritage Property are

considered in accordance with Section 11 of *The Heritage Property Act* (The Act) and *The Heritage Inventory Policy* (2019-1-CPD) adopted by City Council on March 25, 2019 which provides guidance on evaluation of heritage properties and how recommendations for designation are brought forward to Council.

## IMPACTS

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### **Financial Impacts**

Conservation of heritage buildings provides a public benefit as it enhances the quality of life, strengthens community identity, and is a source of civic pride. The City provides incentives to support owners to ensure those benefits are realized. Upon Designation, the property is eligible for incentives offered by the City through the Heritage Incentives Program. At this time, the property is eligible for a property tax exemption of up to 10 years to a maximum value equivalent to 50 per cent of eligible conservation work costs; whichever is less. A recommendation for a new exemption program will be brought forward for Council approval in 2022.

### **Environmental Impacts**

City Council set a community goal for the City of Regina of achieving net zero emissions and sourcing of net zero renewable energy by 2050. In support of this goal, City Council asked Administration to provide energy and greenhouse gas implications of recommendations so that Council can evaluate the climate impacts of its decisions. The recommendations in this report have limited direct impacts on energy consumption and greenhouse gas emissions.

However, preserving heritage buildings can prevent greenhouse gas (GHG) emissions resulting from demolition of the existing structure and construction of a new building. For example, the retention of an existing building prevents the generation of construction waste and demolition waste that would have been disposed at the landfill. Some of the materials disposed at the landfill would also generate GHG gas emissions.

### **Policy/Strategic Impacts**

The proposal to designate is consistent with the policies contained within Part A of *Design Regina: The Official Community Plan Bylaw No. 2013-48* (OCP):

#### Section D8: Culture

**Goal 1 – Support Cultural Development and Cultural Heritage:** Enhance quality of life and strengthen community identity and cohesion through supporting cultural development and cultural heritage.

- 10.3. Identify, evaluate, conserve and protect Cultural Heritage, Historic Places, and cultural resources, including but not limited to Public Arts.

- 10.5. Encourage owners to protect historic places through good stewardship and voluntarily designating their property for listing on Historic Property Register.

Heritage designation of the subject property, as well as its conservation, will enhance the building's long-term economic viability and protect its character-defining elements. Designation will also ensure the building's continued contribution to the historical and architectural character of Regina's Lakeview neighbourhood.

#### **Other Impacts**

None with respect to this report.

#### **Accessibility Impacts**

None with respect to this report.

### **OTHER OPTIONS**

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If Council determines that the property does not have sufficient heritage significance to warrant designation, Council may reject the application.

### **COMMUNICATIONS**

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Administration provided information on this application to Heritage Regina, the Architectural Heritage Society of Saskatchewan, Lakeview Community Association and Saskatchewan Ministry of Parks, Culture and Sport.

Heritage Regina, and Architectural Heritage Society of Saskatchewan, indicated in writing that they are supportive of the designation. The letters are attached to this report in Appendix D, and E respectively.

An email from the Saskatchewan Ministry of Parks, Culture and Sport stated that "The building at 2506 McTavish Street is an example of Craftsman architecture and illustrative of the historical expansion of residential development in Regina, the property is a good candidate for designation and conservation for those reasons."

No comments were received from the Lakeview Community Association.

### **DISCUSSION**

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Designation as a municipal heritage property publicly and formally recognizes and legally protects a property's heritage value. Designation also encourages good stewardship of heritage assets by providing tools for managing the care and maintenance of properties and allowing property owners to access financial support for conservation projects through the City's *Heritage Building*

### *Rehabilitation Program.*

In September 2020, the owner of 2506 McTavish Street expressed interest in the designation of the property. Administration then worked with the owner to complete comprehensive research and an evaluation of the property. This property was not previously identified on the Heritage Inventory, but an evaluation was completed by Donald Luxton & Associates in July of 2021 to establish its heritage value. The evaluation resulted in a Grade 2, indicating the property's neighbourhood level significance. It recognizes the James Residence's interwar (between the two World Wars) contribution to the heritage landscape of the Lakeview neighborhood. This property is representative of a particular era of build-out of the Lakeview neighborhood when building activities resumed after the First World War.

A Thematic Framework and Historical Context Document was developed for the City of Regina in 2017. The Thematic Framework is a tool to systematically develop a heritage inventory in the community. The themes provide context for identifying and selecting heritage resources in the community for future evaluation, and consideration for possible designation. Each theme identifies categories of site types reflective of the theme. The property at 2506 McTavish Street represents the Capital City Development theme in the Thematic Framework. This theme encompasses Regina's multi-layered planning and civic development history that has shaped and continues to shape the city's development, communities, and neighbourhoods.

This property had previously been built upon in c.1912 by Fredrick and Amy Ritter (née Houston), who constructed a large residence for their family. Frederick managed the local branch of the Monarch Lumber Company and was notable as the first head coach of the Regina Rugby Club (Saskatchewan Roughriders). In 1921, Thomas Barnard, a local contractor acquired the property and moved the former Ritter residence to 2810 Albert Street, where it remains. Utilizing the original c.1912 cobblestone verandah, which was left in place, Barnard constructed this extant dwelling (or possibly relocated another house to this site) in 1922.

The James Residence is additionally valued for its long-time owners and residents, the Gray-Owen family. Following the dwelling's erection in 1922, Thomas Barnard either leased or sold the property to original residents William E. and Isobel S. James who resided here for several years, until the house was purchased by Joseph Gray Owen and Ethel M. Davies in c.1928. Educated as a civil engineer, Joseph and his family initially resided in Outlook, and following his service in the 128th Battalion during the First World War, they relocated to Regina. Joseph spent his career working for the Provincial Department of Railways, Telegraphs and Telephones.

The James Residence is also valued for its Craftsman style architecture. Derived from the British Arts and Crafts movement, the Craftsman style emerged in California, and the honest use of natural and locally sourced materials was promoted by its early advocates. The enduring preference for the Craftsman style through the interwar era of the 1920s represented a nostalgic penchant for the time

prior to the turmoil of the First World War. Featuring hallmarks of the style, the James Residence includes such features as wood shake cladding, triangular knee brackets, verandah, and shed roof dormers.

While this property was not previously identified on the Heritage Inventory, the recommendation for designation of this property is consistent with the approach directed by the *Heritage Inventory Policy* – that Grade 2 properties be designated with consent of the owner. In this case, the owner has initiated this process through an application for designation.

## DECISION HISTORY

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City Council adopted The *Heritage Inventory Policy* (CR19-20) on March 25, 2019.

City Council's approval to designate the property is required pursuant to Section 11 of *The Heritage Property Act*.

Respectfully Submitted,

Respectfully Submitted,



Laurie Shalley, Director, Parks, Recreation & Cultural Services

11/15/2021



Diana Hawryluk, Executive Director, City Planning & Community Dev.

11/23/2021

Prepared by: Aastha Shrestha, City Planner II

## ATTACHMENTS

- Appendix A - Context Map
- Appendix B - Location Map
- Appendix C - REG Evaluation Form
- Appendix D - Heritage Regina
- Appendix E - Architectural Heritage Society of Saskatchewan





Date of Photography: 2020



Subject Property

Project Heritage Designation - 2506 McTavish Street

Civic Address 2506 McTavish Street





Date of Photography : 2020



### Subject Property



Project Heritage Designation - 2506 McTavish Street

Civic Address 2506 McTavish Street



## HERITAGE INVENTORY EVALUATION FORM

2018 Version

<p>City of Regina</p> <p><b>HERITAGE INVENTORY EVALUATION FORM</b></p>	Evaluation Date	May 17, 2021
	Neighbourhood	Lakeview
	Designation	
<p>The place should be rated for each of the criteria below, in order to establish its relative significance. This will determine if the place merits inclusion on the City of Regina Heritage Inventory or not and whether it is Grade 2 (Neighbourhood-wide significance) or Grade 1 (City-wide significance).</p>		

<p>Historic Place Name</p> <p>James Residence</p>	
<p>Municipal Address</p> <p>2506 McTavish Street</p>	<p>Year of Construction</p> <p>c.1922</p>
<p>Architectural Style</p> <p>Craftsman</p> <p>Architect/Designer</p> <p>Unknown</p> <p>Builder</p> <p>Thomas Barnard (1922)</p>	<p>Legal Address/Description</p> <p>Lot B, Block 8, Plan FN3917</p> <p>Site Area (m<sup>2</sup>)</p>
<p>Consultant</p> <p>Donald Luxton &amp; Associates</p>	
<p>Heritage Planner</p>	



## HERITAGE INVENTORY EVALUATION FORM

<b>Statement of Significance</b>	Historic Place Name James Residence
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**Description of Historic Place**

The James Residence is located on the west side of McTavish Street between 17th and 18th Avenues, immediately south of Wascana Creek, in the Lakeview neighbourhood. Situated in predominantly low-density residential context consisting of primarily post-Second World War housing stock, the residence is characterized by its one and one-half storey height; side gable roof with shed dormers; cobblestone verandah; and wood shake cladding.

**Heritage Value of Historic Place**

The James Residence is valued for its Interwar contribution to the heritage landscape of the Lakeview neighbourhood. Following the announcement by the Province in 1906 that the new legislative building would be built on the east side of Albert Street, south of Wascana Lake, McCallum, Hill & Co. subdivided their extensive land holdings into a simple grid-iron plan that year. Located between Albert and Pasqua Streets, and Wascana Creek and 23rd Avenue, McCallum, Hill & Co. registered and marketed two new subdivisions: "Wascana Park", north of 20th Avenue, and "Lakeview", south of 20th Avenue, with the James Residence constructed in the former over 15 years later. These areas underwent a surge of development in the Edwardian period that was halted with the outbreak of the First World War. Though the war significantly slowed the area's development, the 1920s ushered in a new era of economic diversification and development. This property had previously been built upon in c.1912 by Fredrick and Amy Ritter (née Houston), who constructed a large residence for their family. Frederick, along with managing the local branch of the Monarch Lumber Company, was notable as being the first head coach of the Regina Rugby Club (Saskatchewan Roughriders). The property, which originally had a frontage of 100-feet along McTavish Street, was later acquired by local contractor Thomas Barnard. In 1921, Barnard moved the former Ritter residence to 2810 Albert Street, where it remains. Utilizing the original c.1912 cobblestone verandah which was left in place, Barnard constructed this extant dwelling (or possibly relocated another house to this site) in 1922. This area of Wascana Park remained sparsely developed until after the Second World War, when it was resubdivided into its present modified grid layout and renamed River Heights in 1954. The neighbourhood experienced a rush of mid-century residential construction during the unprecedented post-war economic resurgence.

The James Residence is also valued for its Craftsman style architecture. Derived from the British Arts and Crafts movement, the Craftsman style emerged in California, and the honest use of natural and locally sourced materials was promoted by its early advocates. The style disseminated across North America through its publicity in domestic pattern book magazines, first becoming popular in western Canada during the early 1910s. The enduring preference for the Craftsman style through the Interwar era of the 1920s represented a nostalgic penchant for the time prior to the turmoil of the First World War. Featuring hallmarks of the style, the James Residence includes such features as wood shake cladding, triangular knee brackets, verandah, and shed roof dormers.

The James Residence is additionally valued for its long-time owners and residents, the Gray-Owen family. Following the dwelling's erection in 1922, Thomas Barnard either leased or sold the property to original residents William E. (c.1867-1939) and Isobel S. (née Bruce; 1867-1959) James who resided here for several years, until the house was purchased by the Gray-Owens in c.1928. Joseph Gray-

## HERITAGE INVENTORY EVALUATION FORM

Owen (1880-1949) and Ethel M. Davies (1884-1973) were both born in Wales, marrying in 1907, and immigrating to Saskatchewan in 1912. Educated as a civil engineer, Joseph and his family initially resided in Outlook, and following his service in the 128<sup>th</sup> Battalion during the First World War, they relocated to Regina. Joseph spent his career working for the Provincial Department of Railways, Telegraphs and Telephones. Following his passing, Ethel relocated to Vancouver, and their son, Donald (1908-1976) and daughter-in-law, Eileen A. Hadden (b.1921) moved into the residence. Donald and Eileen had married in 1939, and continued to reside here until the early 1960s, eventually retiring to British Columbia. During their time at this residence, both Donald and Eileen owned and managed Hunters Ltd., a local women's clothing store.

***Character-Defining Elements***

The character defining elements include but are not limited to:

- location midblock on the west side of McTavish Street between 17th and 18th Avenues, immediately south of Wascana Creek, and in a single-family detached residential context;
- form, scale and massing as expressed by its rectangular plan and overall symmetrical massing; one and one-half storey height with full basement; side gable roofline; open verandah; gable projection on south elevation; and enclosed shed roof porch on rear elevation;
- wood-frame construction with wood shake and lap cladding; wood watertable banding; wood bargeboards and soffit; and wood window casings and sills;
- Craftsman-style features including: exterior wood shake cladding in ribbon coursing; horizontal wood lap siding along basement level; cobblestone verandah with concrete cap and shed roof; wood knee brackets and raftertails; and central shed dormer on front elevation;
- fenestration including: original single and double assembly window openings; original multi-light wood sash on rear elevation; and original door openings; and
- one internal brick chimney stack located on rear slope of roof.

## HERITAGE INVENTORY EVALUATION FORM

<b>Statement of Integrity</b>	Historic Place Name James Residence
-------------------------------	----------------------------------------

## Values Summary

- Valued for its Interwar contribution to the heritage landscape of the Lakeview neighbourhood.
- Valued for its Craftsman style architecture.
- Valued for its long-time owners and residents, the Gray-Owen family.

## Period of Significance

1920s

## Chronology of Alterations

## Unknown Dates:

- Addition of the dormer on rear roof slope.
- Removal of internal brick chimney stack on front roof slope.
- Removal and replacement of majority of original wood windows.
- Removal of verandah enclosure (enclosure may or may not have been original).
- Alteration of front façade within the verandah, changing front entryway and front window(s).
- Horizontal wood lap siding along basement mostly obscured by addition of faux-vertical board pattern vinyl siding below watertable.
- Installation of composite roof shingles.

## 2020

- Demolition of original circa 1912 cobblestone verandah and construction of replica in its place, presumably utilizing original stone units.

*Aspects of Integrity*

<b>1. LOCATION</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Location is the place where a building, structure or landscape was constructed or established or the place where an historic activity or event occurred.			
<b>2. DESIGN</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Design is the combination of elements that create the landscape or the form, scale, massing, plan, layout, and style of a building or structure.			
<b>3. ENVIRONMENT</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Environment is the physical setting of an historic place. Whereas location refers to a specific geographic coordinate, environment refers to the surrounding character of the place.			
<b>4. MATERIALS</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Materials are the physical elements that were combined or deposited during a particular period(s) or time frame and in a particular pattern or configuration to form an historic place.			
<b>5. WORKMANSHIP</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history. It is important because it can provide information about technological practices and aesthetic principles.			
<b>6. ASSOCIATION</b>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
Association is a direct link between an historic and a significant historical theme, activity or event, or an institution or person.			

*Statement of Integrity*

The James Residence maintains all the aspects of integrity necessary for it to convey its significance/heritage value(s).

## HERITAGE INVENTORY EVALUATION FORM

The James Residence retains a good degree of its historic fabric, especially its original wood shake ribbon course cladding. However, most of its original wood windows and window casings have been removed and replaced. Of particular note is the demolition of the original circa 1912 cobblestone verandah, which was associated with the former residence on this site and the Ritter family, as well as the noticeable alterations to the verandah area including the past removal of its enclosure, and alterations to the front façade of the residence, framing the front entryway and window. The house is unique as it was constructed several blocks away from the more intensive development which was occurring closer to Albert Street in the 1910s and 1920s, and remained on the periphery of the city for several decades before the post-Second World War suburbanization and development built-out the remainder of this historical neighbourhood.

- Foundation: Foundation was not observable. There is evidence of wood lap siding having been originally installed below the watertable, though vinyl siding is presently installed over top.
- Cladding: Wood shake cladding is in good condition.
- Roof: Composite roof shingles, while not original to the building, provide a faux-wood shingle aesthetic. Wood shingles would have presumably been the original roof material.
- Roof elements: Wood brackets, bargeboards, soffit, and raftertails appear to be in good condition, though there is paint deterioration noticeable on many of these elements.
- Windows: Almost all windows have been replaced, primarily with vinyl windows. Original wood casings and sills are still extant on the rear and south elevations, and there is one multi-light wood sash extant on the rear elevation.
- Doors: All original exterior doors have been removed and replaced. Door opening on front elevation may be original.
- Other: Internal brick chimney removed on the front roof slope. Internal chimney stack on rear roof slope is original, though brick cladding may not be original.

## HERITAGE INVENTORY EVALUATION FORM

Criteria of Integrity		Historic Place Name James Residence			
Criteria	Level of Heritage Significance				
	N/A	Low	Moderate	High	
1. The place is closely and meaningfully associated with one or more themes, events, periods of time, or cultural traditions considered important in the history of Regina. ( <i>Historic</i> )	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. The place is strongly associated with the life or work of a person, group of persons, or institution(s) of importance in Regina's history. ( <i>Historic</i> )	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
3. The place is important in demonstrating aesthetic characteristics and/or represents an important creative achievement in design, architecture, landscape architecture, planning, construction, materials, or technology. ( <i>Aesthetic, Architectural, Technical</i> )	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. The community, or a social or cultural group within the community, is deeply attached to the place for social, cultural, or spiritual reasons. ( <i>Social, Cultural, Spiritual</i> )	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
5. The place, by virtue of its location, its symbolism, or some other element, serves to communicate the heritage of Regina to a broad audience. ( <i>Landmark, Symbolism</i> )	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. The place could yield important information that will contribute to the understanding of Regina's past. ( <i>Scientific, Educational</i> )	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
7. The place possesses uncommon, rare or endangered aspects of Regina's cultural history. ( <i>Historic, Rarity</i> )	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. The place is important in the historic urban development of the neighbourhood or city. ( <i>Context, Landscape, Urban Context, Group Value</i> )	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Based on the above criteria, does the place merit inclusion on the Heritage Inventory? (at least 1 'High' or 4 'Moderate')	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
Does the place possess city-wide significance for any of the criteria listed above? If yes, please explain: •	<input checked="" type="checkbox"/> No (Result is GRADE 2)		<input type="checkbox"/> Yes (Result is GRADE 1)		
Does the place retain sufficient integrity to convey significance? If not, the place will not qualify.	<input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes		
<b>FINAL EVALUATION</b>	<input checked="" type="checkbox"/> Grade 2		<input type="checkbox"/> Grade 1		
Date Evaluated by City: N/A					
Date Approved by City: June 14, 2021					



## HERITAGE INVENTORY EVALUATION FORM

<b>Additional Images</b>	Historic Place Name James Residence
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**Caption:** Frederick Ritter and children out front of his home at 2506 McTavish Street. Note the cobblestone verandah. This house was moved in 1921, and the James Residence was constructed adjoining the verandah which was left in place.

**Date:** 1914

**Source:** Glenn Maddock

**Copyright:** Glenn Maddock



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Aerial view with the James Residence indicated.

**Date:** 1951

**Source:** City of Regina

**Copyright:** City of Regina

## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Keith Gray-Owen, son of Donald and Eileen Gray-Owen, outside of 2506 McTavish Street.

**Date:** 1959

**Source:** Keith Gray-Owen

**Copyright:** Keith Gray-Owen

## HERITAGE INVENTORY EVALUATION FORM



**Caption:** View of the James Residence with original circa 1912 cobblestone verandah.

**Date:** 2015

**Source:** Google Street View

**Copyright:** Google



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Construction of new cobblestone verandah by Brxton Masonry.

**Date:** November 2020

**Source:** Brxton Masonry (brxtonmasonry Instagram)

**Copyright:** Brxton Masonry



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Construction of new cobblestone verandah by Brxton Masonry.

**Date:** December 2020

**Source:** Brxton Masonry (brxtonmasonry Instagram)

**Copyright:** Brxton Masonry

## HERITAGE INVENTORY EVALUATION FORM



**Caption:** View of the front elevation of the James Residence with gable projection visible on south (left) elevation.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** View of the front elevation of the James Residence.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina

## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Detail of exposed portion of wood lapped siding at the southeast corner of the James Residence.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Detail of the cobblestone verandah constructed in 2020 with Indiana limestone caps.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina

## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Detail of the original shed dormer on the front elevation of the James Residence.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Partial view of the north elevation of the James Residence.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina

## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Partial view of the rear elevation of the James Residence.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina



## HERITAGE INVENTORY EVALUATION FORM



**Caption:** Partial view of the south elevation of the James Residence.

**Date:** March 1, 2021

**Source:** Donald Luxton & Associates

**Copyright:** City of Regina

# HERITAGE INVENTORY EVALUATION FORM

## EXPLANATORY NOTES

### Eligibility for inclusion the Heritage Inventory:

- Places must be at least 20 years old to be eligible for inclusion.
- Places include: buildings, structures, groups of buildings or structures, landscape features (gardens, but not individual trees unless commemorative), cultural landscapes, and engineering works.
- Excluded places include archaeological sites, individual trees unless commemorative, movable objects, and intangible heritage.

### Assessing Level of Heritage Significance:

Within each criterion, there should be a comparison of the place to similar places within the City of Regina in order to determine the relative merit of the place.

**CRITERIA 1** – This criterion assesses the place’s association with broad themes, events, periods of time and cultural traditions of local/civic history, including settlement patterns, economic growth/production, community development, cultural knowledge base and traditions, and government systems. The themes have been established in the City’s Thematic Framework and Historical Context document available on the City’s website.

#### ***N/A***

The place exhibits a limited connection to one or more of the identified city-wide historic themes or subthemes.

#### ***Low***

The place exhibits a recognizable connection to one or more of the identified city-wide historic themes or subthemes.

#### ***Moderate***

The place exhibits a significant connection to one or more of the identified city-wide historic themes or subthemes.

#### ***High***

The place exhibits a direct connection to one or more of the identified city-wide historic themes or subthemes and is an excellent, tangible expression of one or more of the themes/subthemes.

**CRITERIA 2** – This criterion assesses the place’s association with a particular person, group of people or institution(s), including the importance of the architect, builder, landscape architect, or planner.

#### ***N/A***

Little or no known historic association.

#### ***Low***

Connected with a person, social or cultural group, or institution that is of limited importance to the neighbourhood.

#### ***Moderate***

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the neighbourhood, or moderate importance to the city.

## HERITAGE INVENTORY EVALUATION FORM

### **High**

Closely connected with a person, social or cultural group, or institution that is of considerable importance to the city, province or nation.

**CRITERIA 3** – This criterion assesses the place’s architectural significance; its expression of style; its design details and features; its building materials; its method of construction; and its planning context.

### **N/A**

An average example of a style, type, design or technology that remains common in Regina.

### **Low**

A good example of a style, type, design or technology that is common in Regina or in a neighbourhood.

### **Moderate**

A very good example of a style, type, design or technology in Regina or in a neighbourhood, or a good example of a style, type or design that is notably early or rare in Regina or in a neighbourhood.

### **High**

An excellent example of a style, type, design or technology in Regina or one of few surviving and very good examples of a style, type, design or technology in Regina.

**CRITERIA 4** – This criterion assesses evidence of a strong/special association between the place and a particular community/cultural group.

### **N/A**

The place possesses limited social, cultural or spiritual value.

### **Low**

There is a weak social, cultural or spiritual connection between the place and a particular community/ cultural group.

### **Moderate**

There is a moderate social, cultural or spiritual connection between the place and a particular community/cultural group.

### **High**

There is a strong social, cultural or spiritual connection between the place and a particular community/cultural group.

**CRITERIA 5** – This criterion assesses the visual landmark status or cultural, spiritual or symbolic value of the place.

### **N/A**

A place of no landmark or symbolic significance.

## HERITAGE INVENTORY EVALUATION FORM

**Low**

A landmark in an immediate area or a place of symbolic importance to an immediate area.

**Moderate**

A major landmark within a neighbourhood or a place of symbolic importance to a neighbourhood.

**High**

A landmark of civic importance or a place of significant symbolic value to the city, province or nation.

**CRITERIA 6** – This criterion assesses the physical fabric, documentary evidence, or oral history relating to the place that could yield meaningful information about Regina’s cultural history.

**N/A**

The place is not able communicate the history of the immediate area, neighbourhood, or city.

**Low**

The place communicates (physically or through documented/oral evidence) an aspect or aspects of the immediate area’s history.

**Moderate**

The place communicates (physically or through documented/oral evidence) an aspect or aspects of history on a neighbourhood scale.

**High**

The place directly communicates (physically or through documented/oral evidence) an aspect or aspects integral to the historic or cultural development of Regina, or is of provincial or national importance.

**CRITERIA 7** – This criterion assesses how rare or uncommon the place is within Regina, or whether it is among a small number of extant places that demonstrate an important style, phase, event, etc.

**N/A**

There are a significant number of similar places.

**Low**

The place demonstrates an uncommon, rare or endangered aspect of the immediate area’s cultural history.

**Moderate**

The place demonstrates an uncommon, rare or endangered aspect of the neighbourhood’s cultural history.

**High**

The place demonstrates an uncommon, rare or endangered aspect of the city’s cultural history.



## HERITAGE INVENTORY EVALUATION FORM

**CRITERIA 8** – This criterion assesses the significance of the place (building, landscape, urban context) within the historic urban development of the neighbourhood and/or city, including its place within a group of similar buildings, landscapes, or cultural landscapes.

***N/A***

A place with little evidence of a recognizable historic pattern.

***Low***

A place that provides some evidence of an historic pattern of importance for the immediate area.

***Moderate***

A place that can be directly linked to the establishment of an historic pattern of neighbourhood importance.

***High***

A place that can be directly linked to the establishment of an historic pattern of civic importance.

**BASED ON THE EIGHT CRITERIA, THE PLACE MERITS INCLUSION ON REGINA'S HERITAGE INVENTORY  
WITH AT LEAST 1 'HIGH' RATING OR AT LEAST 4 'MODERATE' RATINGS**

**THRESHOLDS**

***Ranking:*** If a place demonstrates exceptional or outstanding qualities for any of the criteria (obtaining a 'High' level), it would be considered a Grade 1 place with city-wide significance, whereas a place that does not obtain a 'High' level ranking in any of the criteria would be considered a Grade 2 place with neighbourhood-wide significance.

***Integrity:*** This refers to the degree to which the heritage values of the place are still evident/authentic, and can be understood and appreciated (for example, the degree to which the original design or use of a place can still be discerned). This includes authenticity of materials, technology and design. If considerable change to the place has occurred, the significant values may not be readily identifiable. Changes that are reversible are not considered to affect integrity. In the City of Regina, degree of integrity is evaluated by a Statement of Integrity, included in this evaluation.



P: 306.536.4247  
247 Angus Crescent  
Regina SK S4P 3A3  
P.O. Box 581

info@heritageregina.ca | heritageregina.ca  
facebook.com/heritageregina

October 14, 2021

Femi Adegeye  
Senior City Planner  
Parks, Recreation and Cultural Services Department  
City Planning and Community Development Division,  
City of Regina

Dear Femi,

**Re: Application for Municipal Heritage Property Designation - 2506 McTavish St.**

Heritage Regina fully supports a Municipal Heritage Property Designation for the James Residence, 2506 McTavish Street. We see the designation of this property as an important contribution to the goal of sustaining our city's heritage for present and future generations.

The James Residence was originally constructed in 1922 off the remains of another historic home the Ritter Residence. This home represents the fortitude of several owners to maintain the heritage character of a building and the neighborhood in which it resides. The James Residence boasts a Craftsman style of architecture that remains as popular now as it did at its height of its popularity in the 1910s.

This property is also notable for its long association with a small number of families over the life of this residence who chose to maintain this modest home and ensure that its character and period design features would sustain for generations.

By protecting the James Residence through a heritage designation, we provide a tangible way for members of the public to support heritage appreciation, and to develop an appreciation for, the rich cultural heritage of our city.

On behalf of the Heritage Regina Board of Directors, I am pleased to support a Municipal Heritage Property Designation for the James Residence.

Sincerely,

Jackie Schmidt, President



14 October, 2021

Dear Members of the City of Regina Architectural Heritage Committee:

The Architectural Heritage Society of Saskatchewan supports the Heritage designation of the modest house at 2506 McTavish Street.

When the original Ritter house was relocated to 2810 Albert in 1921 (now occupied by Harry & Virginia Jedlic), this more modest house was built onto the handsome cobble-stone verandah, which had remained in place.

The James Residence, an inter-war construction with wood-frame construction with wood shake and lap cladding, incorporated the original cobble-stone verandah, demonstrating an early 20th Century example of adaptive reuse, in a spirit of prairie thrift and practicality.



This sat alone in its 1920s subdivision until the 1950s, when, during the postwar boom, the River Heights mid-century houses began to fill the neighbourhood.

We encourage the City of Regina to designate 2506 McTavish Street, a site of architectural, historical, cultural, and aesthetic value, because it is an early example of the prairie vernacular of adaptive reuse. As this property transitioned from a grand to a more humble abode, it respected the history, craftsmanship, and labour of building with local field stones, and understood the importance of re-using what we had, and not wasting the embodied energy of our (hand)built environment. This early ecological stance is to be admired.

Yours sincerely,

Jeannie Mah  
for Rod Stutt, Frank Korvemaker, Brian Bell, Al Gill

14 October, 2021



2506 McTavish Street, Regina



2810 Albert Street, Regina





## Official Community Plan Amendment & Zoning Bylaw Amendment - 3005 Saskatchewan Drive- PL202100161

Date	December 1, 2021
To	Regina Planning Commission
From	City Planning & Community Development
Service Area	Planning & Development Services
Item No.	RPC21-68

### RECOMMENDATION

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Regina Planning Commission recommends that City Council:

1. Amend *Design Regina: The Official Community Plan Bylaw No. 2013-48* by adding an exemption to Policy 17 in the OCP Part B.6 *Cathedral Area Neighbourhood Plan* to allow for mixed-use at 3005 Saskatchewan Drive.
2. Rezone the property located at 3005 Saskatchewan Drive, being Lot 25, Block 316, Plan 99RA11005, in the OLD33 Subdivision, from IL – Light Industrial Zone to MH – Mixed High-Rise Zone.
3. Instruct the City Solicitor to prepare the necessary bylaw(s) to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of these recommendations and the required public notice.
4. Approve these recommendations at its meeting on December 8, 2021.

### ISSUE

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Lofty Heights Christian Centre (Applicant) and ICO Property Holdings Inc. (Owner) propose to rezone the subject property at 3005 Saskatchewan Drive from IL – Light Industrial Zone to MH – Mixed High-Rise Zone to facilitate development of an “Assembly, Religious” land

use (church). The subject property is located within the Cathedral neighbourhood. The property is currently zoned as IL-Light Industrial Zone, in which a church land use is a prohibited use.

Current policies within the Cathedral Area Neighborhood Plan (*Design Regina: The Official Community Plan Bylaw No. 2013-48* – Part B.6) identify this location for light industrial land use; therefore, to facilitate the proposed rezoning an amendment to Section 6 of the Cathedral Area Neighbourhood Plan is required.

Property owners can submit applications to change the zoning designation of their property. This application requires an amendment to *Design Regina: The Official Community Plan Bylaw No. 2013-48* (OCP) and the *Regina Zoning Bylaw 2019-19* (Zoning Bylaw), both of which require review by Regina Planning Commission (RPC) and approval by City Council. These applications include a public and technical review process in advance of consideration by RPC and Council.

This application is being considered pursuant to *The Planning and Development Act, 2007* (Act); the OCP and Zoning Bylaw. The proposal has been assessed and is deemed to comply with the Act, OCP (Parts A and B.6) and the Zoning Bylaw.

## IMPACTS

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### Financial Impacts

The subject area currently receives a full range of municipal services, including water, sewer and storm drainage. The applicant will be responsible for the cost of any new, or changes to existing, infrastructure that may be required to directly or indirectly support any proposed development that may follow, in accordance with City of Regina (City) standards and applicable legal requirements.

### Environmental Impact

City Council set a community goal for the City of Regina of achieving net-zero emissions and sourcing of net-zero renewable energy by 2050. In support of this goal, City Council asked Administration to provide energy and greenhouse gas implications of recommendations so that Council can evaluate the climate impacts of its decisions. The use of an existing facility for the proposed development eliminates greenhouse gas emissions (GHG) generated from the construction of a new building.

### Policy/Strategic Impact

The proposed development complies with OCP – Part A policies and is consistent with the following OCP – Part A goals/ policies:

- Section D5, Goal 2, Policy 7.7; 7.7.4: Collaborate with stakeholders to enhance the City Centre by: Supporting the development of a mixed- use environment, with



design and density emphasis adjacent to major corridors and public spaces.

The proposed development contributes to a diversity of land uses along Saskatchewan Drive.

- Section D5, Goal 2, Policy 7.9: Explore actions necessary to convert vacant or underutilized properties to market-ready development sites to realize intensification in the CITY CENTRE.

This property is located within the City Centre and adaptive re-use of the space contributes to a mixed-use environment.

## **OTHER OPTIONS**

---

Alternative options would be:

1. Refer the application back to Administration. If City Council has specific concerns with the proposal, it may refer it back to Administration for further review.
2. Deny the application and the subject property would remain zoned IL – Light Industrial Zone.

## **COMMUNICATIONS**

---

The applicant and other interested parties will receive a copy of the report and notification of their right to appear as a delegation at the Council meeting when the application will be considered. Public notice of City Council's consideration of this application will also be given in accordance with *The Public Notice Policy Bylaw, 2020*. The Applicant will receive written notification of City Council's decision.

## **DISCUSSION**

---

### **Proposal**

The applicant proposes to rezone the subject property to MH – Mixed High Rise Zone to allow for property to be redeveloped as a church. The current zoning IL – Light Industrial Zone prohibits the proposed land use. A church is a permitted use in the MH – Mixed High Rise Zone, therefore if the amendments are approved, the Administration would consider details of the proposal through the standard development permit and building permit process, however, the applicant has submitted plans for reference.

The building is currently being used as a "Retail Trade, Shop" and "Storage, Warehouse" by the property owner, ICO Bath Supply. The existing business intends to relocate to the Ross

Industrial Park.

Minor changes to the subject property are intended to bring the parking layout to current standards

### **Considerations**

The land-use and zoning details of this proposal are summarized in the following tables:

<b>Land Use Details</b>	<b>Existing</b>	<b>Proposed</b>
Zoning	IL – Light Industrial Zone	MH – Mixed High-Rise Zone
Land Use	“Retail Trade, Shop” “Storage, Warehouse”	“Assembly, Religious”
<b>Zoning Analysis</b>	<b>Required</b>	<b>Existing</b>
Min. Lot Area (m <sup>2</sup> )	250	1,527
Lot Frontage (min)	6.0	28.5
Front Setback (min)	3.0	7.2
Rear Yard Setback (min)	0	1.8
Maximum Lot Coverage (max)	65%	48.6%
Maximum FAR (max)	3	0.49
Maximum Height (max)	15.0	6.6
Number of Parking Stalls	10	12

Other aspects of the proposed development conform with the Zoning Bylaw. The surrounding land uses are mixed commercial to the west, low-density residential to the south, vacant land to the east, and parking, Saskatchewan Drive, and the CP Rail corridor to the north.

In accordance with the application standards for the MH – Mixed High Rise Zone, this zone is to (a) provide for intensification while ensuring compatibility with the surrounding uses; or (b) have good visibility and accessibility along non-local streets. The MH – Mixed High Rise Zone is commonly applied to properties along major corridors such as Albert Street and Victoria Avenue, and which abut a residential zone or land use. Therefore, this zone is appropriate for the subject property.

### **Cathedral Neighbourhood Plan Amendment**

To consider the proposed rezoning to the MH - Mixed High-Rise Zone an amendment to the Cathedral Area Neighbourhood Plan (OCP) is required, as the plan limits land-use of the subject properties to light industrial. The amendment is considered appropriate as the proposed use and rezoning aligns with current development trends along this segment of the Saskatchewan Drive corridor and aligns with the OCP – Part A, which supports the enhancement and diversification of land use of the City Centre. Although each application is

unique, and considered on its own merits, similar applications to rezone properties from IL to MH were approved along Saskatchewan Drive at 1550 Saskatchewan Drive (CR20-13) and at 3405 & 3431 Saskatchewan Drive (CR20-97).

The subject property is part of a study area for the Saskatchewan Drive Corridor Plan, a project that is currently underway. One goal of the study is to develop a land-use strategy for the properties along Saskatchewan Drive Corridor. The Cathedral Area Neighbourhood Plan, which was developed in the late 1980's, is also planned to be reviewed and updated as part of the Neighbourhood Plan Program and work is tentatively scheduled for 2024. These planning process will consider the future land uses based on current needs and conditions.

### **Community Engagement**

In accordance with the public notice requirements of *The Public Notice Policy Bylaw, 2020*, neighbouring property owners within 75 metres of the proposed development received written notice of the application. The Cathedral Area Community Association was contacted and responded in support. Two neighbours responded in favour.

### **DECISION HISTORY**

---

City Council's approval is required pursuant to Part V of *The Planning and Development Act, 2007*.

Respectfully Submitted,

Respectfully Submitted,



Autumn Dawson, A/Executive Director

11/17/2021



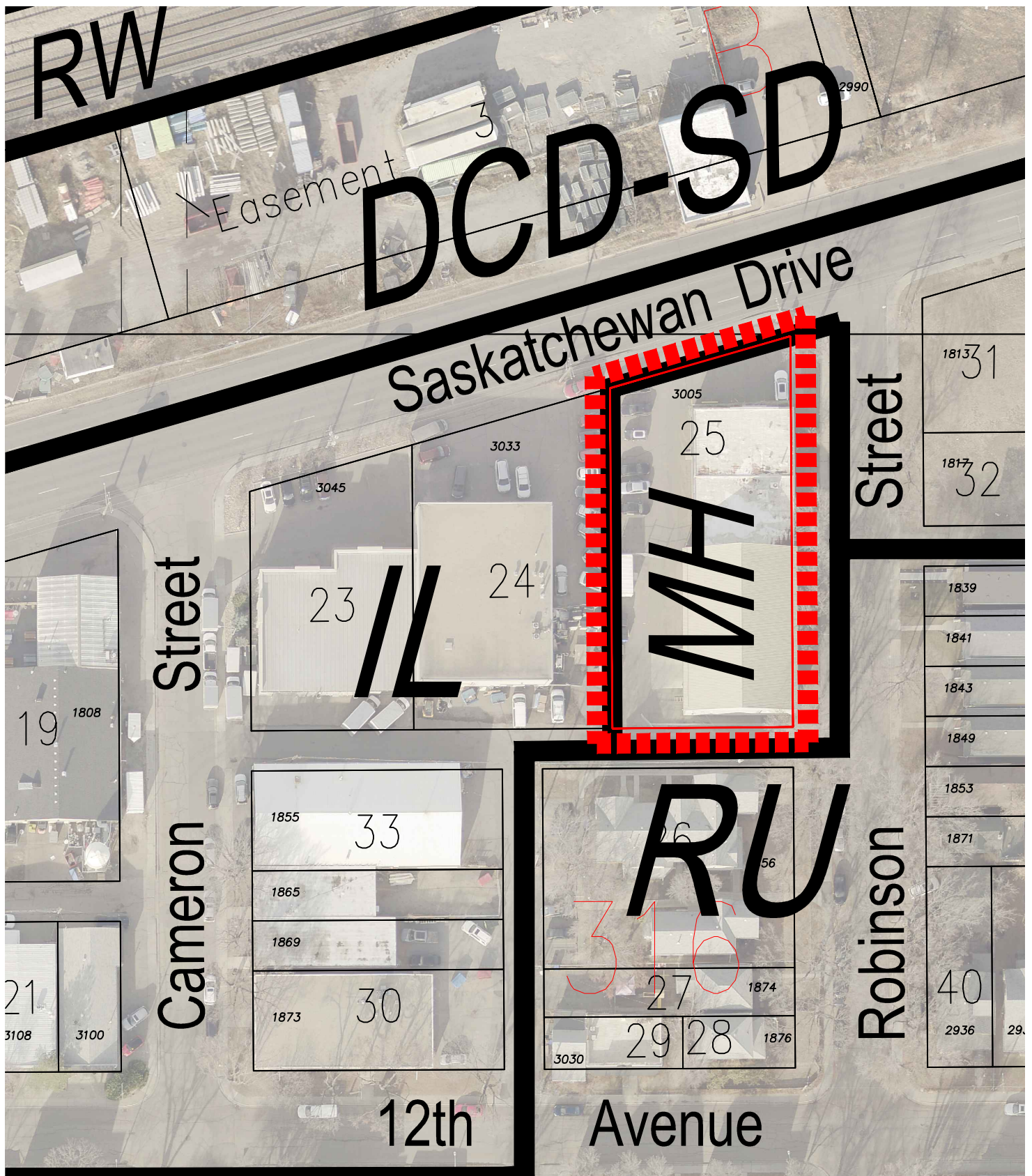
Diana Hawryluk, Executive Director, City Planning & Community Dev.

11/24/2021

Prepared by: Michael Sliva, City Planner II

### **ATTACHMENTS**

Appendix A-1  
Appendix A-2  
Appendix A-3



Date of Photography : 2020



Subject Property







Date of Photography: 2020

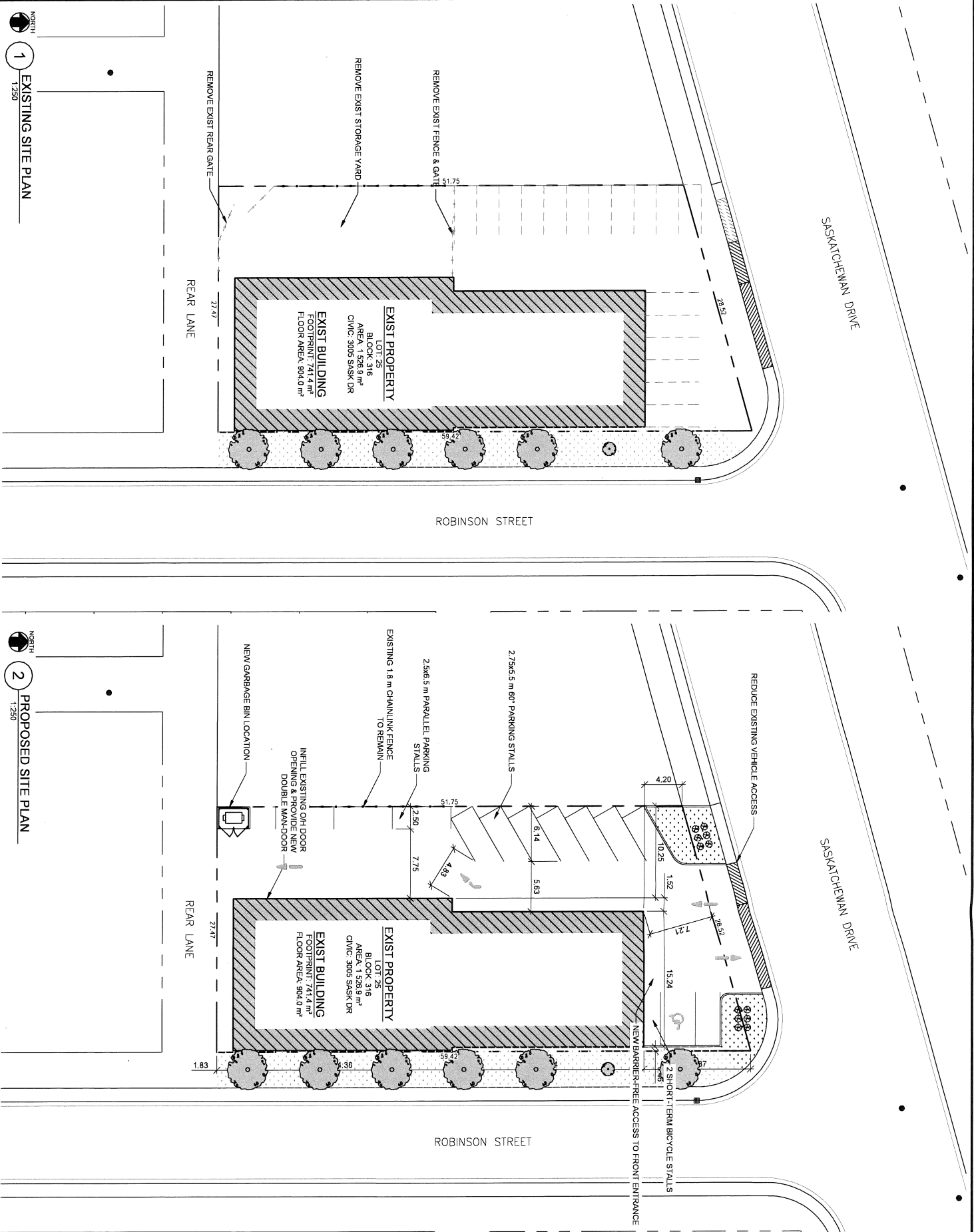


Subject Property



Heritage





CITY OF REGINA ZONING - 3005 SASKATCHEWAN DRIVE

EXISTING ZONE:  
PROPOSED ZONE:  
PROPOSED USE:  
ZONING NOTES:  
MAJOR CONTRACT ZONING APPLICATION REQUIRED. PROPOSED USE IS PERMITTED WITHIN THE MH ZONE IF THE GROSS FLOOR AREA IS LESS THAN 3 000 m²

IL (INDUSTRIAL LIGHT RISE)  
MH (MAJOR USE - HIGH RISE)  
ASSEMBLY, RELIGIOUS

PROPOSED MH ZONING REQUIREMENTS

MINIMUM SITE AREA	REQUIRED	PROVIDED (±)
MINIMUM FRONTAGE	290 m²	1 526.9 m²
MINIMUM FRONT YARD SETBACK	6.0 m	28.5 m
MINIMUM REAR YARD SETBACK	3.0 m	7.2 m
MINIMUM SIDE YARD SETBACK	-	1.8 m
MAXIMUM SITE COVERAGE	65.0%	0.15 m
MAXIMUM FLOOR AREA RATIO	3.0	48.6%
MAXIMUM BUILDING HEIGHT:	15.0 m	0.6

PARKING REQUIREMENTS

ASSEMBLY, RELIGIOUS	REQUIRED	PROVIDED
FIRST 150.0 m² OF G.F.A. (0)	-	-
REMAINDER OF G.F.A. (1/75 m²)	10.0	12
TOTALS	10.0	12
BARRIER-FREE PARKING STALLS (2.0% MIN)	0.2	1
LOADING SPACES	-	-
BICYCLE PARKING STALLS	-	-
LONG-TERM STALLS (0.5/10 VEHICLE STALLS), or SHORT-TERM STALLS (2/10 VEHICLE STALLS)	0.5 2.0	- 2

LANDSCAPING REQUIREMENTS

MINIMUM SITE LANDSCAPING (10%)	REQUIRED	PROVIDED
MINIMUM TREES (1 per 40m²)	152.7 m²	319.8 m²
MINIMUM SHRUBS (1 per 20m²)	3.8	6
PERIMETER SCREENING AT PARKING	7.6	12
PARKING AREA LANDSCAPING (10%)	YES	YES

NBCC 2015 - 3005 SASKATCHEWAN DRIVE

SECTION 3.1 - GENERAL

BUILDING AREA

3.1.2.1 (1) BASEMENT AREA	741.4 m² (7 880 ft²)
3.1.2.1 (1) OCCUPANCIES	162.6 m² (533 ft²)
3.1.10.1 FIREWALL	GROUP A-2
3.1.17 OCCUPANT LOAD	NONE
	10 STAFF
	SANCTUARY (PUBLIC): 200 (BASED ON INFORMATION PROVIDED BY LHCC)

SECTION 3.2 - BUILDING FIRE SAFETY

3.2.1.1 (1) BASEMENT FLOOR REQUIRES 45 mm FR

3.2.1.1 (1) BASEMENT FLOOR REQUIRES 45 mm FR

3.2.2.8 GROUP D OCCUPANCY NOT CONSIDERED A MAJOR OCCUPANCY

3.2.2.10 (4) BUILDING CONSIDERED TO BE FACING 2 STREETS

3.2.2.25 GROUP A-2 (1 STOREY, 2 000 m² MAX)

CONSTRUCTION: COMBUSTIBLE (C.C.) or NON COMBUSTIBLE (N.C.)

ROOF ASSEMBLIES: 45 mm FR if C.C.

MEZZANINE ASSEMBLIES: 45 mm FR if C.C.

LOAD BEARING SUPPORTS: 45 mm FR or N.C.

3.2.3 - SPATIAL SEPARATION & EXPOSURE PROTECTION

3.2.3.1 - UNPROTECTED OPENINGS ALLOWED

BUILDING	OCCUPANCY	A-2	
FACE	LIMITING RATIO	118.9 ±	
WEST	51	10.2	
	% UNPROTECTED OPENINGS ALLOWED	80%	
	% UNPROTECTED OPENINGS PROPOSED	5%	

3.2.3.7 - WALL CONSTRUCTION REQUIREMENTS (GROUPS A, B, C, D or F-3)

UNPROTECTED OPENINGS	MINIMUM FR	CONSTRUCTION	CLADDING
ALLOWED IN BLDG FACE (%)	45 mm	REQUIRED	TYPE
	> 90 - 100	C.C. or N.C.	C.C. or N.C.

3.2.4 - FIRE ALARM & DETECTION SYSTEMS

3.2.4.1 (1) FIRE ALARM SYSTEM IS NOT REQUIRED (OCCUPANCY < 300)

3.2.5 - PROVISIONS FOR FIRE FIGHTING

3.2.5.2 (1) DIRECT FIRE FIGHTING ACCESS TO BASEMENT IS NOT REQUIRED

3.2.5.3 STANDPIPE SYSTEM NOT REQUIRED

3.2.5.6 PORTABLE FIRE EXTINGUISHERS REQUIRED (COMPLIANT w/NFC)

3.2.6 - ADDITIONAL REQUIREMENTS FOR TALL BUILDINGS

3.2.6.1 (1) SECTION NOT APPLICABLE

3.2.7 - EMERGENCY LIGHTING

3.2.7.3 (1) EMERGENCY LIGHTING IS REQUIRED

SECTION 3.3 - SAFETY WITHIN FLOOR AREAS

3.3.1.5 (1) BASEMENT IS REQUIRED TO BE 150 mm OR LESS (160 ± mm CURRENTLY) TO BE SERVED BY A SINGLE MEANS OF EGRESS

3.3.1.11 (1) EGRESS DOORS REQUIRED TO SWING IN DIRECTION OF TRAVEL

3.3.2.3 (1) SEATING TO CONFORM WITH NFC

SECTION 3.4 - EXITS

3.4.2.1 (1) BASEMENT IS REQUIRED TO BE 150 mm OR LESS (160 ± mm CURRENTLY) TO BE SERVED BY A SINGLE MEANS OF EGRESS

3.4.2.5 (1) MINIMUM EXIT WIDTH REQUIRED (BASED ON 3.1.17.1 OCCUPANT, 2 EXITS FROM SANCTUARY)

3.4.4.1 (1) BASEMENT EXIT STAIR REQUIRES 45 mm FR

3.4.5.1 (1) EXIT SIGNS REQUIRED

SECTION 3.7 - HEALTH REQUIREMENTS

ARTICLE 3.7.22 - WATER CLOSETS

FLOOR SUITE	OCCUPANCY	OCCUPANT	MALE	WOMEN
AREA	REQUIRED	REQUIRED	PROVIDED	PROVIDED
SANCTUARY	A-2	200	2	4
			T.A.D.	T.A.D.

PRIME CONSULTANT

**WALKER PROJECTS**

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155 - 1637 Albert Street, Regina, Saskatchewan S4P 3S5  
Telephone (306) 322-9434 Fax (306) 322-9433  
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Association of Professional Engineers & Geoscientists of Saskatchewan

CERTIFICATE OF AUTHORIZATION

Walker Projects Inc.  
Number C793

Permitted to be used by:  
SKE CONSULTING

Drawn by: SKE Reg No. 65584  
Checked by: SKE Reg No. 65584

PRELIMINARY ONLY  
NOT FOR CONSTRUCTION

DRAWING REVISION RECORD	

REV	DESCRIPTION	DATE
1	RE-ISSUED FOR ZONING APPLICATION	2021-08-31
0	FOR ZONING APPLICATION	2021-07-21

DRAWING TITLE

**PROPOSED REDEVELOPMENT PLAN**

PROJECT

**LHCC - PROPOSED CHURCH REZONING APPLICATION**

CLIENT

**3005 SASKATCHEWAN DRIVE, REGINA, SASKATCHEWAN**

**LOFTY HEIGHTS CHRISTIAN CENTER**

DRAWN BY	DESIGNED BY	CHECKED BY	REVISION NO.
ADR	TKW	TKW	0
PROJECT NO.	20210115	DRAWING NO.	P-1





## **Zoning Bylaw Amendment and Discretionary Use Application - 1700 & 1734 Elphinstone Street - PL202100139 & PL202100140**

<b>Date</b>	December 1, 2021
<b>To</b>	Regina Planning Commission
<b>From</b>	City Planning & Community Development
<b>Service Area</b>	Planning & Development Services
<b>Item No.</b>	RPC21-69

### **RECOMMENDATION**

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Regina Planning Commission recommends that City Council:

1. Approve the application to add a new Regina Exhibition Grounds Direct Control District (DCD-RExG) to *The Regina Zoning Bylaw, 2019* (Zoning Bylaw) and rezone the properties at 1700 Elphinstone Street and 1734 Elphinstone Street, legally described below, and known historically as the Regina Exhibition Grounds including the stadium, from PS – Public Service Zone to DCD-RExG:
  - Blk/Par H, Plan No. 14513, Extension 1;
  - Blk/Par FF, Plan No. 84R29489, Extension 1;
  - Blk/Par K, Plan No. DV4404, Extension 0;
  - Blk/Par T, Plan No. 102121311, Extension 2; and
  - Blk/Par W, Plan No. 102254622, Extension 0.
2. Approve zoning amendments related to DCD-RExG as described in Appendix A-2.1.
3. Approve the discretionary use application for a proposed development of “Industry, Food & Beverage” (distillery/brewery) located at 1700 Elphinstone, being legally described as Block/Parcel: H, Plan No. 14513, Extension 1 subject to compliance with the following development standards and conditions:
  - a. the development shall be generally consistent with the plans attached to this report as

Appendix A-3.1 to Appendix A-3.10 dated May 4, 2021, prepared by TBD Architecture and Urban Planning; and

- b. except as otherwise required by this approval, the development shall comply with all applicable standards and regulations in *The Regina Zoning Bylaw, 2019*.
4. Authorize the Development Officer to issue a development permit with respect to the application, upon the applicant making payment of any applicable fees or charges and entering into a development agreement if one is required.
5. Instruct the City Solicitor to prepare the necessary bylaws to give effect to the recommendations, to be brought forward to the meeting of City Council following approval of the recommendations and the required public notice.
6. Approve these recommendations at its meeting on December 8, 2021.

## ISSUE

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The Applicants, Regina Exhibition Association Limited (REAL) and TBD Architecture + Urban Design, with the consent of the City of Regina as the landowner, propose to rezone the subject property, historically referred to as the Regina Exhibition Grounds and more recently known as the REAL Campus, from PS – Public Service Zone to a new Regina Exhibition Grounds Direct Control District or DCD-RExG within the Zoning Bylaw. Concurrently with the zoning amendment application, the Applicants propose to develop a distillery/brewery, which would be considered a discretionary use within the proposed DCD under the land use classification of “Industry, Food & Beverage.” The discretionary use proposal also includes a restaurant and other accessory uses that are permitted within the zone.

A property owner or developer can submit applications to amend the Zoning Bylaw or change their property’s zoning designation. All properties in the City of Regina are assigned a zoning designation under *The Regina Zoning Bylaw, 2019* (Zoning Bylaw). Within each zoning designation, land use can be permitted, prohibited or discretionary. Discretionary use applications require a public and technical review, consideration and recommendation by the Regina Planning Commission and consideration and approval by City Council to proceed. As a note, this application was submitted before September 1, 2021, when Bylaw No. 2021-44, delegating authority of discretionary use decisions to the Development Officer, took effect.

These applications are being considered pursuant to *The Planning and Development Act, 2007* (The Act); *Design Regina: The Official Community Plan Bylaw No. 2013-48* (OCP) and the Zoning Bylaw, including suitability based on the prescribed evaluation criteria for discretionary uses established in Part IE.3. The proposed discretionary use has been assessed and is deemed to comply with all applicable policies, regulations and standards.

Pursuant to subsection 56(3) of The Act, City Council may establish conditions for discretionary

uses based on the nature of the proposal (e.g., site, size, shape arrangement of buildings) and other aspects of site design.

## **IMPACTS**

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### **Financial Impact**

The Applicants will be responsible for the cost of any new or changes to existing infrastructure that may be required to directly or indirectly support any proposed development that may follow, in accordance with City standards and applicable legal requirements.

### **Accessibility Impact**

The proposed DCD-RExG proposes a minimum of two per cent of the total parking stalls developed shall be provided in the form of accessible parking stalls for the Entertainment District Policy Area where all future development is expected, which is consistent throughout the Zoning Bylaw.

The proposed discretionary use development plans to utilize 30 of the existing 412 shared parking stalls for the proposed development, which requires at least one stall to be dedicated as accessible parking stalls. The required accessible stall is provided near the main entrance of the proposed development.

### **Environmental Impact**

City Council set a community goal for the City of Regina of achieving net zero emissions and sourcing of net zero renewable energy by 2050. In support of this goal, City Council asked Administration to provide energy and greenhouse gas implications of recommendations so that Council can evaluate the climate impacts of its decisions.

The act of incorporating a new zoning designation in the Zoning Bylaw and associated amendments have limited direct impact on energy consumption greenhouse (GHG) emissions. However, the use of an existing facility for the proposed distillery/brewery development eliminates greenhouse gas emissions generated from the construction of a new building and the intensification of an established area of the city will encourage active transportation and utilize existing land and infrastructure more efficiently.

### **Engineering/ Infrastructure Impact**

There are no major concerns with infrastructure servicing of the proposed distillery/brewery development as there is sufficient infrastructure to service the development that is fully contained within an existing building. REAL will be required to prepare more detailed servicing reports for future new stand-alone developments on the site, such as the future hotel development or redevelopments of existing buildings that intensify the use.

REAL is also responsible, through a separate process related to the master lease between REAL and the City of Regina, for preparing servicing reports for the overall site, in support of a master site

plan prepared by REAL to the City's satisfaction, and which are based on a full build-out scenario of the site to ensure all infrastructure is sized accordingly.

### **Policy/ Strategic Impacts**

The recommendations of this report are consistent with the following policies or sections from *Design Regina: The Official Community Plan Bylaw No. 2013-48* (OCP):

- Section D5, Goal 2 – City Centre: Maintain and enhance the City Centre as the primary civic and cultural hub.

City Council amended the OCP through bylaw 2021-40 to expand the City Centre boundaries to include the subject property. DCD-RExG was drafted to align with the OCP policies related to the City Centre, such as supporting the subject site as a mixed-use hub for cultural and entertainment activities.

- 12.2 Minimize regulatory barriers to economic growth to the greatest possible extent while balancing the needs and aspirations of all Regina residents, fee-and taxpayers, and the city's sustainability.
- 12.5.1 Identifying and leveraging opportunities to expand existing industries.
- 12.5.2 Identifying and encouraging the development of new economic opportunities.

The recommendations support the above OCP policies to foster and expand economic opportunities for both the proposed distillery/brewery and rezoning of the overall site to allow a mix of uses. The establishment of the new DCD provides clear regulated processes for future development on the site.

The proposed DCD and discretionary use are also consistent with the preliminary Master Site Plan that is pending Council's approval and is consistent with the City Centre Core Framework, which was approved by City Council and signed by the members of the Framework.

### **OTHER OPTIONS**

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1. Approve the applications for a zoning amendment and discretionary use with specific amendments to either/ or both the DCD and distillery/brewery plan.
2. Approve the zoning amendment only for the DCD and deny the discretionary use application.  
Note: the opposite situation to approve the discretionary use while denying the zoning amendment is not possible since the use is not contemplated in the PS zone. If Council defeats or does not move a recommendation to approve (with or without conditions) the discretionary use application, Council must consider an alternate motion to reject the



application. The motion must also include the reasons for the denial based on the discretionary use evaluation criteria.

3. Refer the application back to Administration. If City Council has specific concerns with the proposal, it may refer the application back to Administration to address or make additional recommendations and direct that the report be reconsidered by Regina Planning Commission or brought directly back to Council following such further review. Referral of the report back to Administration will delay approval of the development until the requested information has been gathered or changes to the proposal have been made.
4. Deny the application(s). The proposed development will not proceed on the subject property if City Council rejects the application(s) and future development be limited only to permitted or discretionary uses allowable within the PS zone. This will preclude much of the commercial development proposed by REAL in its Strategic Plan for the Campus. If Council defeats or does not move a recommendation to approve (with or without conditions), Council must consider an alternate motion to reject the application.

## **COMMUNICATIONS**

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The Applicants and other interested parties, such as the Regina Downtown and Warehouse District Business Improvement Districts, have received a copy of the report and notification of their right to appear as a delegation at Regina Planning Commission or the Council meeting when the application will be considered. Public notice of City Council's consideration of this application will also be given in accordance with *The Public Notice Policy Bylaw, 2020*. The Applicants will receive written notification of City Council's decision.

## **DISCUSSION**

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### **Proposed Zoning**

Traditionally known as the Regina Exhibition Grounds, the subject site is bound by 9th, and 10<sup>th</sup> Avenues to the north, McTavish Street and Elphinstone Street to the east, Lewvan Drive to the west, and the Canadian Pacific Railway (CPR) mainline to the south (Appendix A-1). Surrounding land uses include the Pasqua Hospital and hotel to the north, residential to the west, southeast and northeast, the Lawson Aquatic Centre to the east and the CPR rail corridor to the south.

The current PS – Public Service zoning of the site has served the subject property well historically as a community hub for sports, recreation and outdoor events like Canadian Western Agribition and Queen City Exhibition. Moving forward, the PS zone does not permit some of the uses being envisioned by REAL in their more recent strategic and master planning, such as additional commercial opportunities and other supporting uses that enhance the sites as a hub for events, entertainment, recreation, and tourism. Amendments to the PS zone to allow for additional commercial/ mixed-use is not recommended as changes would then apply beyond this particular

site. Further, there are no existing conventional zones in the Zoning Bylaw that would be an appropriate fit for REAL's current or planned development in their strategic plan and preliminary master site plan. The unique nature of the site as a hub for recreation, entertainment and tourism is not intended to be duplicated elsewhere in the city. The site is managed and developed by a single entity, given authority by City Council, rather than subdivided and sold to third parties. For these reasons Administration recommends a site specific new Direct Control District (DCD), as set out in Appendix A-2 by considered by Council.

The proposed DCD-RExG is divided into the three policy districts shown in Figure 6H.F1 below and in the draft DCD.



**Figure 6H.F1: Regina Exhibition Grounds Direct Control District Land Use Area Map**

The current PS zone includes regulations concerning Mosaic Stadium and Confederation Park that will be moved to DCD-RExG. Administration is not anticipating any development on these sites, so

the regulations pertaining to them have remained largely unchanged. The focus of drafting the new DCD was on the development of regulations for the Entertainment District Policy Area where REAL's future development will occur.

The zoning regulations for DCD-RExG were drafted by Administration, in consultation with the Applicants, with the following considerations:

- Alignment with OCP policies, particularly those related to the City Centre as the subject site now forms part of the City Centre.
- Alignment with the City Centre Core Framework, which provides a collective vision between the City of Regina, REAL, the Regina Downtown Business Improvement District (RDBID) and the Regina Warehouse Business Improvement District (RWBID) "for coordinated processes, complementary land uses, and the infrastructure required to support and connect development in the land areas making up City Centre Core." The Framework includes a table of land uses, agreed upon by the members, that are considered "Core/Permitted," "Context/Discretionary," and "Non-Core/Prohibited" for each sub-area of the City Centre Core. The land uses identified in the Framework for the REAL lands and facilities formed the basis for the permitted and discretionary uses in DCD-RExG.
- Alignment with REAL's preliminary master site plans that have been shared for the purposes of these applications, but which remain subject to future Council approval and expected to come forward in 2022 (see master site plan options in Appendix A-4). Note: future revisions to the DCD may be required once the Master Site Plan is approved by Council; however, the proposed DCD is generally consistent with REAL's strategic plans and would accommodate the types of development proposed by the preliminary master site plans and the approved leases by City Council.
- Other site considerations such as proximity to the Canadian Pacific mainline.

### **Proposed Discretionary Use**

Within the City Centre Core Framework, a distillery or brewery is identified as a "Context/Discretionary" land use, which has been incorporated into the draft DCD (see Appendix A-2). The Applicants propose to redevelop the existing Agribition Building attached to the Brandt Centre to the west, and as shown on Appendix A-3.1 to Appendix A-3.10, into a distillery/brewery, classified as 'Industry, Food & Beverage' in the Zoning Bylaw, and a restaurant, classified as 'Food & Beverage, Lounge' in the Zoning Bylaw which is considered a "Core/Permitted" land use in the Framework and the proposed zone.

Land Use Details	Existing	Proposed
Zoning	PS – Public Service	Included in new zone proposal - DCD-RExG – Regina Exhibition Grounds Direct Control District
Land Use (see Table 6H.T2a in Appendix A-2)	Vacant – occasional venue for events	Principal Uses: <ul style="list-style-type: none"> <li>Discretionary - Industry, Food &amp; Beverage (distillery/brewery)</li> <li>Permitted - Food &amp; Beverage Lounge (restaurant)</li> </ul> Accessory Uses (Permitted): <ul style="list-style-type: none"> <li>Retail Trade, Shop (liquor store)</li> <li>Accessory office</li> <li>Storage, Warehousing</li> <li>Institution, Training (Culinary school located in the restaurant)</li> </ul>
Building Area (m <sup>2</sup> )	4,818	No change

Zoning Analysis	Required in DCD-RExG	Proposed / Existing
Parking stalls (Shared with adjoining development)	Nil – must be generally consistent with the master site plan	30 out of 412 shared stalls (Existing)
Bicycle parking stalls	3 short term or 2 long term	3 short term stalls
Max. Building Height (m)	18	No change (Existing building)
Max. Coverage	50%	No change (Existing building)

Pursuant to section 56 of The Act, a discretionary use decision to approve, reject, or approve subject to development standards or conditions must be in accordance with and supported by the Zoning Bylaw. Section 1E.3.5 of the Zoning Bylaw specifies criteria by which all discretionary uses must be evaluated. Generally, in exercising its discretion, Council's decision with respect to discretionary use applications must be evaluated based on:

- consistency of the proposed use with the OCP;
- consistency of the proposed use with other policy documents with emphasis on land use and intensity, and impact on public facilities and infrastructure and services;
- consistency of the proposed use with the Zoning Bylaw; and
- potential adverse impacts or nuisances affecting nearby land, development, land use, property, neighbourhood character, the environment, traffic, public right-of-way, and other matters of health and safety.

Furthermore, all discretionary use applications must consider any criteria particular to the discretionary land use (or building type) as specified in the Zoning Bylaw and be consistent with the Statements of Provincial Interest Regulations. Council may prescribe specific development standards or conditions of approval only if they are necessary to secure the objectives of the Zoning Bylaw with respect to the size, shape, and arrangement of buildings or site; accessibility and traffic



patterns of people or vehicles; mitigation of noxious or offensive emissions (i.e., noise, dust, glare, odour); and treatments to landscape, parking, open spaces, lighting, signs, excluding material or architectural detail.

The application was considered for suitability based on the additional prescribed evaluation criteria for discretionary uses as set out in the Zoning Bylaw section 1E.3. Based on Administration's assessment, the application is consistent with all criteria, particularly with respect to land use and policy regulations. The following key factors were considered in the evaluation:

- This is a redevelopment of an existing building with minimal impacts beyond the building footprint and site.
- There are no factors affecting public nuisance or matters of health and safety to be addressed by the discretionary use application. The safety of the distillery/brewery will be addressed through the building permit.
- The proposal is consistent with the proposed identification of the overall site as an 'Entertainment District'.

### **Community and Stakeholder Engagement**

In accordance with the public notice requirements of *The Public Notice Policy Bylaw, 2020*, neighbouring property owners within 75 metres of the proposed development received written notice of the application, and a sign was posted on the subject site. The North Central Community Association was contacted and had no issues or concerns with the proposed applications. There were two comments received in response to the public notice that are summarized in Appendix B of this report.

As the subject site is a sub-area within the City Centre Core Framework, the land area members were consulted on the proposed applications, including representatives from the City of Regina (Land and Real Estate), Regina Downtown Business Improvement District (RDBID) and the Warehouse District BID. In response to the circulations for the planning applications, the BIDs requested that the applications be deferred until the City Centre Core Framework Development Advisory Committee is established so that the committee can review the applications. The advisory committee is only expected to start meeting in 2022, which did not meet the time lines for the applications. Further, the terms of reference for the committee state that planning applications are circulated to the members representing land areas, not the entire committee, and only if these members could not resolve issues would a meeting of the whole committee consider a matter. A stakeholder meeting was held on October 29, 2021 with the City of Regina, RDBID, Warehouse District BID, and REAL, to discuss the proposed applications. At the time this report was written, Administration had not received written comments from the BIDs related to either the proposed DCD or the discretionary use.

## DECISION HISTORY

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On April 29, 2020, City Council approved material alterations for the Evraz Place site for development of commercial opportunities (CR20-24).

On August 11, 2021, City Council approved a lease agreement between the City of Regina and REAL for a portion of the property traditionally known as the Regina Exhibition Grounds (CR21-116) and consented to REAL entering into a Sublease for the distillery/brewery development called "YQR Distillery" (CR21-117).

Respectfully Submitted,

Respectfully Submitted,



Autumn Dawson, A/Executive Director

11/17/2021



Diana Hawryluk, Executive Director, City Planning & Community Dev.

11/24/2021

Prepared by: Michael Cotcher, Senior City Planner  
Amar Guliani, City Planner II

## ATTACHMENTS

### ATTACHMENTS

- Appendix A-1 \_Subject Property Map
- Appendix A-2\_Chapter 6H - DCD-RExG (Draft)
- Appendix A-2.1 - Proposed Zoning Amendments
- Appendix A-3.1\_Overall Site Plan
- Appendix A-3.2\_Overall Main Floor Plan
- Appendix A-3.3\_Distillery Floor Plans
- Appendix A-3.4\_YQR Warehouse Floor Plans
- Appendix A-3.5\_Duty Paid Warehouse & Liquor Store Floor Plans
- Appendix A-3.6\_Hospitality School Floor Plan
- Appendix A-3.7\_Shared Common Area Floor Plan
- Appendix A-3.8\_North & East Elevations
- Appendix A-3.9\_South & West Elevations
- Appendix A-3.10\_Building Sections
- Appendix A-4\_REAL Master Site Plan Options
- Appendix B - Public Comments





Project PL202100139      Civic Address/Subdivision 1700 & 1734 Elphinstone Street



## PART 6H

### DCD-RExG – REGINA EXHIBITION GROUNDS

### DIRECT CONTROL DISTRICT

#### 6H.1 INTENT

The Regina Exhibition Grounds Direct Control District is intended to:

- (1) provide for the long-term development of the publicly owned property historically referred to as the Regina Exhibition Grounds, and establish the lands and facilities thereon as a primary venue for hosting large indoor and outdoor recreational, cultural, sporting, entertainment, business, agri-business and other special events and festivals;
- (2) implement the goals and policies prescribed by Section D5, Goal 2 – City Centre of *The Official Community Plan*;
- (3) implement the vision and guidelines contained in the City Centre Core Framework to provide a collective vision between the City of Regina, Regina Downtown Business Improvement District, Regina Warehouse Business Improvement District and REAL for coordinated processes, complementary land uses, and the infrastructure required to support and connect development in the land areas making up the City Centre Core;
- (4) integrate a variety of compatible land uses as consistent with the City Centre Core Framework; and
- (5) ensure that these regulations, standards, and requirements evolve in accordance with the Master Site Plan developed by REAL and approved by City Council for the property to allow for development that accommodates public uses, large-scale events, commercial and other complementary uses that support sport, entertainment, recreation, culture and tourism.

#### 6H.2 DEFINITIONS

The following words, terms and phrases, for the purposes of this Part shall have the meanings assigned to them by this section:

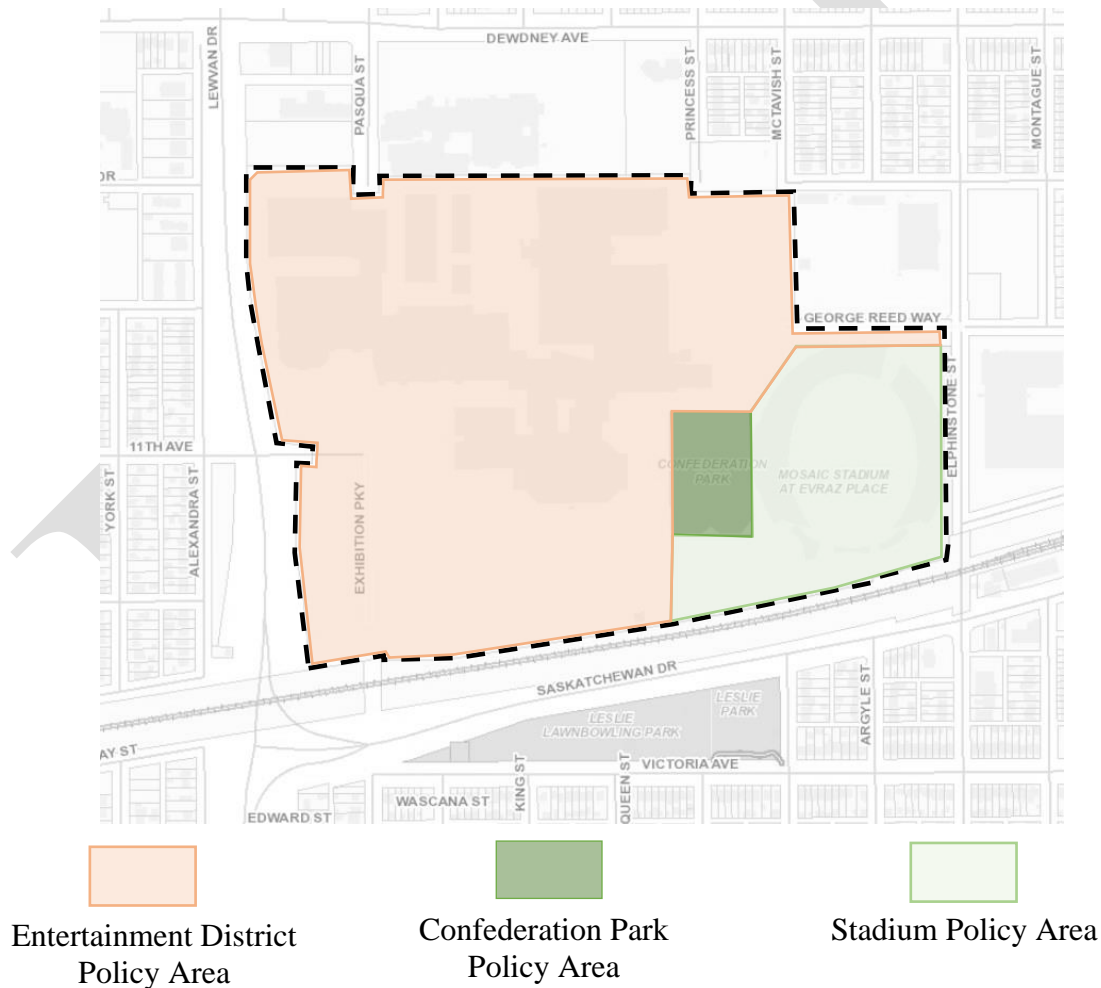
- (1) “**City Centre Core Framework**” means the City Centre Core Framework adopted by City Council on April 12, 2021, as may be amended from time to time;
- (2) “**Master Site Plan**” means the Master Site Plan approved by City Council in relation to the lands within the Entertainment District and Confederation Park Policy Areas described in this Part;



- (3) “**REAL**” means the Regina Exhibition Association Limited.

### 6H.3 APPLICATION

- (1) The regulations, standards, and requirements prescribed in Part 6H apply to all land use areas and developments indicated by Figure 6H.F1 as they relate to the Regina Exhibition Grounds Direct Control District.
- (2) The requirements of Chapter 1 apply to all land uses, proposed land uses, development and proposed developments in the Regina Exhibition Grounds Direct Control District.
- (3) All development within the Regina Exhibition Grounds Direct Control District shall be consistent with the strategic and land use principles of the City Centre Core Framework.



**Figure 6H.F1: Regina Exhibition Grounds Direct Control District Land Use Area Map**

## 6H.4 BUILDING AND LAND USE REQUIREMENTS

### 4.1 PERMITTED AND DISCRETIONARY BUILDING TYPES

- (1) Table 6H.T1 lists building types that are permitted or discretionary in the Regina Exhibition Grounds Direct Control District.
- (2) Any building types other than those listed in Table 6H.T1 are prohibited in the Regina Exhibition Grounds Direct Control District.
- (3) A lot can contain multiple buildings that are permitted or discretionary in the Regina Exhibition Grounds Direct Control District.
- (4) In addition to the requirements of Chapter 1, every application for a development permit in the Regina Exhibition Grounds Direct Control District, the Development Officer may require that an applicant provide servicing reports demonstrating serviceability of the proposed development to the satisfaction of the Development Officer.

TABLE 6H.T1: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT BUILDING TYPES				
Sec.	Building Type	Permitted	Discretionary	Building Specific Regulations
T1.1	Building, Accessory	Permitted in all Policy Areas	---	---
T1.2	Building, Detached	Permitted when located within:  (a) Entertainment District or Stadium Policy Area; and (b) more than 30 meters from the east-west mainline railway corridor	Discretionary when:  (a) located within Entertainment District or Stadium Policy Area; (b) includes residential, institutional, office, or commercial land uses; and (c) located less than 30 meters from the east-west mainline railway corridor	Approval of discretionary buildings shall be contingent on demonstrating through a study prepared by a professional engineer to the City's satisfaction that noise and vibration associated with railway activity:  (a) is sufficiently low as not to warrant mitigation, or (b) will be sufficiently mitigated through the incorporation of appropriate building or site features (e.g., landscaped buffer/ berm, parkade, etc.).
T1.3	Building, Row			
T1.4	Building, Stacked			

### 4.2 LAND USE REQUIREMENTS

- (1) Table 6H.T2 lists land uses and land use intensities that are permitted or discretionary in the Regina Exhibition Grounds Direct Control District, subject to compliance with:
  - (a) the specific development permit requirements and procedures in Part 1G;

- (b) the land-use specific regulations in Tables 6H.T2a, 6H.T2b and 6H.T2c;
  - (c) the development standards in subpart 6H.4;
  - (d) the parking and loading requirements in subpart 6H.7;
  - (e) the landscaping and aesthetic screening requirements of subpart 6H.8; and
  - (f) the other regulations of this Bylaw.
- (2) When considering approval of a discretionary use application for lands in the Regina Exhibition Grounds Direct Control District, the application shall be evaluated for suitability based on the applicable review criteria for discretionary uses prescribed in Chapter 1 of this Bylaw.
- (3) The following land uses are prohibited in the Regina Exhibition Grounds Direct Control District:
- (a) any land use that is not listed in Tables 6H.T2a, 6H.T2b and 6H.T2c;
  - (b) any land use that is above the maximum intensity listed as permitted or discretionary in Tables 6H.T2a, 6H.T2b and 6H.T2c;
  - (c) any land use that fails to meet any of the applicable requirements prescribed by this Bylaw; and
  - (d) any land use where hazardous waste or materials are warehoused or otherwise processed, handled or stored unless supported by a quantitative risk assessment prepared by a professional engineer to the City's satisfaction.

**TABLE 6H.T2a: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT LAND USE CLASSIFICATION - ENTERTAINMENT DISTRICT POLICY AREA**

Sec.	Land Uses	Permitted	Discretionary	Land Use Specific Regulations
<b>T2.1a</b>	<ul style="list-style-type: none"> <li>• Drive Through, Accessory</li> <li>• Food &amp; Beverage, Lounge</li> <li>• Food &amp; Beverage, Restaurant</li> <li>• Institution, Healthcare</li> <li>• Open Space, Active</li> <li>• Public Use, General</li> <li>• Retail Trade, Outdoor Display</li> <li>• Transportation, Parking Lot</li> <li>• Transportation, Parking Stand</li> <li>• Transportation, Parking Structure</li> <li>• Utility, General</li> </ul>	Permitted	---	---
<b>T2.2a</b>	<ul style="list-style-type: none"> <li>• Assembly, Community</li> <li>• Dwelling, Unit</li> <li>• Industry, Food &amp; Beverage</li> <li>• Institution, Education</li> <li>• Institution, Training</li> <li>• Retail Trade, Shop</li> <li>• Service Trade, Accommodation</li> <li>• Service Trade, Clinic</li> </ul>	---	Discretionary	Any development containing dwelling land uses may only be considered where: (a) the use is identified on the Master Site Plan; and (b) the application demonstrates that public safety, noise, and vibration considerations of developing dwellings in proximity to railway operations have been satisfactorily addressed in accordance with the requirements prescribed in Table 6H.T1.
<b>T2.3a</b>	<ul style="list-style-type: none"> <li>• Assembly, Recreation</li> </ul>	Permitted when involving activities that are not listed in the Discretionary column	Discretionary when involving the following activities: <ul style="list-style-type: none"> <li>• Cinema &amp; Movie Theatre</li> <li>• Theatre and Performing Arts</li> </ul>	For this section, a Cinema & Movie theatre or Theatre and Performing Arts mean space primarily used to watch movies or provide live performance, such as opera, concert, ballet, etc.

**TABLE 6H.T2b: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT LAND USE CLASSIFICATION – CONFEDERATION PARK POLICY AREA**

Sec.	Land Uses	Permitted	Discretionary	Land Use Specific Regulations
<b>T2.1b</b>	<ul style="list-style-type: none"> <li>• Open Space, Active</li> </ul>	Permitted	---	This land use recognizes the cultural heritage and existing use of Confederation Park for community gatherings and intends to preserve it. Any change in land use activity from its current state shall require the City's approval



<b>TABLE 6H.T2c: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT LAND USE CLASSIFICATION – STADIUM POLICY AREA</b>				
<b>Sec.</b>	<b>Land Uses</b>	<b>Permitted</b>	<b>Discretionary</b>	<b>Land Use Specific Regulations</b>
<b>T2.1c</b>	<ul style="list-style-type: none"> <li>• Assembly, Recreation</li> <li>• Retail Trade, Shop</li> <li>• Food and Beverage,</li> <li>• Restaurant</li> <li>• Service Trade, Personal</li> </ul>	Permitted	---	These land uses will be permitted within the stadium building envelope only.
<b>T2.2c</b>	<ul style="list-style-type: none"> <li>• Office, Professional</li> </ul>	Permitted if the gross floor area is less than 1,000 square metres.	---	This land use will be permitted within the stadium building envelope only.

## **6H.5 DEVELOPMENT STANDARDS & DESIGN GUIDELINES IN THE REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT**

### **5.1 DEVELOPMENT STANDARDS FOR ENTERTAINMENT DISTRICT POLICY AREA**

- (1) The standards prescribed in Table 6H.T3a shall apply to all permitted buildings in the Entertainment District Policy Area of the Regina Exhibition Grounds Direct Control District.

<b>TABLE 6H.T3a: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT DEVELOPMENT STANDARDS – ENTERTAINMENT DISTRICT POLICY AREA</b>		
<b>Sec.</b>	<b>Development Criteria</b>	<b>Standards (Per Lot)</b>
<b>T3.1a</b>	<b>Minimum Setback from Lewvan Drive</b>	7.5 metres
<b>T3.2a</b>	<b>Minimum Setback from Elphinstone Street</b>	10.0 metres
<b>T3.3a</b>	<b>Minimum Setback from Property Line Abutting the Pasqua Hospital</b>	5.0 metres
<b>T3.4a</b>	<b>Minimum Setback from Property Line Abutting East-West Mainline Railway Corridor</b>	10.0 metres (Refer to Table 6H.T1 - Regina Exhibition Grounds Direct Control District Building Types for additional requirements)
<b>T3.5a</b>	<b>Maximum Coverage*</b>	50%
<b>T3.6a</b>	<b>Maximum Building Height</b>	18 metres

\* Use combined lot area of parcels - Block FF Plan 84R29489, Block: H Plan 14513, Block K Plan DV4404 and Block T Plan 102121311 for the purpose of calculating this standard.

### **5.2 DEVELOPMENT STANDARDS FOR STADIUM POLICY AREA**

- (1) This section is intended to guide the existing stadium development and future changes to the Stadium Policy Area
- (2) The standards prescribed in Table 6H.T3b shall apply to all permitted buildings in the Stadium Policy Area of the Regina Exhibition Grounds Direct Control District.

**TABLE 6H.T3b: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT DEVELOPMENT STANDARDS –STADIUM POLICY AREA**

Sec.	Development Criteria	Standards (Per Lot)
T3.1a	Minimum Setback from Elphinstone Street	10.0 metres
T3.3a	Minimum Setback from West Property Line	0.0 metres
T3.4a	Maximum Coverage*	100%
T3.5a	Maximum Floor Area Ratio*	Unlimited
T3.6a	Maximum Building Height	Unlimited

\* Use lot area of Parcel W, Plan No. 102254622 for the purpose of calculating these standards.

### 5.3 DESIGN GUIDELINES FOR STADIUM AND CONFEDERATION PARK POLICY AREAS

- (1) The intent of this section is to encourage design attributes that celebrate the locale of the Stadium and stand as a proud landmark in the city, province and community.
  - (a) The building should reference local character, culture, history or natural features through its external elements, and/or architectural detail, and landscape design of surroundings.
  - (b) Consider incorporating historical architectural references to the former World's Grain Exhibition and Confederation Building, which prominently occupied the site from 1931 and 1927, respectively.
  - (c) Where possible, the Stadium should seize opportunities for viewing of prominent landscapes that define the city and surrounding area such as the downtown skyline, legislature dome, surrounding agriculture fields, dramatic skies, tree canopy, and industry to the north of the city.
  - (d) The shape and massing of the Stadium should consider the contribution to the city's skyline from important gateways including the airport, highway approaches, and prominent corridors and places.
- (2) The intent of this section is to encourage the Stadium to engage Elphinstone Street, allowing for high usage during event days, creating amenity for the community for non-event days, and which is adaptable over time. This section will apply generally to the area between the east face of the building and Elphinstone Street.
  - (a) The area should be primarily hard-surfaced to accommodate heavy pedestrian numbers during events, but can also function as a passive amenity space for the community on non-event days.
  - (b) The location of intended gathering areas should consider environmental conditions such as wind and sunlight penetration, and include weather protection to encourage use throughout the year.

- (c) A strong sense of place should be created through choice of furnishings, trees and other plantings, public seating, pedestrian scale lighting and opportunity for development of public art and other tributes to Saskatchewan sports culture.
  - (d) Plaza space design should follow guidelines as established in the City's Open Space Management Strategy.
  - (e) While the building massing will naturally be larger in comparison to other buildings in the vicinity, it should reference a human scale rather than dominate the public space.
  - (f) The main level of the building should provide opportunity for development of commercial uses, should demand exist.
  - (g) Any commercial spaces should have a direct relationship to the public realm with ample transparent window glazing, and direct access to the street.
  - (h) Parking should only be accommodated within the interface area for the purpose of supporting street-oriented commercial activity. However, its placement should not impede the function of this area primarily as a quality public amenity space. Parking should be integrated with landscape surfacing treatment, should not dominate the space, and should be easily converted to plaza space during events.
  - (i) Main building gateways should be directly accessed from the street.
  - (j) The southeast corner and northwest corners of the development area are gateways to an emerging sports precinct for the city, and should signify a sense of arrival through design of plaza spaces, art, and landscaping. Parking should not be accommodated in gateway areas.
- (3) The intent of this section is to encourage a complimentary relationship between the Stadium and Confederation Park. This section applies to areas including Confederation Park, the building face and all area in between.
- (a) The building should conserve and enhance the historical and visual integrity of Confederation Park.
  - (b) The character of the built form along the perimeter of the park should safeguard its visual integrity and sense of place, particularly with respect to the scale of development.
  - (c) The terminal vista along axial view corridors should be reinforced by focal points and/or key access points to the surrounding built form.

- (d) Use of the park should be encouraged by locating main entrances to the Stadium and complementary commercial uses adjacent to the park, while maintaining its ecological health.
- (4) This section is generally applied to the entire development site associated with the Stadium.
  - (a) Design and implement Crime Prevention Through Environmental Design (CPTED) in the design of all surrounding spaces.
  - (b) Continuous tree canopy should be extended throughout the site, and should concentrate on demarking gateways, the access way to Evraz Place, pedestrian routes, and complimenting plaza areas.

#### 5.4 PERMITTED YARD ENCROACHMENTS

- (1) The minimum yards specified by this Bylaw shall remain free from any encroachment, except as permitted by Table 6H.T4.
- (2) Permitted yard encroachments are subject to section 1E.1.9 of Chapter 1.
- (3) Minimum setback from the lot line to a permitted encroachment shall be the lesser of the setback standards prescribed in Tables 6H.T3a, 6H.T3b and 6H.T4.

TABLE 6H.T4: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT PERMITTED ENCROACHMENTS				
Sec.	Structure	Permitted Yard	Maximum Projection into Permitted Yard	Minimum Setback from Lot Line
<b>T4.1</b>	Fire escape	• All yards	1.5 metres into any yard abutting lot zoned Residential or Mixed-Use, otherwise unrestricted.	150 millimetres from any abutting lot zoned Residential or Mixed-Use, otherwise unrestricted.
<b>T4.2</b>	Uncovered Balcony, Deck or Platform			
	(1) Portion that is 600 millimetres or more in height above grade.	• All yards	1.5 metres into any yard abutting lot zoned Residential or Mixed-Use, otherwise unrestricted.	150 millimetres from any abutting lot zoned Residential or Mixed-Use, otherwise unrestricted.
	(2) Portion that is less than 600 millimetres in height above grade.	• All yards	Unrestricted	Unrestricted
<b>T4.3</b>	Any balcony, porch, deck, or platform that is covered. Includes “Food & Beverage, Outdoor” land use subject to the land use requirements.	• All yards	6.0 metres	1.5 metres from any lot line.
<b>T4.4</b>	Steps above or below grade, Landings and Wheelchair ramps	• All yards	Unrestricted	Unrestricted



### **5.5 HEIGHT EXCEPTIONS**

- (1) Subject to subsection 6H.5.5(2), the maximum building height listed in Table 6H.T3 shall not apply to any of the following:
  - (a) a spire;
  - (b) a belfry;
  - (c) a cupola;
  - (d) a dome;
  - (e) a chimney;
  - (f) a ventilator;
  - (g) a skylight;
  - (h) a water tank;
  - (i) a bulkhead;
  - (j) a communication antenna; or
  - (k) a feature or mechanical appurtenance, usually situated above the roof level, that is, in the opinion of the Development Officer, similar to the above list.
- (2) The features mentioned in subsection 6H.5.5(1):
  - (a) may not include an elevator or staircase enclosure, or a mechanical penthouse;
  - (b) may not be used for human habitation; and
  - (c) shall be erected only to such minimum height or area necessary to accomplish the purpose they are to serve.

### **6H.6 ACCESSORY USES, BUILDING AND STRUCTURE**

- (1) Unless specified otherwise, the minimum setback requirements and the maximum height of an accessory structure or building shall be the same as those of the principal building, as prescribed in Tables 6H.T3a and 6H.T3b.

- (2) Notwithstanding subsection 6H.6(1), an accessory structure or building may be located within any yard setback, except the yard fronting Lewvan Drive, where it is:
  - (a) 10 square metres or less in area; and
  - (b) 4 metres or less in height.
- (3) All accessory structures or buildings shall be included in the calculation of the total site coverage calculation.

## **6H.7 PARKING, LOADING AND ACCESS**

### **7.1 NO OBSTRUCTION**

All provided parking stalls shall not be obstructed in any way by garbage receptacles, structures, equipment or materials which interfere with the ability of the parking stall to serve its function.

### **7.2 ACCESSIBLE PARKING STALLS**

- (1) No minimum accessible parking stalls are required for development in the Confederation Park and Stadium Policy Areas of the Regina Exhibition Grounds Direct Control District.
- (2) For any proposed development in the Entertainment District Policy Area of the Regina Exhibition Grounds Direct Control District, a minimum of two per cent of the total parking stalls developed shall be provided in the form of accessible parking stalls.
- (3) Accessible parking stalls mentioned in subsection 6H.7(2) shall be clearly designated with signs above ground indicating their purpose.
- (4) Relative to the placement of non-accessible parking stalls, accessible parking stalls shall be located closest to the:
  - (a) the accessible building entrance, if it exists; or
  - (b) the building entrance with the shortest path of travel from the accessible parking stalls.

### **7.3 MOTOR VEHICLE REGULATIONS**

- (1) All provided motor vehicle parking stalls, loading stalls and manoeuvring areas shall be located entirely on the same lot as the principal land use they

serve except as provided by caveated parking, shared parking or shared manoeuvring area in Chapter 1 of this Bylaw.

- (2) No provided motor vehicle parking stall, manoeuvring area, garage door, loading stall or loading bay shall be located within an area provided to meet the total site landscaping area.
- (3) No more than 50% of the property line abutting Lewvan Drive shall have motor vehicle parking between a building and the street.

#### 7.4 MINIMUM MOTOR VEHICLE PARKING REQUIREMENTS

- (1) Table 6H.T5 lists the minimum motor vehicle parking requirements for development in the Regina Exhibition Grounds Direct Control District.

TABLE 6H.T5: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT PARKING REQUIREMENTS		
Sec.	Land Use	Motor Vehicle
T5.1	All land uses in the Entertainment District Policy Area	Subject to the other requirements prescribed in subpart 6H.7, motor vehicle parking in the Entertainment District Policy Area shall generally be in accordance with the Master Site Plan.
T5.2	All land uses in the Stadium and Confederation Park Policy Areas	Nil

#### 7.5 MINIMUM LOADING REQUIREMENTS

- (1) All provided loading stalls shall be clearly marked to indicate their purpose.
- (2) Loading areas provided within the Stadium Policy Area shall be prohibited within 20 metres of Elphinstone Street.

#### 7.6 BICYCLE PARKING REQUIREMENTS

- (1) Table 6H.T6 lists the minimum motor vehicle parking requirements for development in the Regina Exhibition Grounds Direct Control District.

TABLE 6H.T6: REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT BICYCLE PARKING REQUIREMENTS		
Sec.	Land Use	Motor Vehicle
T6.1	All land uses in the Entertainment District Policy Area	For every 10 motor vehicle parking stalls provided, there shall be either: <ol style="list-style-type: none"> <li>(a) one short-term bicycle parking stalls;</li> <li>(b) 0.5 long-term bicycle parking stalls; or</li> <li>(c) an equivalent combination of clauses 6H.T6.1(a) and (b).</li> </ol>
T6.2	All land uses in the Stadium Policy Area	Nil

<b>T6.3</b>	All land uses in the Confederation Park Policy Area	Nil
-------------	-----------------------------------------------------	-----

- (3) Provided short-term bicycle stalls shall be located closer to the building entrance than the motor vehicle parking stalls.
- (4) Provided long-term bicycle stalls shall be located either:
  - (a) on the ground floor of the principal building(s) on the lot; or
  - (b) within a secure area close to the building entrance.
- (5) If the motor vehicle parking stalls are covered or located within a structure, then the bicycle parking stalls must also be covered or located within a structure.

## **6H.8 LANDSCAPING AND AESTHETIC SCREENING**

### **8.1 MINIMUM TOTAL SITE LANDSCAPING REQUIREMENTS**

- (1) Subject to the minimum requirements prescribed in this section, site landscaping in the Regina Exhibition Grounds Direct Control District shall generally be in accordance with the Master Site Plan.
- (2) Where parking or loading area abuts a public street, a minimum 3.0 metre landscaped strip measured from the inside of the curb or the sidewalk shall be provided.
- (3) Subject to Section 1F.2.8 - Exceptions to Landscape and Aesthetic Screening Standards in Chapter 1 of this Bylaw, all new landscaping shall be completed by the end of the growing season in which the use of the building or site has taken place. When the use of a building has occurred after the end of the growing season, all required and approved landscaping features shall be completed by June 1 of the following growing season.

### **8.2 PLANTING RATIOS**

Subject to the requirement in Chapter 1 of this Bylaw, the following planting ratios shall apply to all developments in the Regina Exhibition Grounds Direct Control District:

- (a) a minimum of one tree per 40 square metres of site landscaping provided is required;
- (b) for every ten metres along a registered road right of way, a minimum of one deciduous tree is required; and



- (c) a minimum of one shrub per 20 square metres of provided site landscaping is required.

### **8.3 AESTHETIC SCREENING OF INCOMPATIBLE LAND USES**

- (1) Subject to the requirement in Chapter 1 of this Bylaw, a proposed new development or substantial addition to an existing development in the Regina Exhibition Grounds Direct Control District shall provide aesthetic screening to a height of 1.83 metres along its abutting lot lines where the proposed development abuts a lot in a Residential zone.
- (2) In addition to other requirements of this Bylaw, the following activities or areas in the Regina Exhibition Grounds Direct Control District containing four or more dwelling units or a non-dwelling land use shall be aesthetically screened to a height of 1.83 metres or to the satisfaction of the Development Officer:
  - (a) any collection area for garbage, refuse or recycling; and
  - (b) any maneuvering area or loading/unloading bay.

**Proposed Zoning Amendments – Regina Exhibition Grounds Direct Control District**

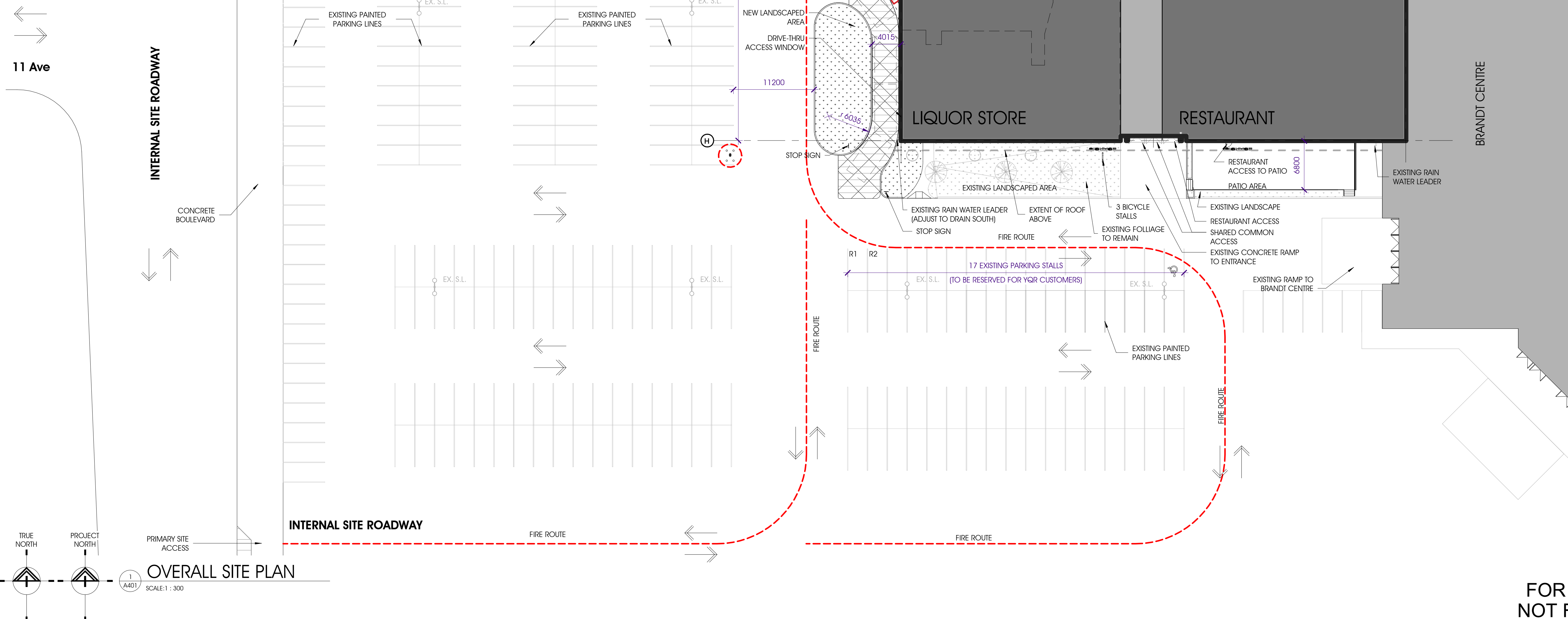
<b>No.</b>	<b>Affected Zones or Section</b>	<b>Existing Regulation</b>	<b>Proposed Regulation</b>	<b>Rationale</b>	<b>Category</b>
1	Chapter 6 – Direct Control Districts	N/A	(NEW) Part 6H DCD-RExG - Regina Exhibition Grounds Direct Control District	A new DCD is recommended to accommodate the variety of entertainment, recreation, commercial and tourism opportunities in alignment with REAL's strategic plan and master site plan.	Amended Regulation
2	Chapter 7 – Special Zones, Part 7E – Public Service Zone	7E.8 Mosaic Stadium Regulations and Design Standards	Repeal	Regulations pertaining to the stadium and Confederation Park have been carried forward to Part 6H.	Amended Regulation / Housekeeping
3	Chapter 11 - Signs	11E.13 Additional Provisions, subsection 12	Update reference of “Evraz Place” and repeal the land description to reference Part 6H DCD-RExG	This amendment corrects the land description, which currently only references a portion of the site, and instead makes reference to Part 6H.	Housekeeping

### Appendix A-3.1



DETAILS OF DEVELOPMENT			
DATA		REQUIRED	PROVIDED
ZONING	REGINA EXHIBITION GROUNDS DIRECT CONTROL DISTRICT (DCD-RExG)		
SETBACK	FY	7.5 m (24'-7")	7.5 m (24'-7")
	RY	6.0 m (19'-8")	6.0 m (19'-8")
	SY	3.0 m (9'-10")	3.0 m (9'-10")
	SY	3.0 m (9'-10")	3.0 m (9'-10")
YQR LEASE AREA		3,758 m <sup>2</sup> (40,450 sqf)	
SITE AREA SUBJECT TO APPLICATION		-	
AREA USE		FLOOR AREA	
DISTILLERY		870 m <sup>2</sup> (9,365 sqf)	
DISTILLER ADMIN		150 m <sup>2</sup> (1,615 sqf)	
DISTILLERY STOREROOM		645 m <sup>2</sup> (6,942 sqf)	
LIQUOR STORE STOREROOM		386 m <sup>2</sup> (4,155 sqf)	
LIQUOR STORE		522 m <sup>2</sup> (5,619 sqf)	
RESTAURANT		1064 m <sup>2</sup> (11,453 sqf)	
RESTAURANT ADMIN		70 m <sup>2</sup> (753 sqf)	
COMMON SHARED		1008 m <sup>2</sup> (10,850 sqf)	
EXISTING BUILDING AREA		4818 m <sup>2</sup> (51,860 sqf)	
LOT COVERAGE		-	
PARKING REQUIRED		30 STALLS AS PER LEASE	
REQUIRED BARRIER FREE STALLS		1 STALL	
YQR PARKING PROVIDED		30 STALLS	
BICYCLE PARKING PROVIDED		3 STALLS	


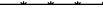



PARKING REQUIREMENT  
TABLE 7E-T5 (7) OF BYLAW CHAPTER 7 (SPECIAL ZONES), REQUIRES 1 STALL PER 100 SQUARE METRES OF GROSS FLOOR AREA.






## SITE PLAN ABBREVIATIONS

EX. FH.	EXISTING FIRE HYDRANT
FH	FIRE HYDRANT
EX. S.L.	EXISTING SITE LIGHT
S.L.	SITE LIGHT
L.A.	LANDSCAPE AREA
B.F.	BARRIER FREE SIGNAGE
MH	EXISTING MANHOLE
CB/MH	CATCH BASIN/ MANHOLE
U.N.O.	UNLESS NOTED OTHERWISE

### SITE PLAN LEGEND

 LANDSCAPE AREA  
 HEAVY DUTY PAVEMENT  
 LIGHT DUTY PAVEMENT  
 NEW CONCRETE PLAZA  
 FIRE TRUCK ACCESS ROUTE

 FIRE TRUCK ACCESS ROUTE

	FIRE HYDRANT
	MAN HOLE
	MAN HOLE/ CATCHBASIN

## PROPOSED SITE PLAN KEYNOTES

1	PAINT INTERNATIONAL BARRIER FREE LOGO, CENTERED IN BARRIER FREE STALL
2	NEW SITE GRAIN SILO
3	CONCRETE PAD
4	EXISTING LOADING AREA WITH OVERHEAD DOOR
5	CUT BACK EXISTING CONCRETE CURB. PATCH NEW CONCRETE AT END OF CURB CUTBACK. MAKE NICE.

As indicated	20 211
Revision	Sheet
3	
Drawing Number	
<b>A101-</b>	
<b>SITE PLAN</b>	

ISSUED FOR \$50K REVIEW	AM	MR	June 20, 2021
ISSUED FOR REQUEST FOR PROPOSAL	AM	MR	June 20, 2021
ISSUED FOR REVIEW CRUMPT PERMIT	AM	MR	May 10, 2021
ISSUED FOR REVIEW CRUMPT PERMIT	AM	MR	May 10, 2021

All drawings and specification are the property of and the property of the Architect, and shall not be used without the Architect's written permission. Contractor shall verify all dimensions and details and refer any discrepancies to the Architect immediately. The Architect is not responsible for any delays or cost overruns due to the Contractor's failure to verify the drawings. The Contractor shall obtain all necessary permits, design and drawings for the property of TBO Architects, LLC. Upon receiving

REV	DATE	DESCRIPTION
1	11/11/11	Initial Issue
2	11/11/11	Revisions
3	11/11/11	
4	11/11/11	
5	11/11/11	
6	11/11/11	
7	11/11/11	
8	11/11/11	
9	11/11/11	
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100	11/11/11	

20

CONSULTANT

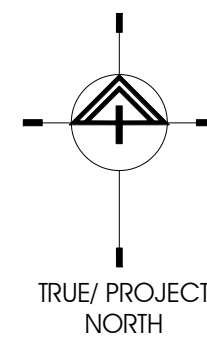
**YQR DISTILLERY**  
1776 11 AVENUE, REGINA, SK S4T 4P2  
BUILDING PERMIT VARIANCE - 2021.10.15

**tda**  
architecture + urban planning  
9916 - 81 Ave Edmonton, Alberta, T6E 1W6  
780-428-8001 [tbdarch.com](http://tbdarch.com)

## A101- SITE PLAN

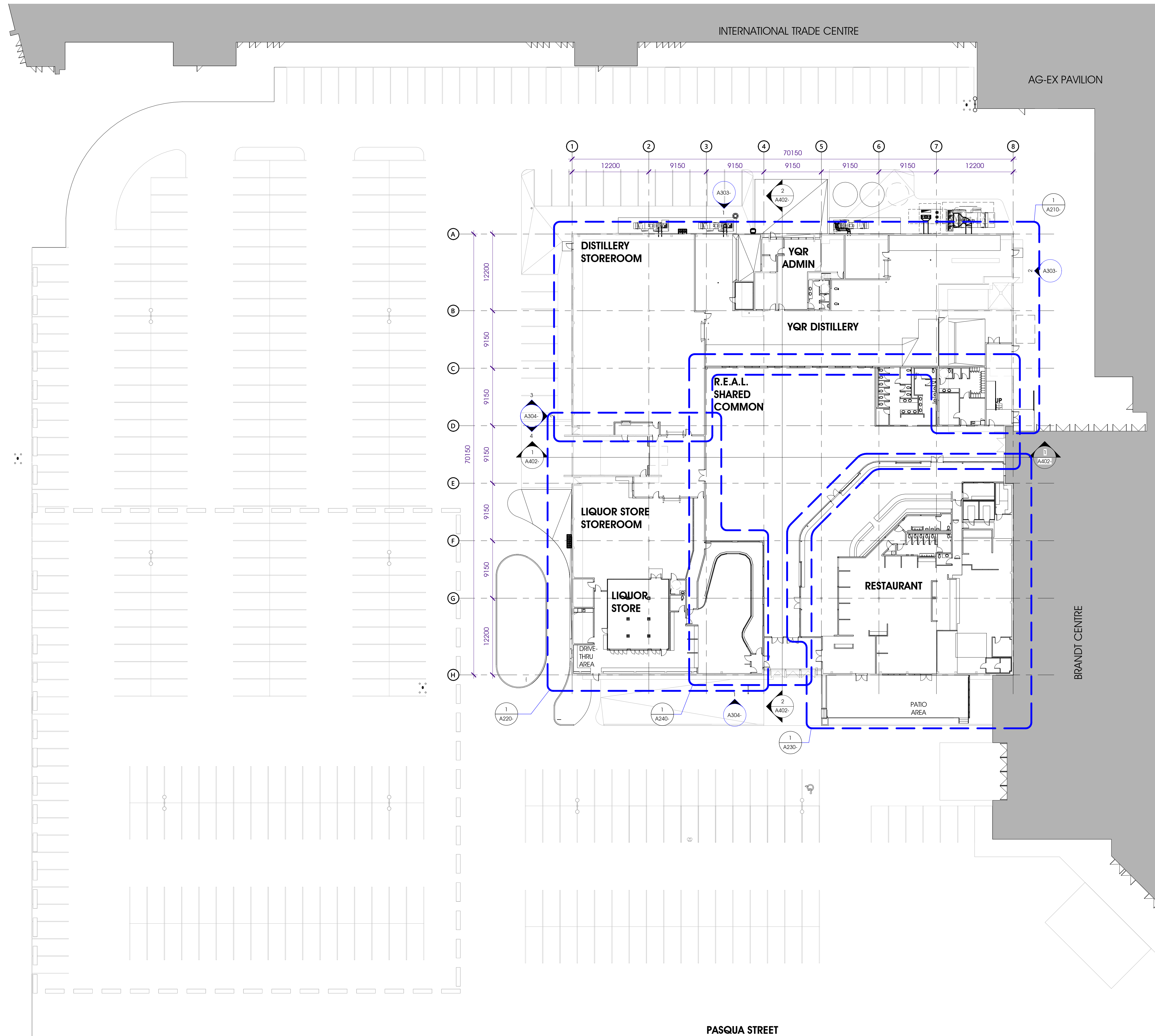
FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

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1  
A301  
SCALE: 1 : 300

## OVERALL MAIN FLOOR PLAN



## Appendix A-3.2



Project No.  
20 211  
Scale  
1 : 300  
Revision  
3  
Drawing Number  
A105-  
OVERALL MAIN FLOOR  
PLAN

DESIGNED BY: YQR DISTILLERY  
CHECKED BY: YQR DISTILLERY  
APPROVED BY: YQR DISTILLERY  
DATE: 2021-11-05  
BY: YQR DISTILLERY

SEAL  
CONSULTANT

**YQR DISTILLERY**  
1776 11 AVENUE, REGINA, SK S4T 4P2  
BUILDING PERMIT VARIANCE - 2021/10/16

**DDC**  
architecture + urban planning  
9916 - 81 Ave Edmonton, Alberta, T6E 1W6  
780-428-8001 tbdarch.com

**A105-**  
OVERALL MAIN  
FLOOR PLAN

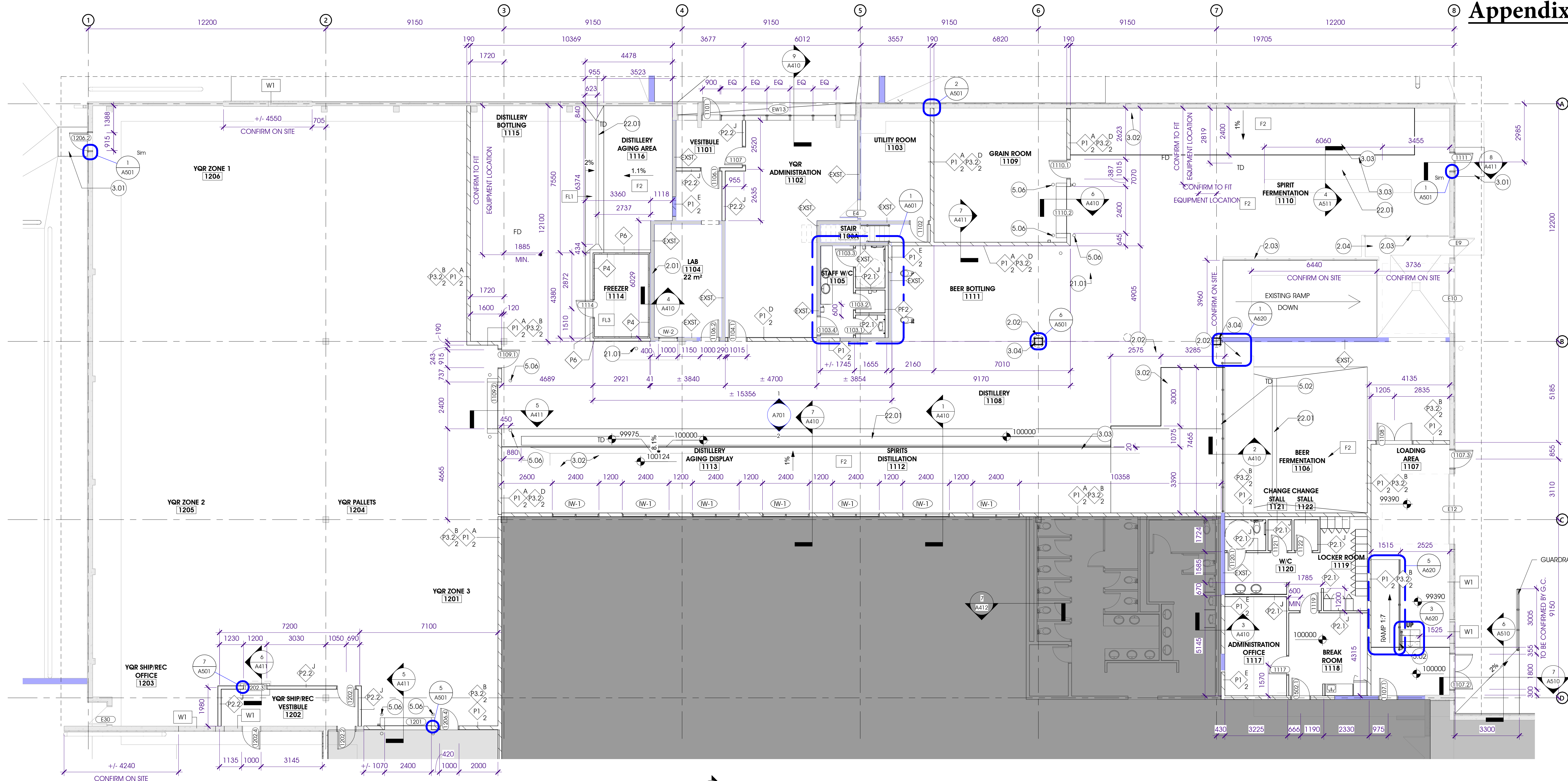
FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION



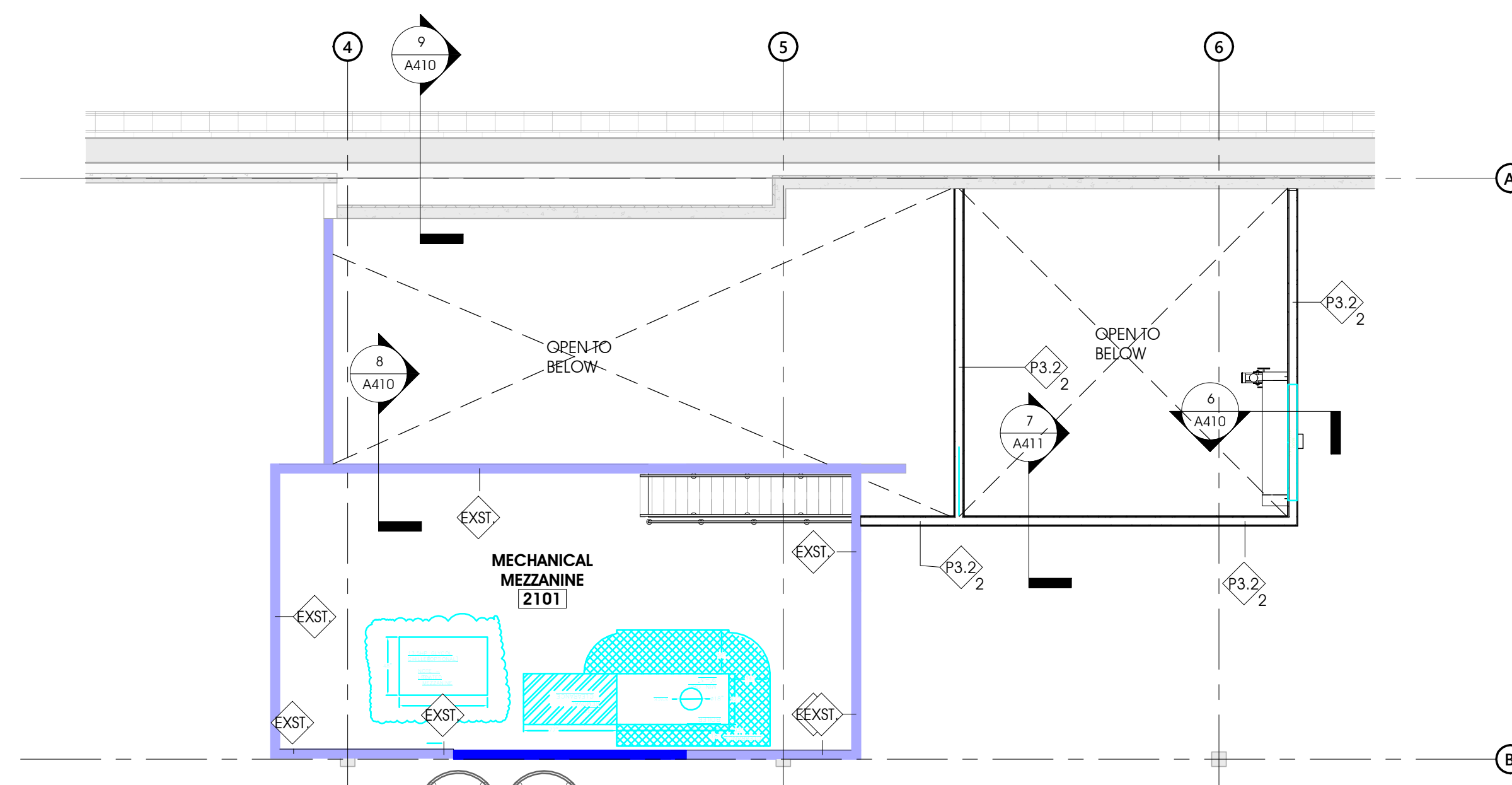


NO.	REVISION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR PERMIT	2021.03.03	MM	MM	MM
2	ISSUED FOR CONSTRUCTION	2021.03.03	MM	MM	MM
3	ISSUED FOR CONSTRUCTION	2021.03.03	MM	MM	MM
4	ISSUED FOR CONSTRUCTION	2021.03.03	MM	MM	MM

SEAL	CONSULTANT
NAME	NAME
DATE	DATE
REVISION	REVISION



**DISTILLERY FLOOR PLAN**  
SCALE: 1 : 100



**DISTILLERY MEZZANINE**  
SCALE: 1 : 100

KEYNOTE LEGEND	
Key Value	Keynote Text
2.01	EXISTING WALL TO REMAIN. PATCH AND CLEAN, MAKING READY TO PAINT.
2.02	EXISTING CONCRETE PILE BELOW.
2.03	CLEAN AND REPAINT EXISTING STEEL GUARDRAIL.
2.04	EXISTING CONCRETE STAIR TO REMAIN.
3.01	CONCRETE STOOP. REFER TO STRUCTURAL.
3.02	CONCRETE PAD. REFER TO STRUCTURAL.
3.03	CONCRETE TOPPING SLOPED TO DRAIN.
3.04	EXISTING CONCRETE COLUMN WITH NEW 2HR RATED ASSEMBLY
5.02	MECHANICALLY FASTED STEEL PIPE GUARDRAIL, PAINTED
5.06	METAL BOLLARDS
21.01	STAND PIPE FOR HOSE STATION AS PER NFCC 4.10.8.1.(2)
22.01	FACILITY TRENCH DRAIN SYSTEM

NOT IN CONTRACT

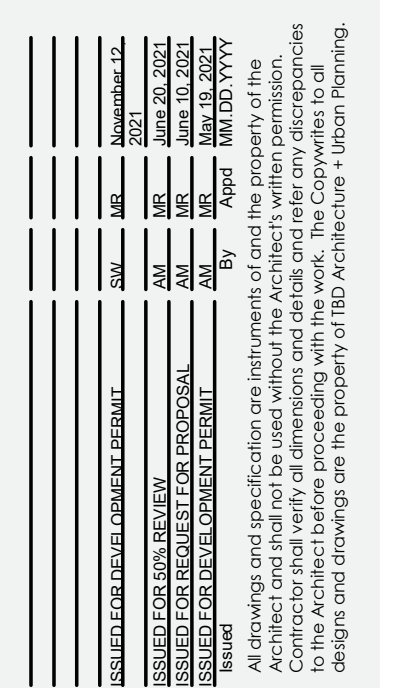
FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION



Scale	Project No.
As indicated	20 211
Revision	Sheet
4	

Drawing Number

**A220-**  
LIQUOR STORE +  
WAREHOUSE FLOOR  
PLAN

[illegible]

CONSULTANT

**YQR DISTILLERY**  
1776 11 AVENUE, REGINA, SK S4T 4P2  
BUILDING PERMIT VARIANCE - 2021.10.15

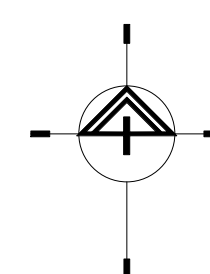
**tbdd**  
architecture + urban planning  
9916 - 81 Ave Edmonton, Alberta, T6E 1W6  
780-428-8001 [tbddarch.com](http://tbddarch.com)

**A220-**  
LIQUOR STORE +  
WAREHOUSE FLOOR  
PLAN

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

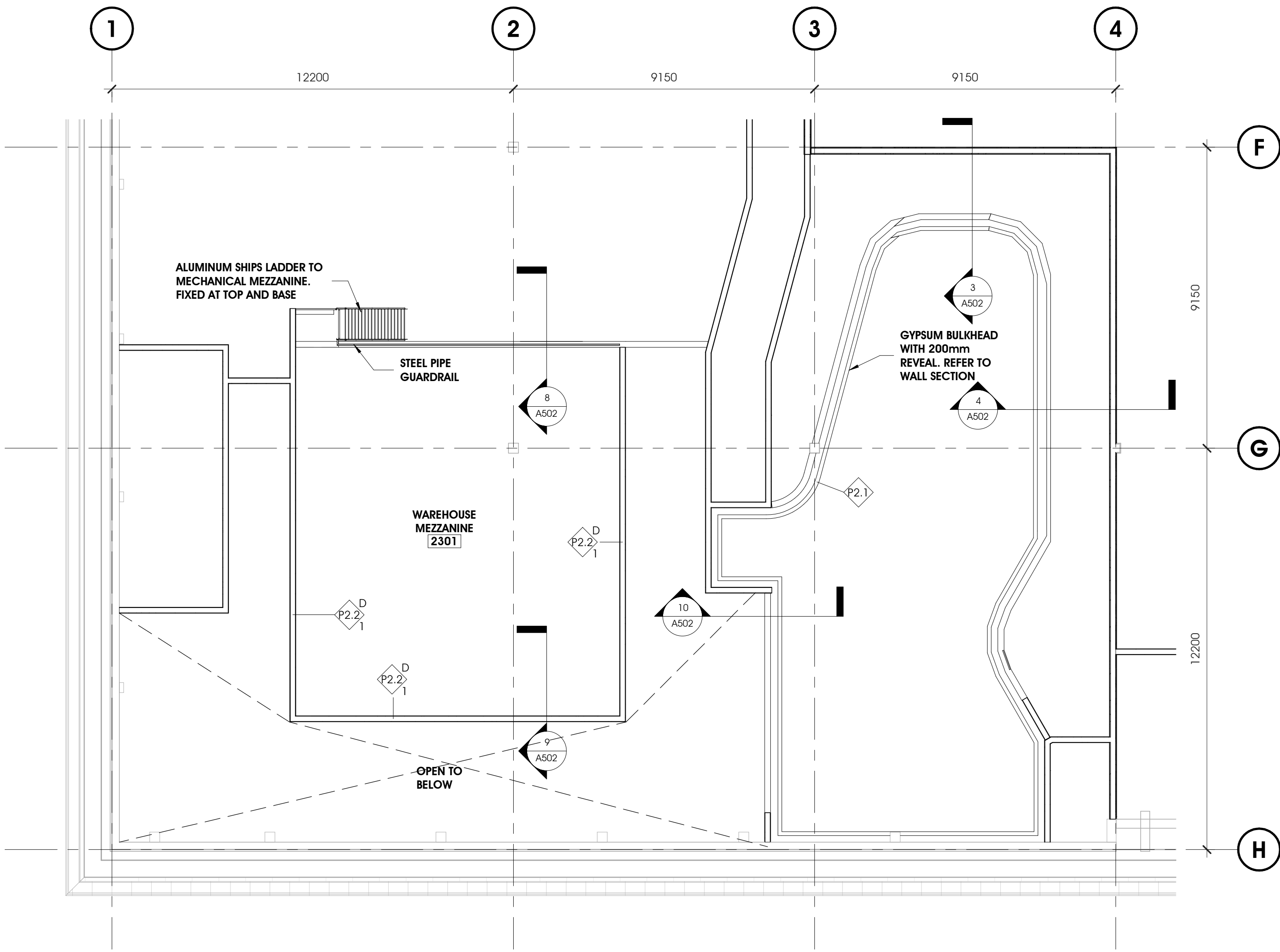
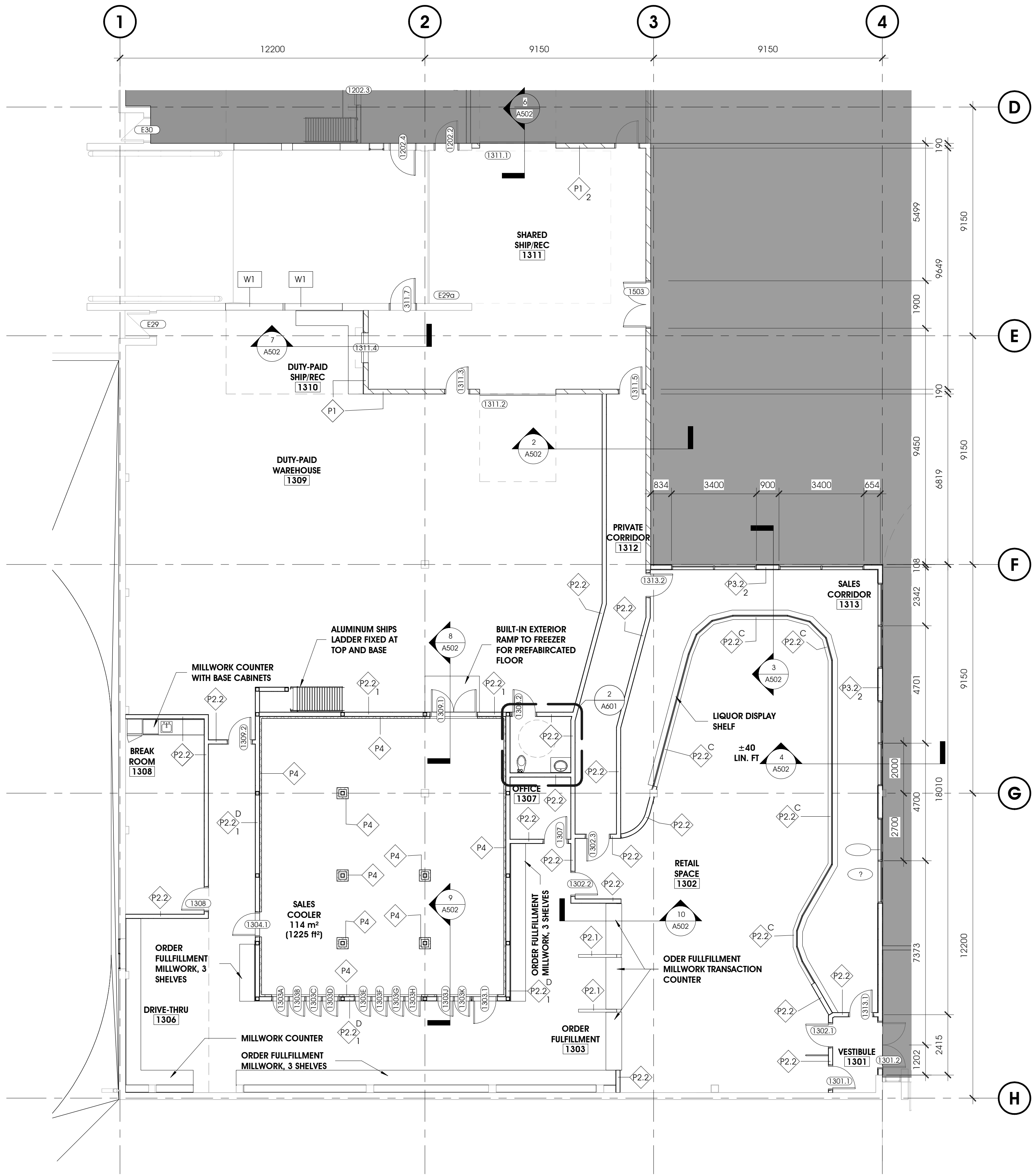
NOT IN CONTRACT

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## DUTY PAID WAREHOUSE + LIQUOR STORE FLOOR PLAN

SCALE: 1 : 100



**DUTY PAID WAREHOUSE + LIQUOR STORE FLOOR PLAN**  
SCALE: 1 : 100

**DUTY PAID WAREHOUSE MEZZANINE PLAN**  
SCALE: 1 : 100



Project No.  
202111  
Sheet  
1  
Drawing Number  
A230  
LIQUOR STORE +  
WAREHOUSE FLOOR  
PLAN

Scale  
1 : 100  
Revision  
1  
By  
A230  
Date  
YYYY/MM/DD  
Status  
FOR DEVELOPMENT PERMIT  
Notes  
All drawings and specifications are instruments of the profession of the architect and are the property of the architect. They are to be used only for the project and site for which they were prepared. The architect assumes no responsibility for the construction of the project or for the performance of the project. The architect's design is for information only and is not to be used for construction.

SEAL  
CONSULTANT

**YQR DISTILLERY**  
1776 11 AVENUE, REGINA, SK S4T 4P2  
Project Status - 2020.08.05

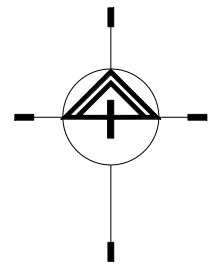
**DDC**  
architecture + urban planning  
9916 - 81 Ave Edmonton, Alberta T6E 1W6  
780-428-8001 | darch.com

**A230**  
LIQUOR STORE +  
WAREHOUSE FLOOR  
PLAN

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

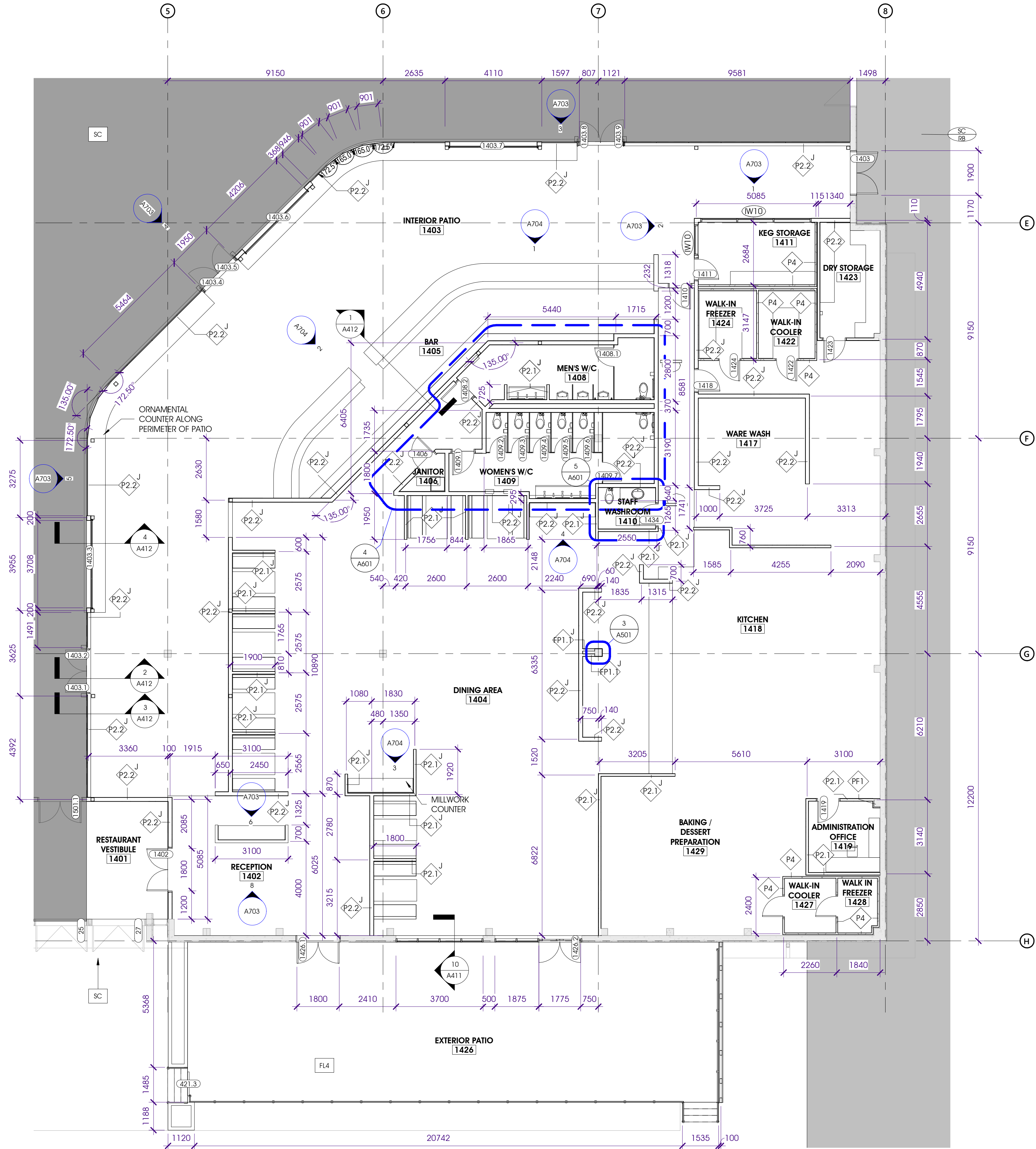


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1  
A105  
SCALE: 1 : 100

4 - RESTAURANT FLOOR PLAN



Appendix A-3.6

KEYNOTE LEGEND	
Key Value	Keynote Text

NOT IN CONTRACT

FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION



Project No. 20211  
Sheet  
Revision 4  
Drawing Number  
A230-  
SCHOOL OF HOSPITALITY  
FLOOR PLAN

Scale	As Indicated	Revision	Drawing Number
1:100	1:100	1	A230-1
1:200	1:200	2	A230-2
1:300	1:300	3	A230-3
1:400	1:400	4	A230-4
1:500	1:500	5	A230-5
1:600	1:600	6	A230-6
1:700	1:700	7	A230-7
1:800	1:800	8	A230-8
1:900	1:900	9	A230-9
1:1000	1:1000	10	A230-10

Scale	As Indicated	Revision	Drawing Number
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1:200	1:200	2	A230-2
1:300	1:300	3	A230-3
1:400	1:400	4	A230-4
1:500	1:500	5	A230-5
1:600	1:600	6	A230-6
1:700	1:700	7	A230-7
1:800	1:800	8	A230-8
1:900	1:900	9	A230-9
1:1000	1:1000	10	A230-10

SEAL

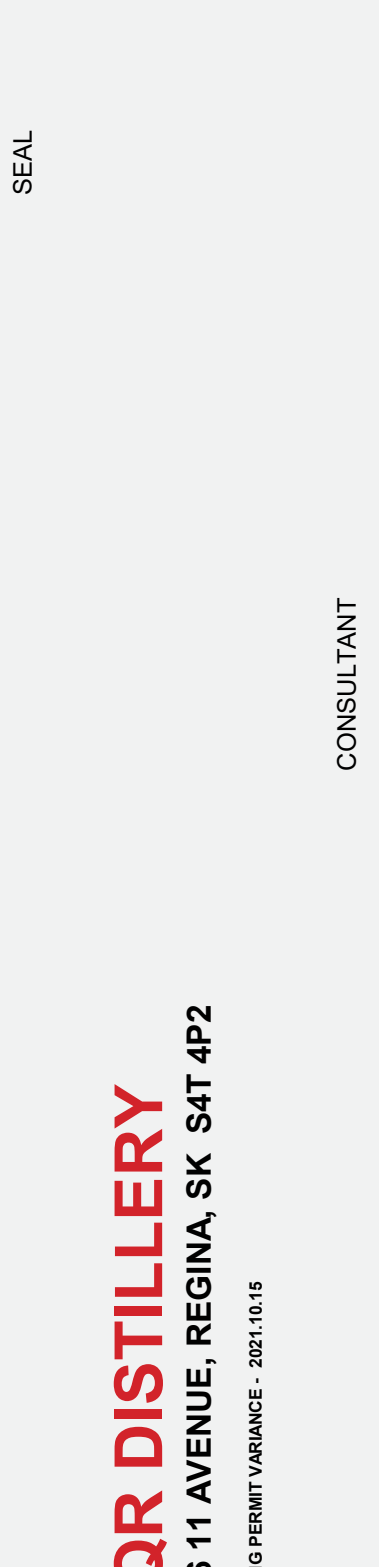
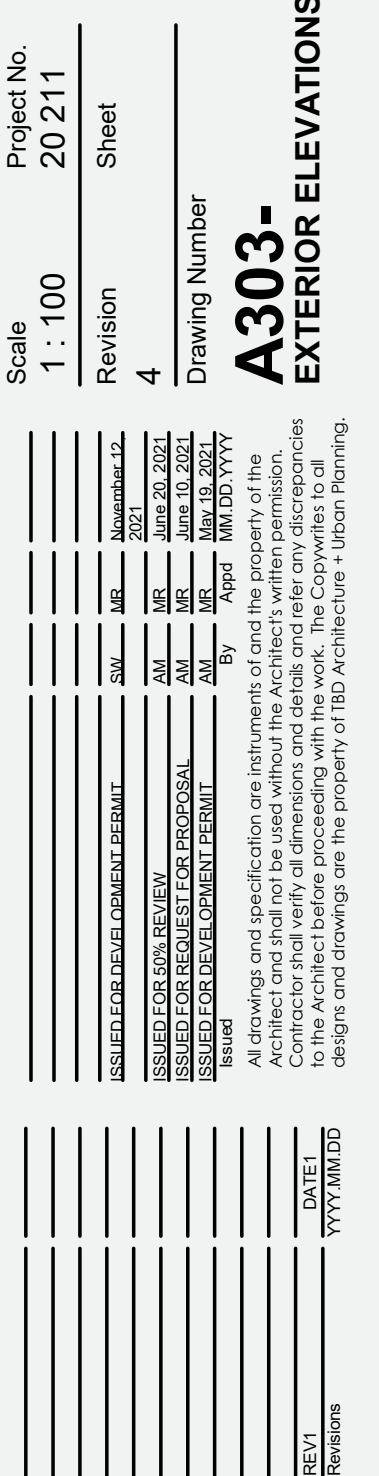
YQR DISTILLERY  
1776 11 AVENUE, REGINA, SK S4T 4P2  
BUILDING PERMIT VARIANCE - 2021.10.15

DDD  
architecture + urban planning  
9916 - 81 Ave Edmonton, Alberta T6E 1W6  
780-428-8001 tbdarch.com

A230-  
SCHOOL OF  
HOSPITALITY FLOOR PLAN







[illegible]

SEAL

CONSULTANT

**YQR DISTILLERY**  
1776 11 AVENUE, REGINA, SK S4T 4P2  
BUILDING PERMIT VARIANCE - 2021.10.15

**tbdd**  
architecture + urban planning  
59916 - 81 Ave Edmonton, Alberta, T6E 1W6  
780-428-8001 [tbddarch.com](http://tbddarch.com)

## A304- EXTERIOR ELEVATIONS

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PLOTTED: 2021-11-16 11:48:17 AM





Scale	1" = 100'	Project No.	20-211
Revision	Sheet		
4			

DRAWING NO.	A402-
SECTION	BUILDING SECTIONS

DESIGNED BY	CHECKED BY	DATE	DRAWN BY

DESIGNED FOR	CHECKED FOR	DATE	DRAWN FOR

DESIGNED BY	CHECKED BY	DATE	DRAWN BY

DESIGNED FOR	CHECKED FOR	DATE	DRAWN FOR

DESIGNED BY	CHECKED BY	DATE	DRAWN BY

DESIGNED FOR	CHECKED FOR	DATE	DRAWN FOR

DESIGNED BY	CHECKED BY	DATE	DRAWN BY

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DESIGNED BY	CHECKED BY	DATE	DRAWN BY

SEAL

CONSULTANT

**YQR DISTILLERY**  
1776 11 AVENUE, REGINA, SK S4T 4P2  
BUILDING PERMIT VARIANCE - 2021.10.15

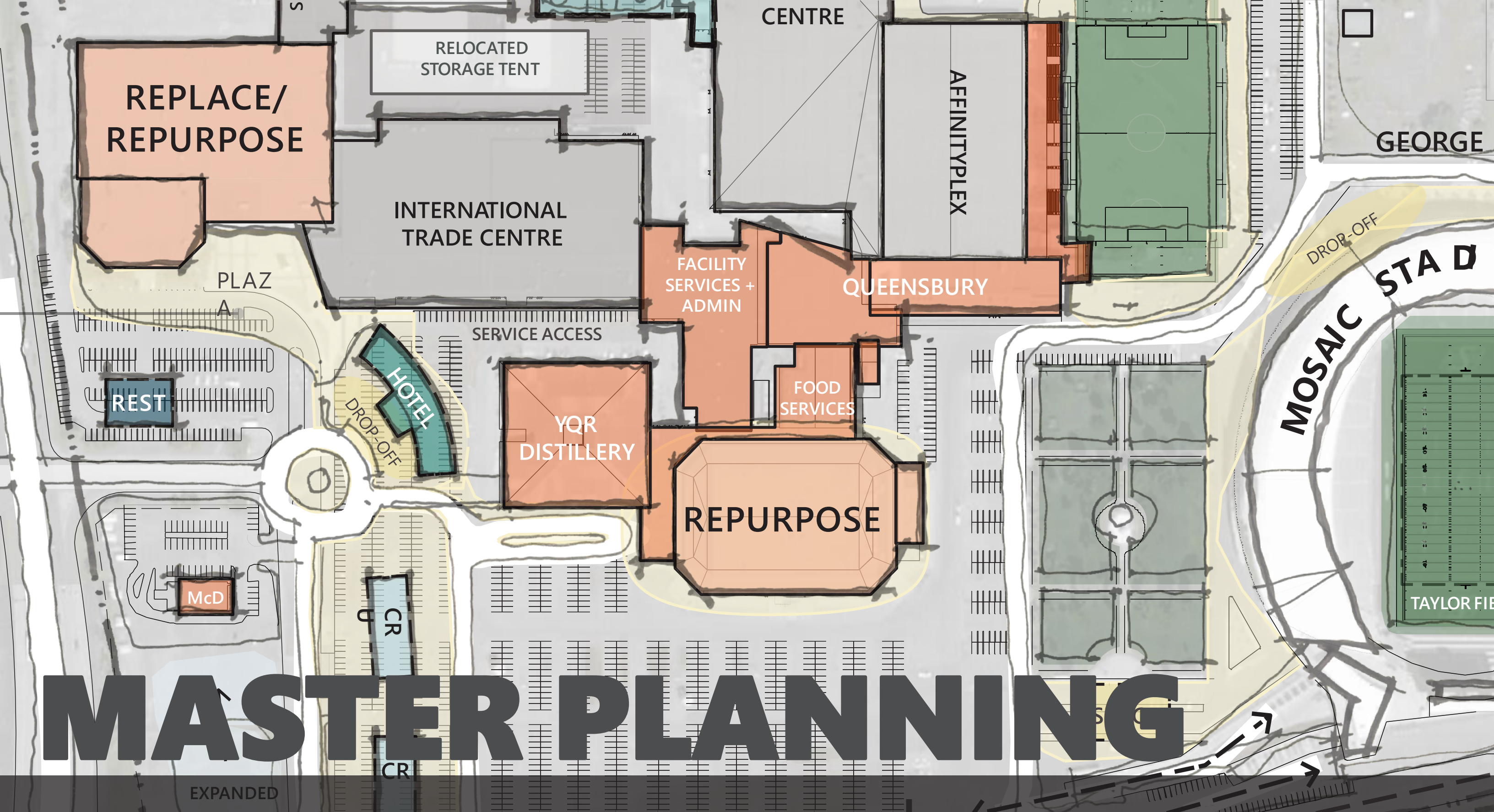
BUILDING PERMIT VARIANCE - 2021.10.15

**tdarch**  
architecture + urban planning  
9918 - 81 Ave Edmonton, Alberta, T6E 1W6  
780-428-8001 [tdarch.com](http://tdarch.com)

## A402- BUILDING SECTIONS

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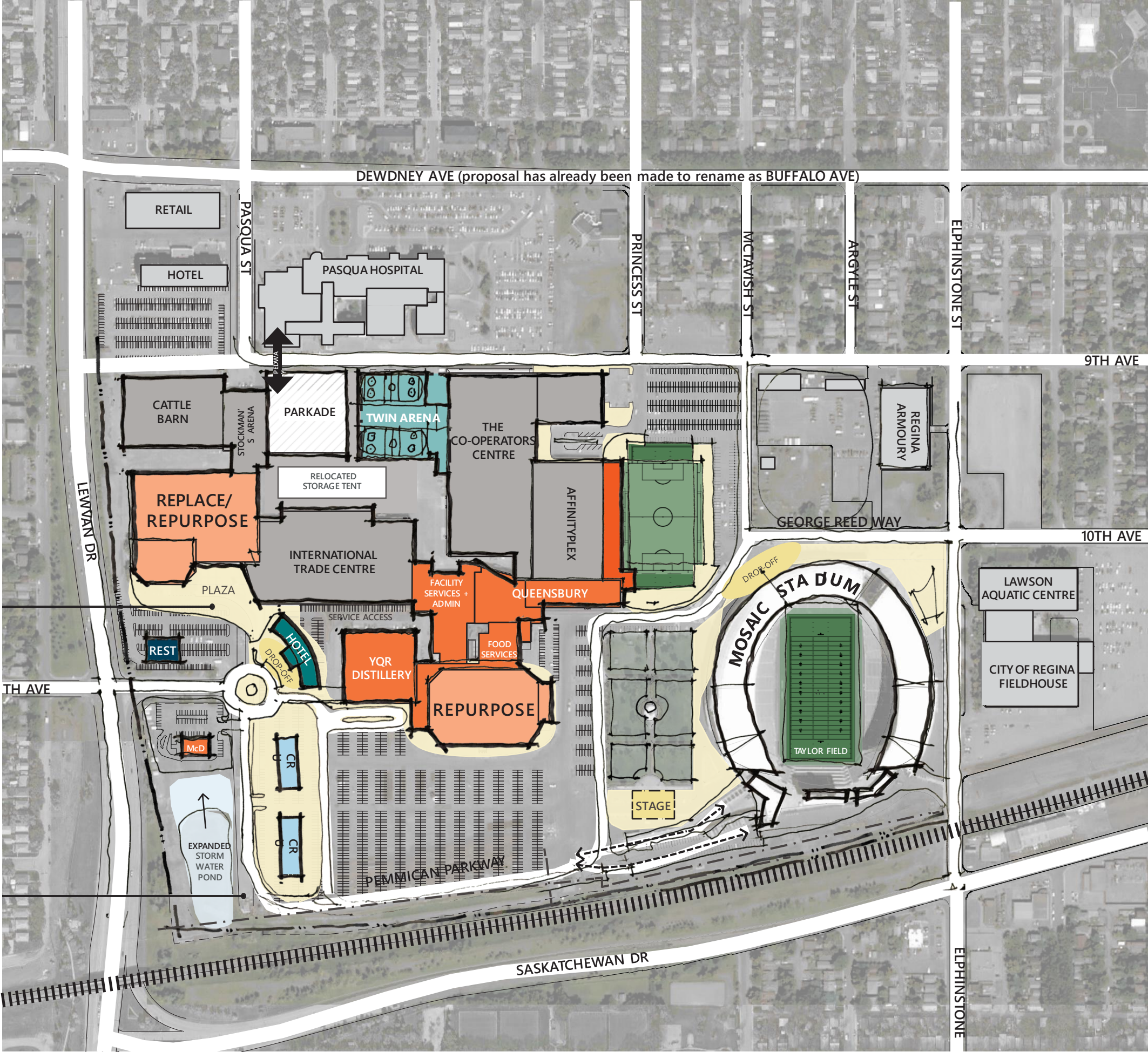


## Appendix-4



# OPTION 1:

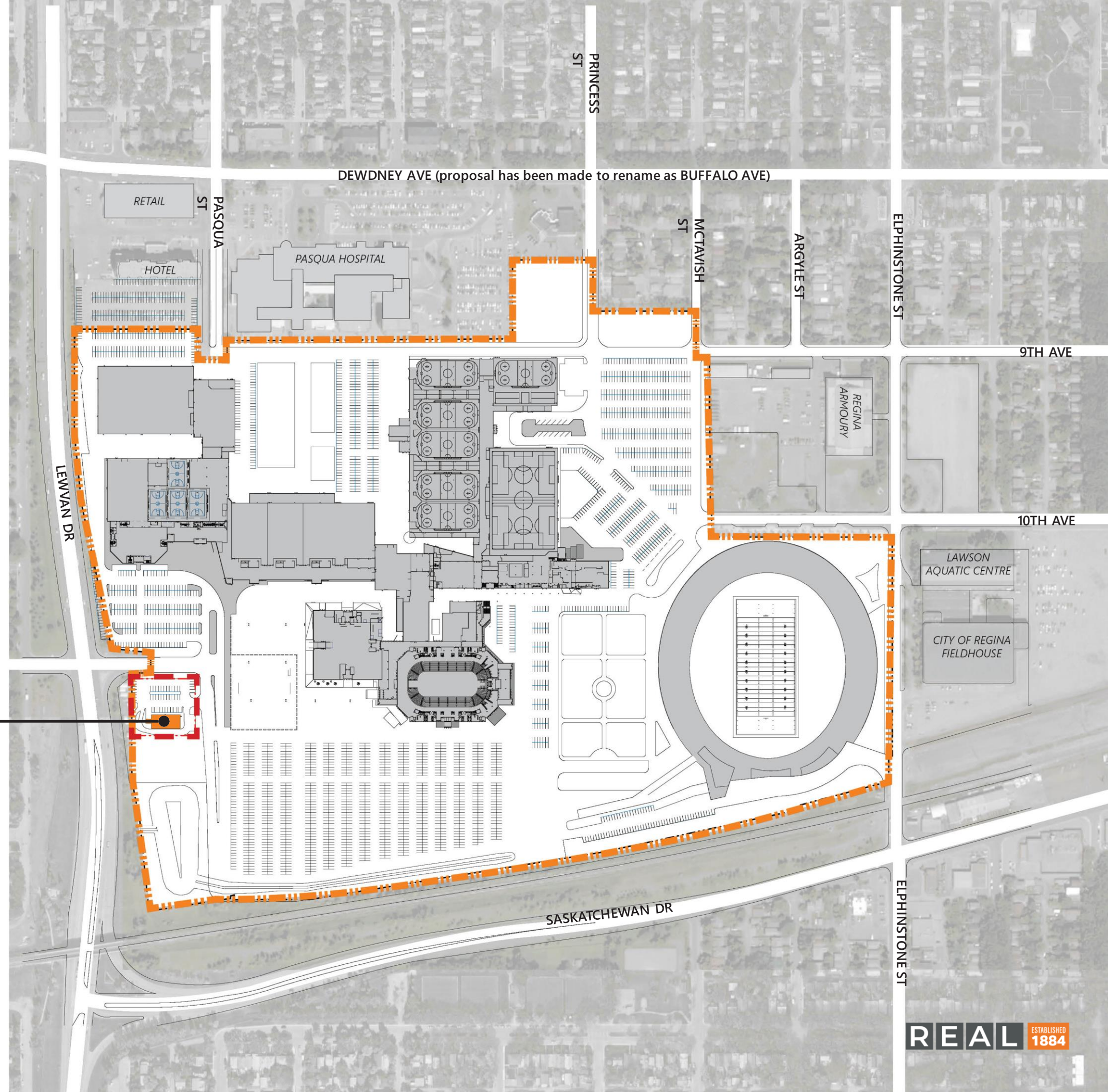
## RECREATIONAL FOCUS





OPTION 1  
**PHASE 1**  
2021

**MCDONALDS**  
**PARCELA**  
PARCEL AREA: 0.9 ACRES  
BUILDING FOOTPRINT: 4,750 SQ. FT.  
PARKING STALL COUNT: 46 STALLS





# OPTION 1

## PHASE 2

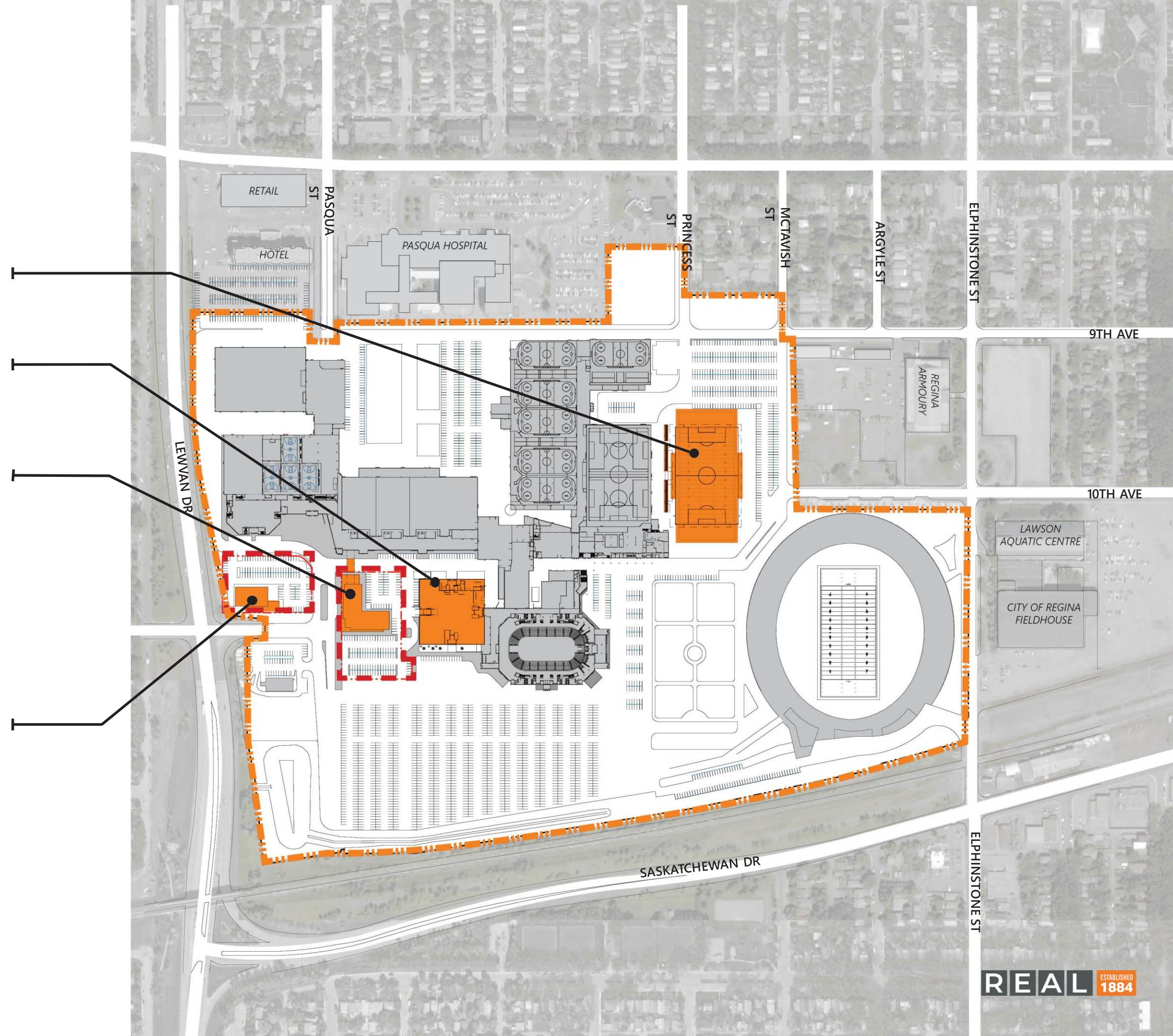
2022

**SOCCER PITCH**  
INCLUDES 500 PERSON CAPACITY FIELD  
LEVEL BLEACHERS

**YQR DISTILLERY**  
NEW TENANT SPACE 40,000 SQ. FT.  
ADDITIONAL COMMON EVENT SPACE

**HOTEL**  
INCLUDING PEDWAY CONNECTION TO ITC  
**PARCEL B**  
PARCEL AREA: 1.9 ACRES  
BUILDING FOOTPRINT: 20,900 SQ. FT.  
PARKING STALL COUNT: 155 STALLS

**RESTAURANT**  
**PARCEL C**  
PARCEL AREA: 1.4 ACRES  
BUILDING FOOTPRINT: 8000 SQ. FT.  
PARKING STALL COUNT: 109 STALLS





## OPTION 1

# PHASE 3

2023 - 2024

### **SOCCKER SUPPORT BLDG.**

BUILDING FOOTPRINT: 12,500 SQ. FT.  
INCLUDES LOCKER ROOMS, SUITE PREMIUM SEATING  
AND SPECTATOR SEATING (ADDITIONAL 1,150 SEATS)

### **RING ROAD DEVELOPMENT**

#### **CRU**

##### **PARCEL E**

PARCEL AREA: 1.2 ACRES  
BUILDING FOOTPRINT: 14,530 SQ. FT.  
PARKING STALL COUNT: 94 STALLS

#### **CRU**

##### **PARCEL D**

PARCEL AREA: 1.0 ACRES  
BUILDING FOOTPRINT: 7,850 SQ. FT.  
PARKING STALL COUNT: 54 STALLS

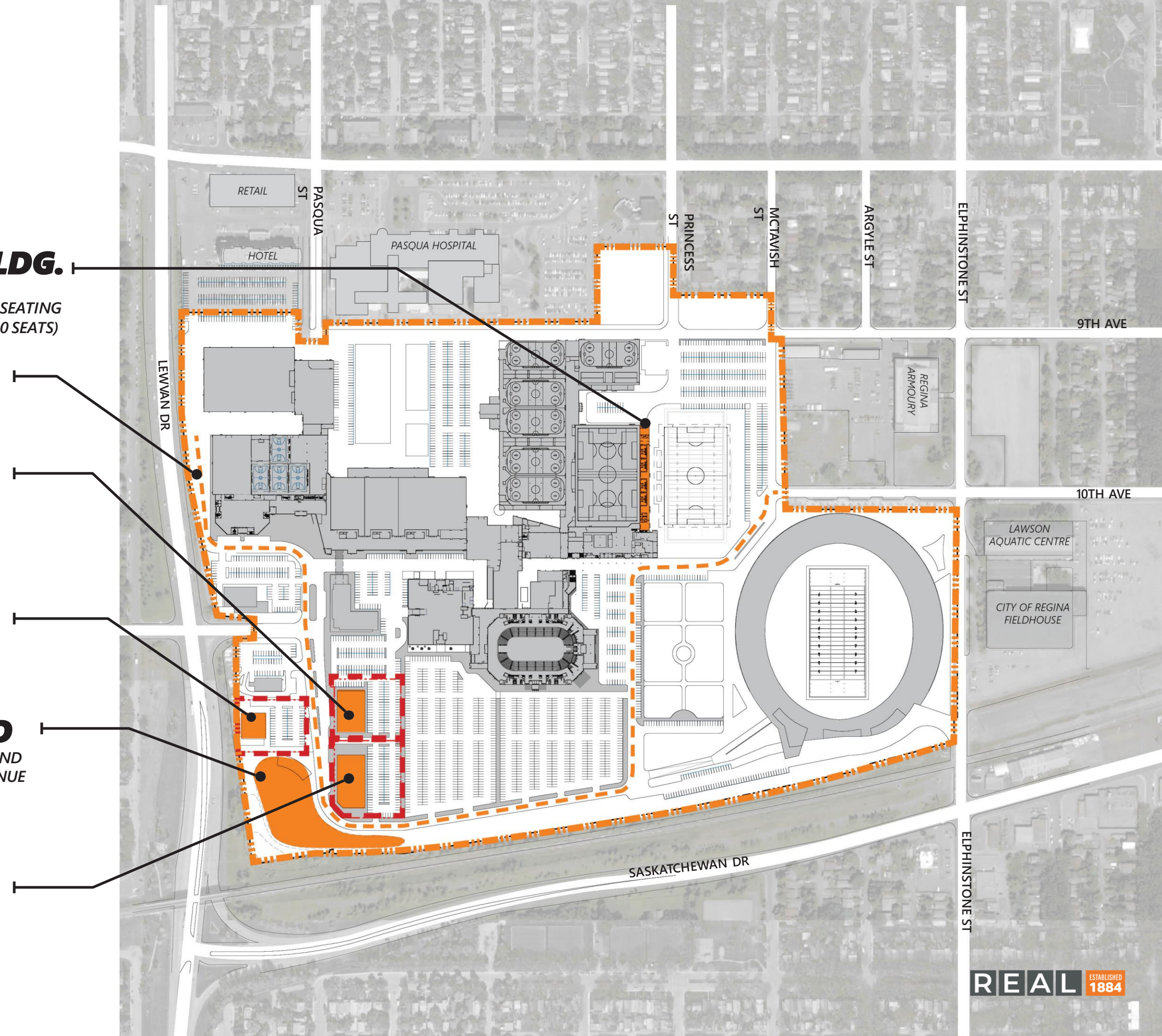
### **STORMWATER POND**

REPROFILING STORMWATER DETENTION POND  
INTO AN OUTDOOR PUBLIC GATHERING VENUE  
- INCLUDES CONSTRUCTION OF A STAGE

#### **CRU**

##### **PARCEL F**

PARCEL AREA: 1.5 ACRES  
BUILDING FOOTPRINT: 18,200 SQ. FT.  
PARKING STALL COUNT: 103 STALLS





OPTION 1  
**PHASE 4**  
2024 - 2026

**OPPS CENTRE**

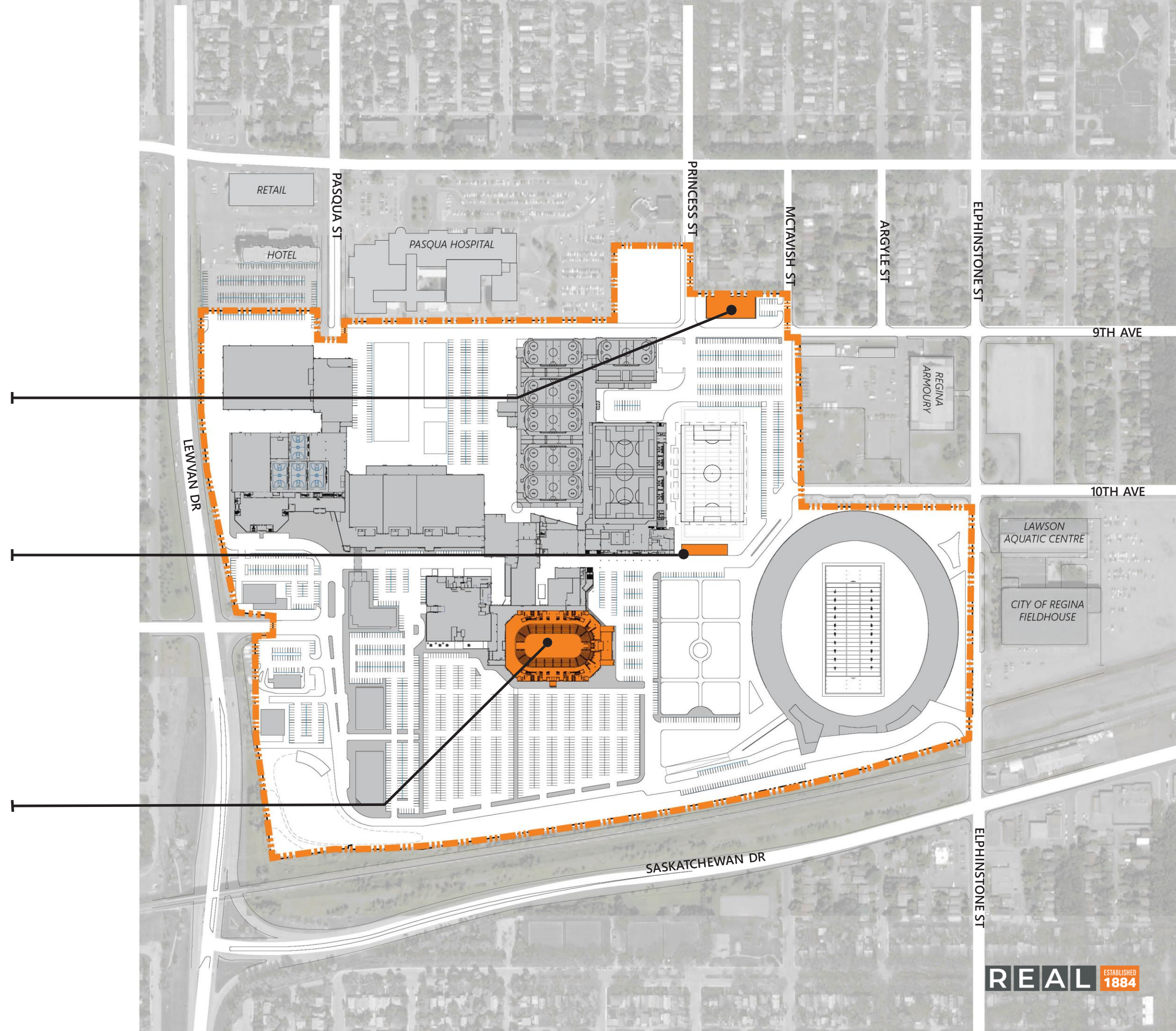
BUILDING FOOTPRINT: 13,950 SQ.FT.  
PARKING STALL COUNT: 14 STALLS

**ADMINISTRATIVE  
BUILDING**

BUILDING FOOTPRINT: 6,450 SQ.FT.

**BRANDT CENTRE**

INTERIOR RE-PURPOSED INTO SPORT  
COURTS FOR RECREATIONAL USE



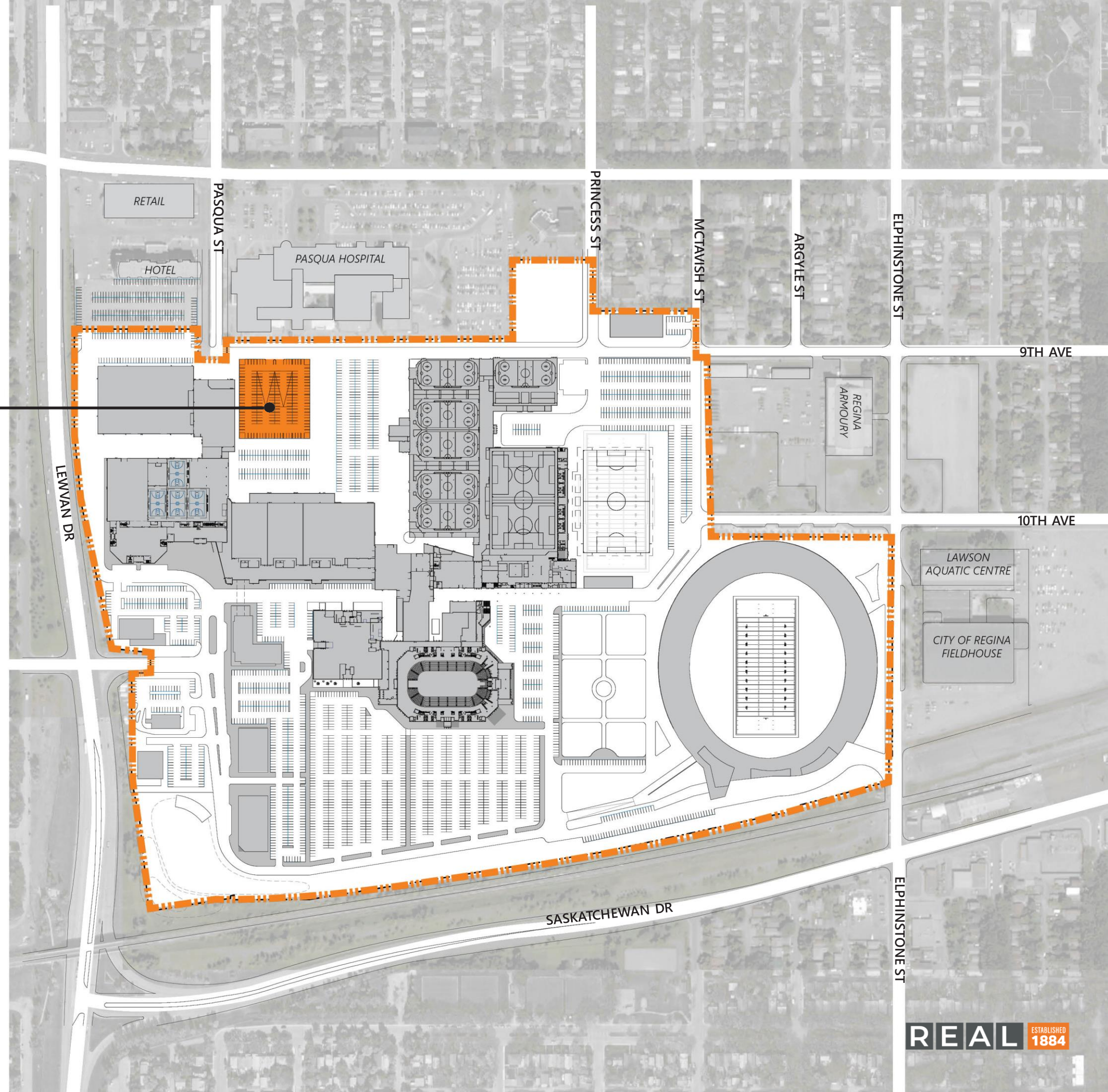


OPTION 1  
**PHASE 5**  
2026 - 2028

**NEW PARKADE**

BUILDING FOOTPRINT: 63,390 SQ. FT.

PARKING STALL COUNT:  
186 STALLS PER FLOOR X 4 FLOORS =  
744 TOTAL STALLS



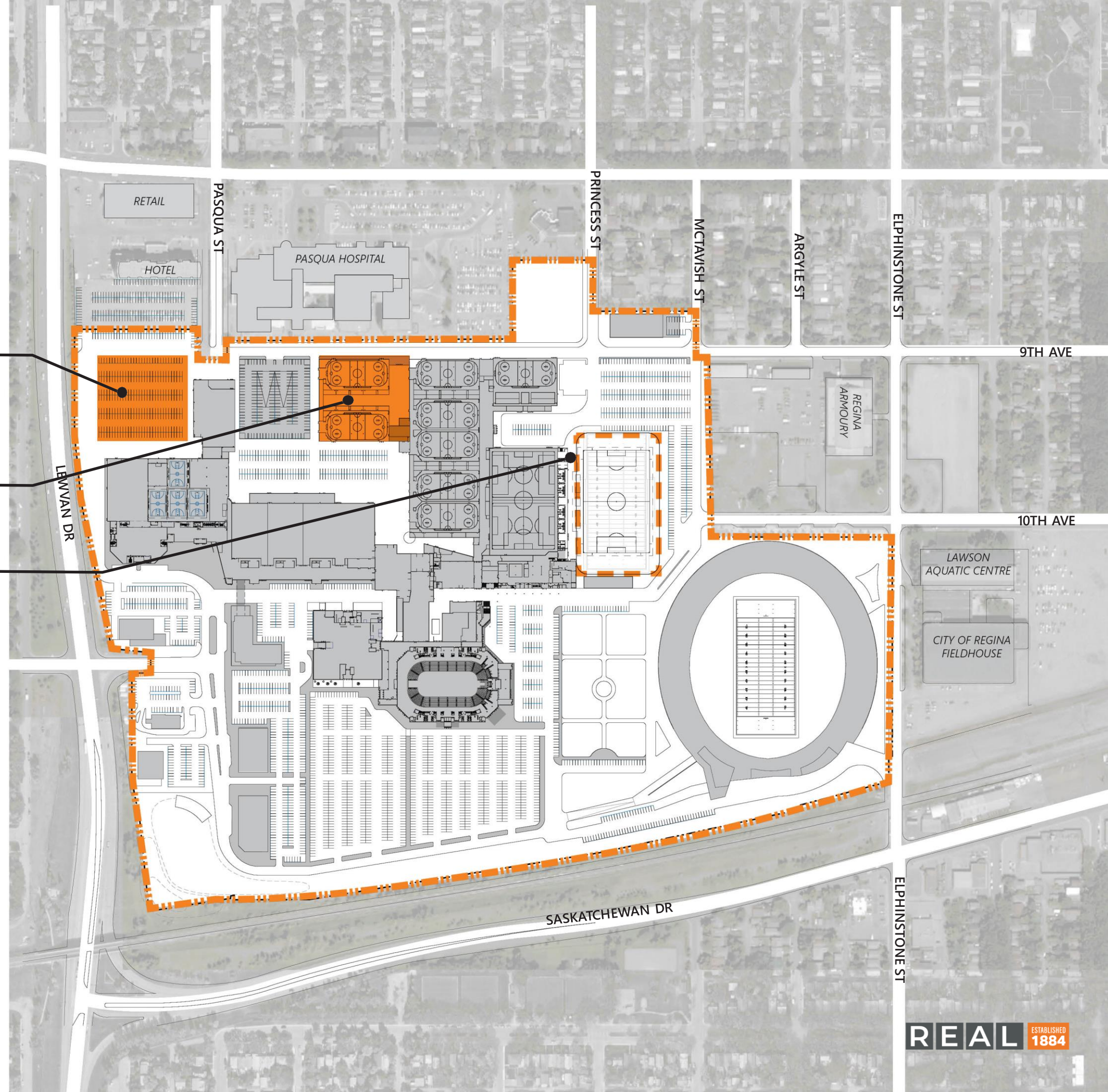


OPTION 1  
**PHASE 6**  
2030

**SURFACE PARKING**  
DEMOLITION OF CATTLE BARN AND  
REPLACING WITH SURFACE PARKING  
+/- 280 STALLS

**NEW TWIN ARENA**  
BUILDING FOOTPRINT: 77,950 SQ. FT.

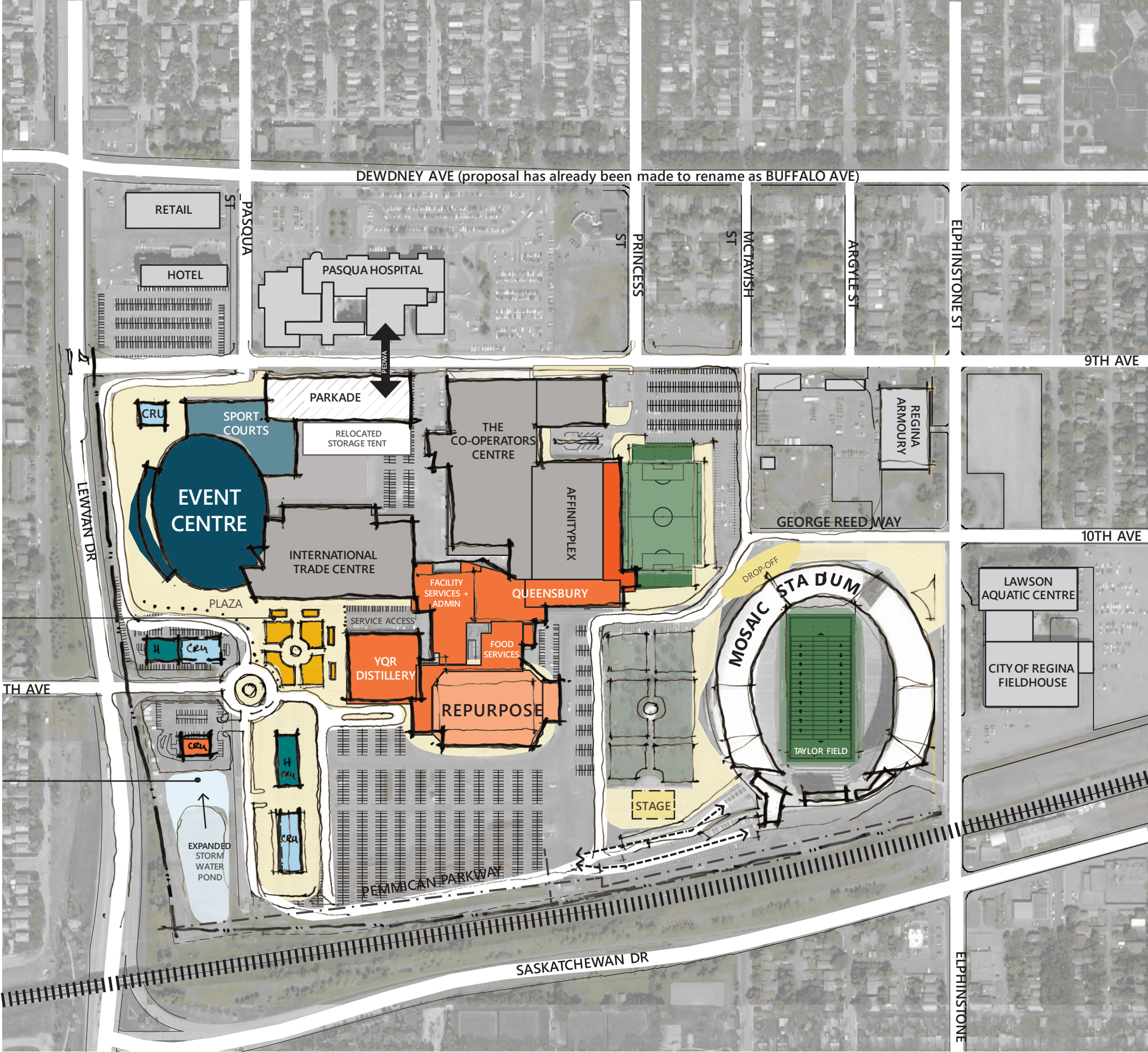
**SOCCER DOME**  
DOME OVER OUTDOOR SOCCER PITCH  
ALLOWS FOR YEAR-ROUND USE





# OPTION 2:

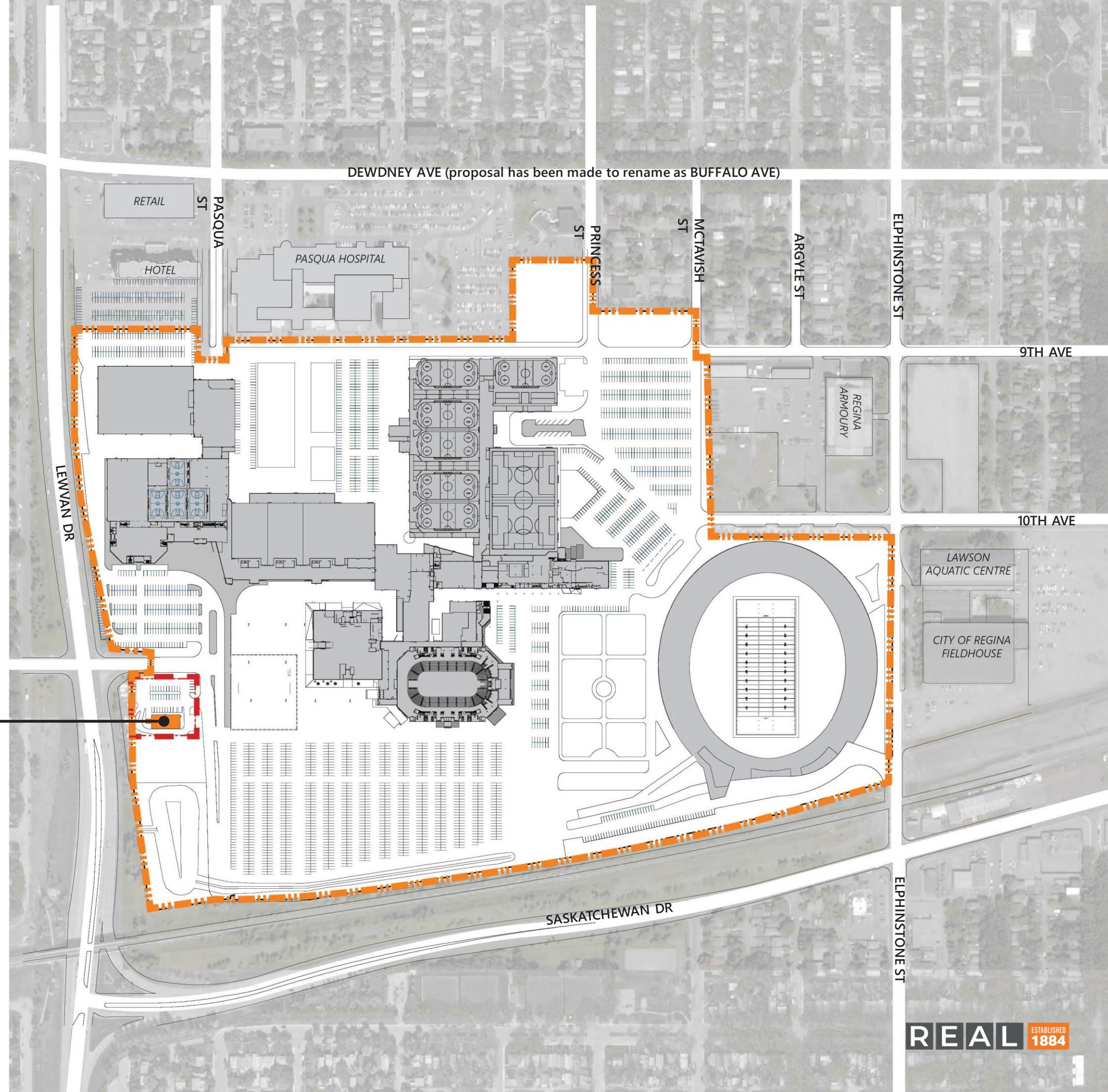
## LIVE EVENT AND SPORT TOURISM





OPTION 2  
**PHASE 1**  
2021

**MCDONALDS**  
**PARCELA**  
PARCEL AREA: 0.9 ACRES  
BUILDING FOOTPRINT: 4,750 SQ. FT.  
PARKING STALL COUNT: 46 STALLS





# OPTION 2 PHASE 2

2022

## SOCCKER PITCH

INCLUDES 500 PERSON CAPACITY FIELD  
LEVEL BLEACHERS

## YQR DISTILLERY

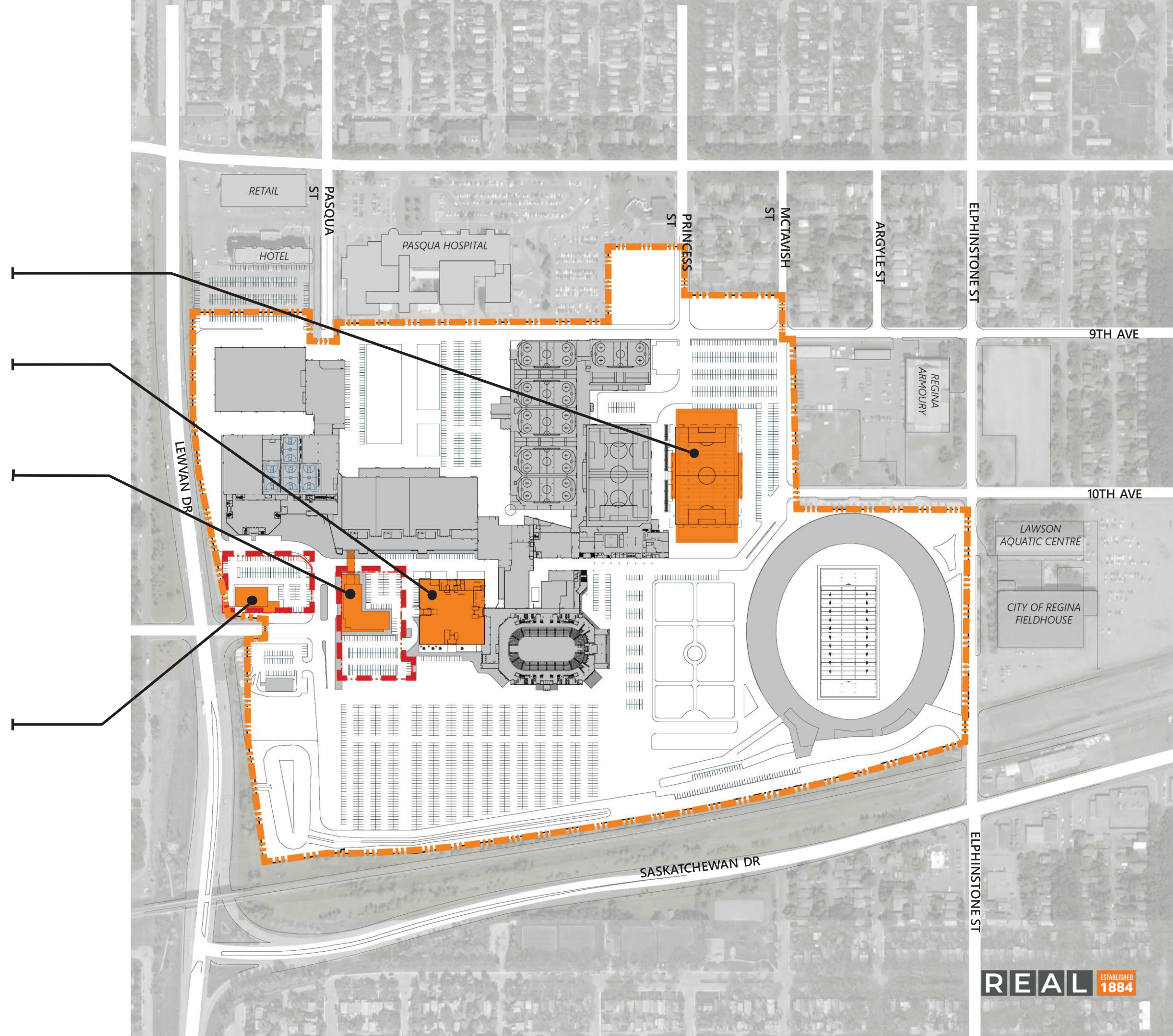
NEW TENANT SPACE 40,000 SQ. FT.  
ADDITIONAL COMMON EVENT SPACE

## HOTEL

INCLUDING PEDWAY CONNECTION TO ITC  
**PARCEL B**  
PARCEL AREA: 1.9 ACRES  
BUILDING FOOTPRINT: 20,900 SQ. FT.  
PARKING STALL COUNT: 155 STALLS

## RESTAURANT

**PARCEL C**  
PARCEL AREA: 1.4 ACRES  
BUILDING FOOTPRINT: 8,000 SQ. FT.  
PARKING STALL COUNT: 109 STALLS





# OPTION 2 PHASE 3

2023 - 2024

## SOCCKER SUPPORT BLDG.

BUILDING FOOTPRINT: 12,500 SQ. FT.  
INCLUDES LOCKER ROOMS, SUITE PREMIUM SEATING  
AND SPECTATOR SEATING (ADDITIONAL 1,150 SEATS)

## RING ROAD DEVELOPMENT

### CRU

#### PARCEL E

PARCEL AREA: 1.2 ACRES  
BUILDING FOOTPRINT: 14,530 SQ. FT.  
PARKING STALL COUNT: 94 STALLS

### CRU

#### PARCEL D

PARCEL AREA: 1.0 ACRES  
BUILDING FOOTPRINT: 7,850 SQ. FT.  
PARKING STALL COUNT: 54 STALLS

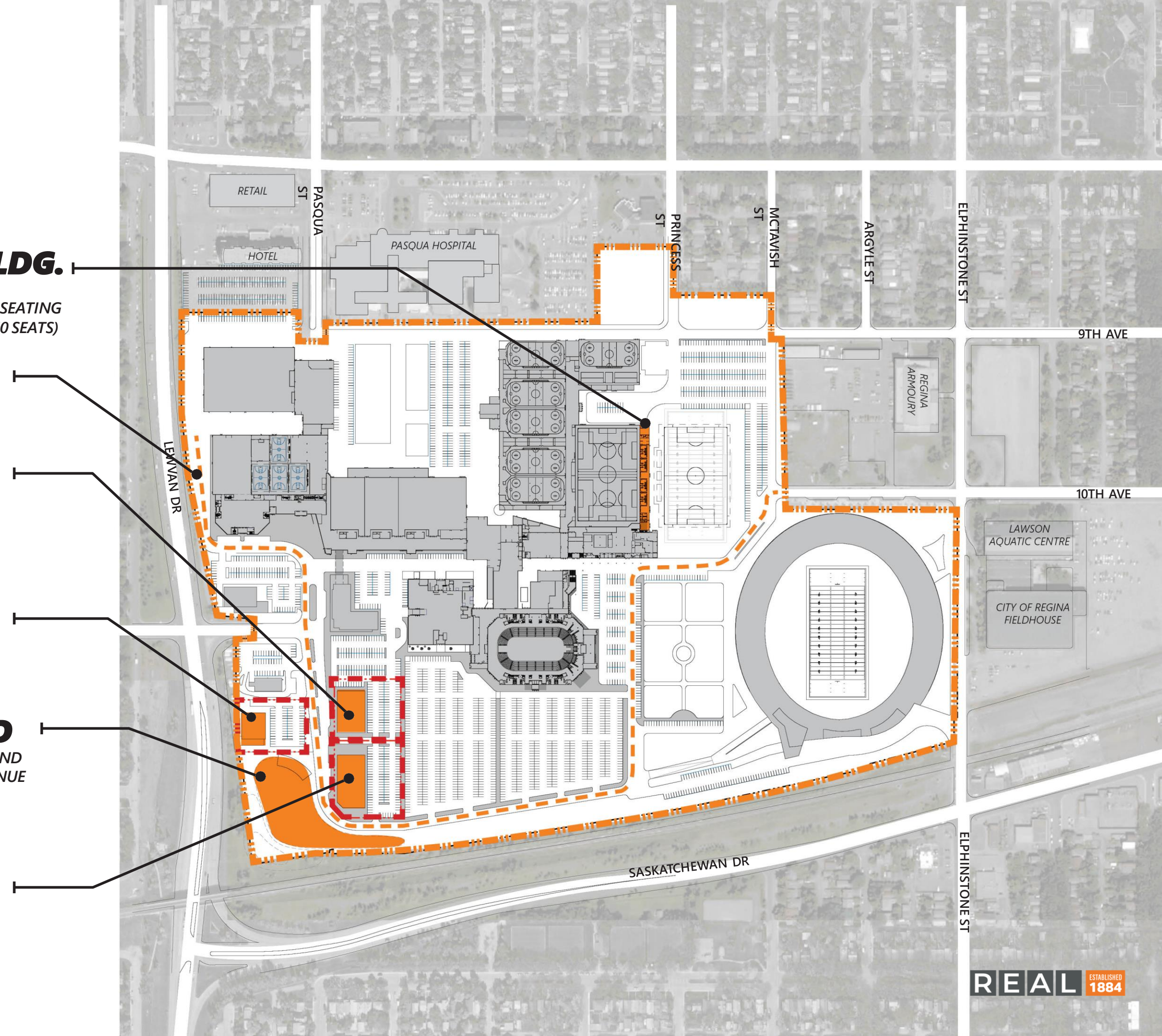
## STORMWATER POND

REPROFILING STORMWATER DETENTION POND  
INTO AN OUTDOOR PUBLIC GATHERING VENUE  
- INCLUDES CONSTRUCTION OF A STAGE

### CRU

#### PARCEL F

PARCEL AREA: 1.5 ACRES  
BUILDING FOOTPRINT: 18,200 SQ. FT.  
PARKING STALL COUNT: 103 STALLS





# OPTION 2

## PHASE 4

2024 - 2026

### OPPS CENTRE

BUILDING FOOTPRINT: 13,950 SQ.FT.  
PARKING STALL COUNT: 14

### PARKADE

BUILDING FOOTPRINT: 70,250 SQ.FT.  
PARKING STALL COUNT:  
204 STALLS PER FLOOR X 4 FLOORS =  
816 TOTAL STALLS

### ITC 2.0

BUILDING FOOTPRINT: 57,350 SQ.FT.

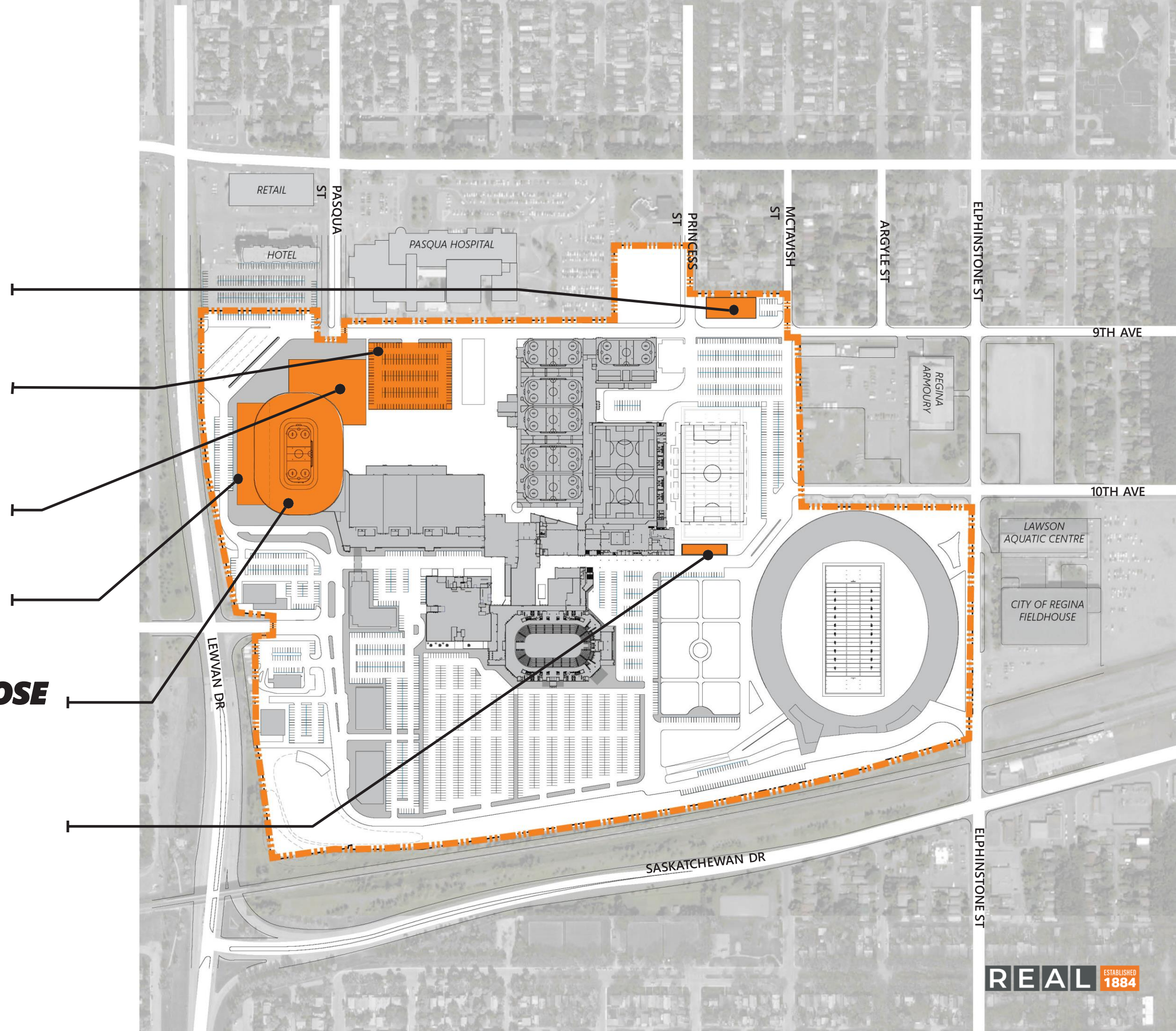
### LEASABLE SPACE

BUILDING FOOTPRINT: 41,450 SQ.FT.

### NEW MULTI-PURPOSE EVENT FACILITY

### ADMINISTRATIVE BUILDING

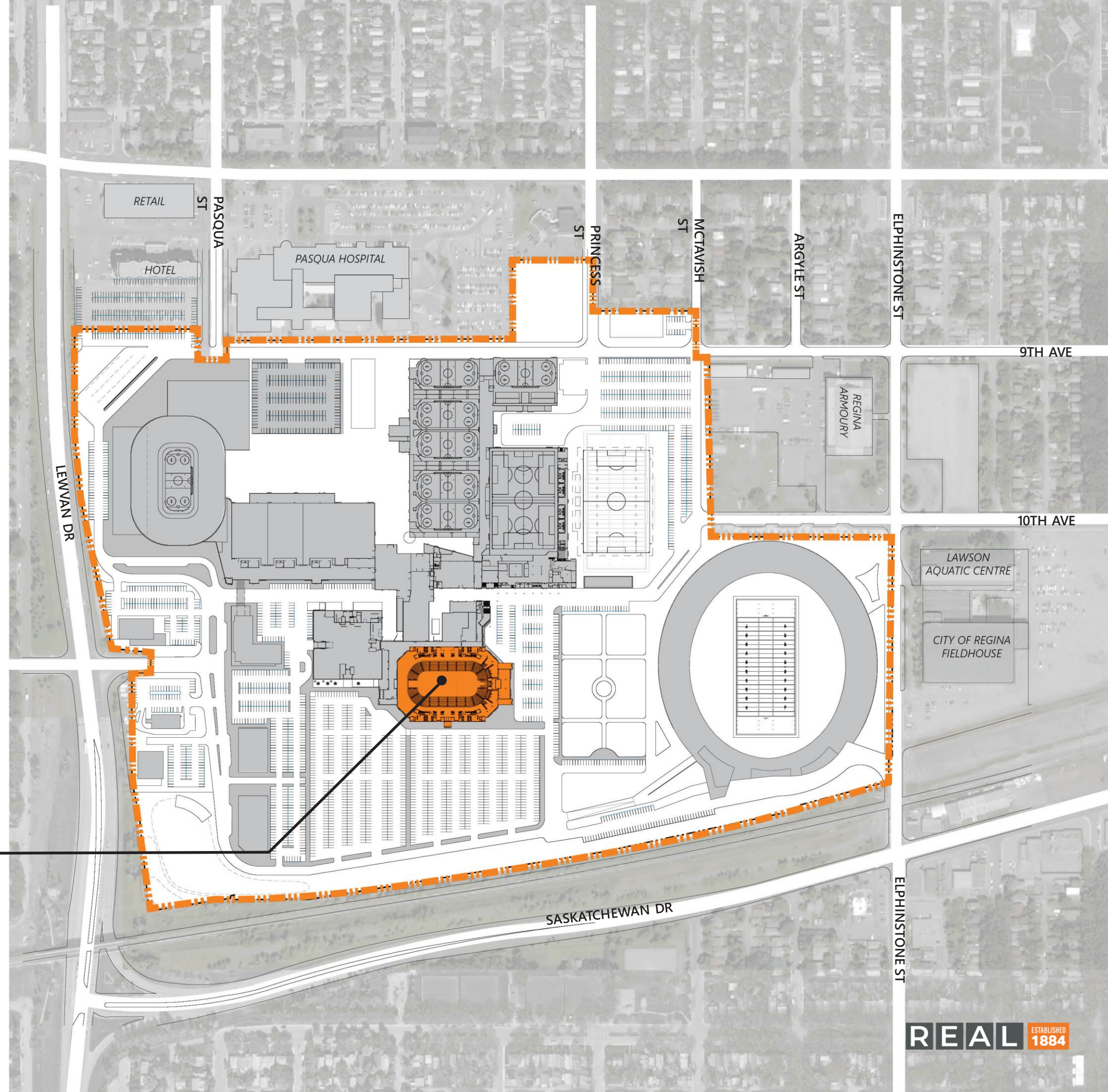
BUILDING FOOTPRINT: 6,450 SQ.FT.





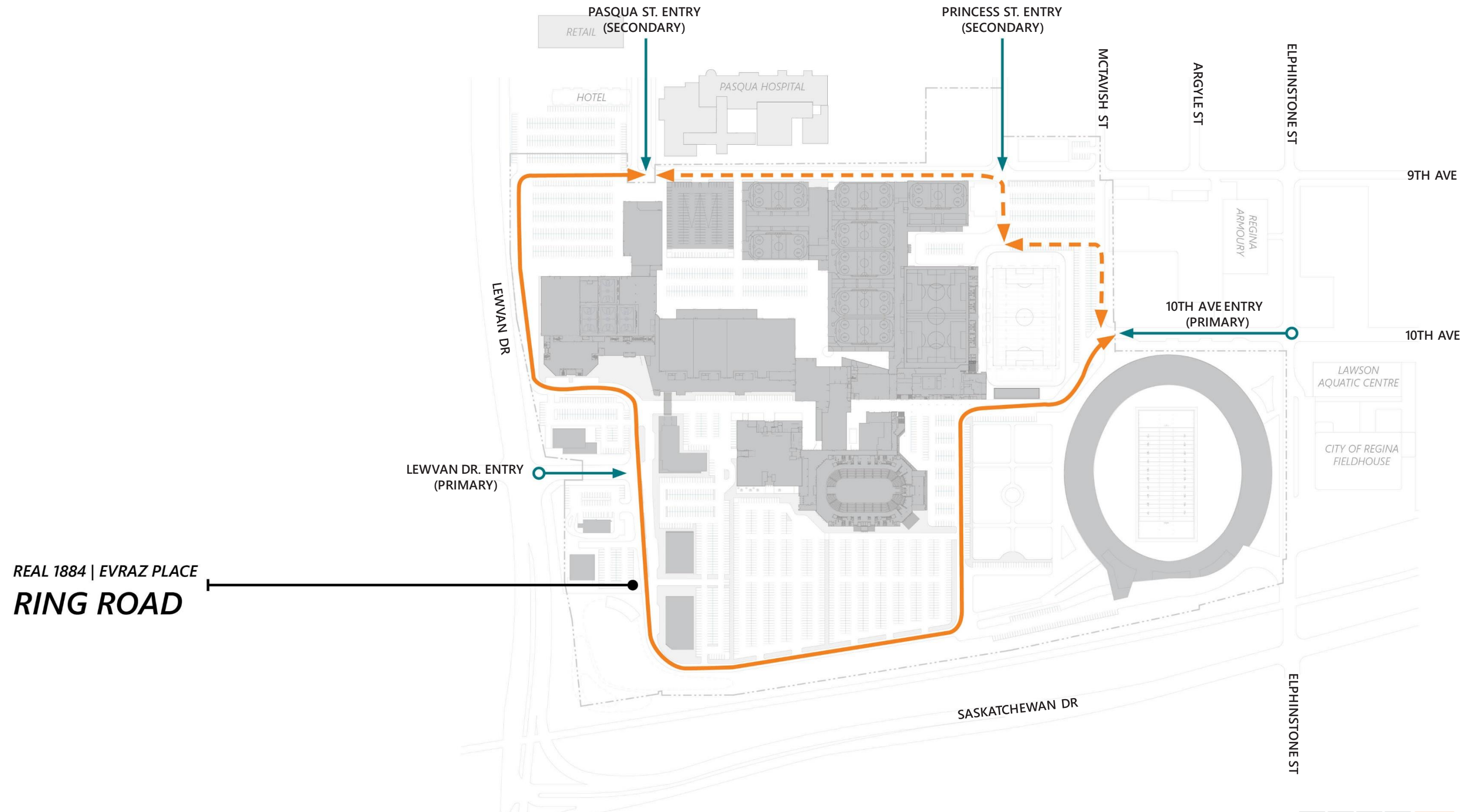
OPTION 2  
**PHASE 5**  
2026 - 2028

**BRANDT CENTRE**  
INTRERIOR RE-PURPOSED INTO SPORT  
COURTS FOR RECREATIONAL USE








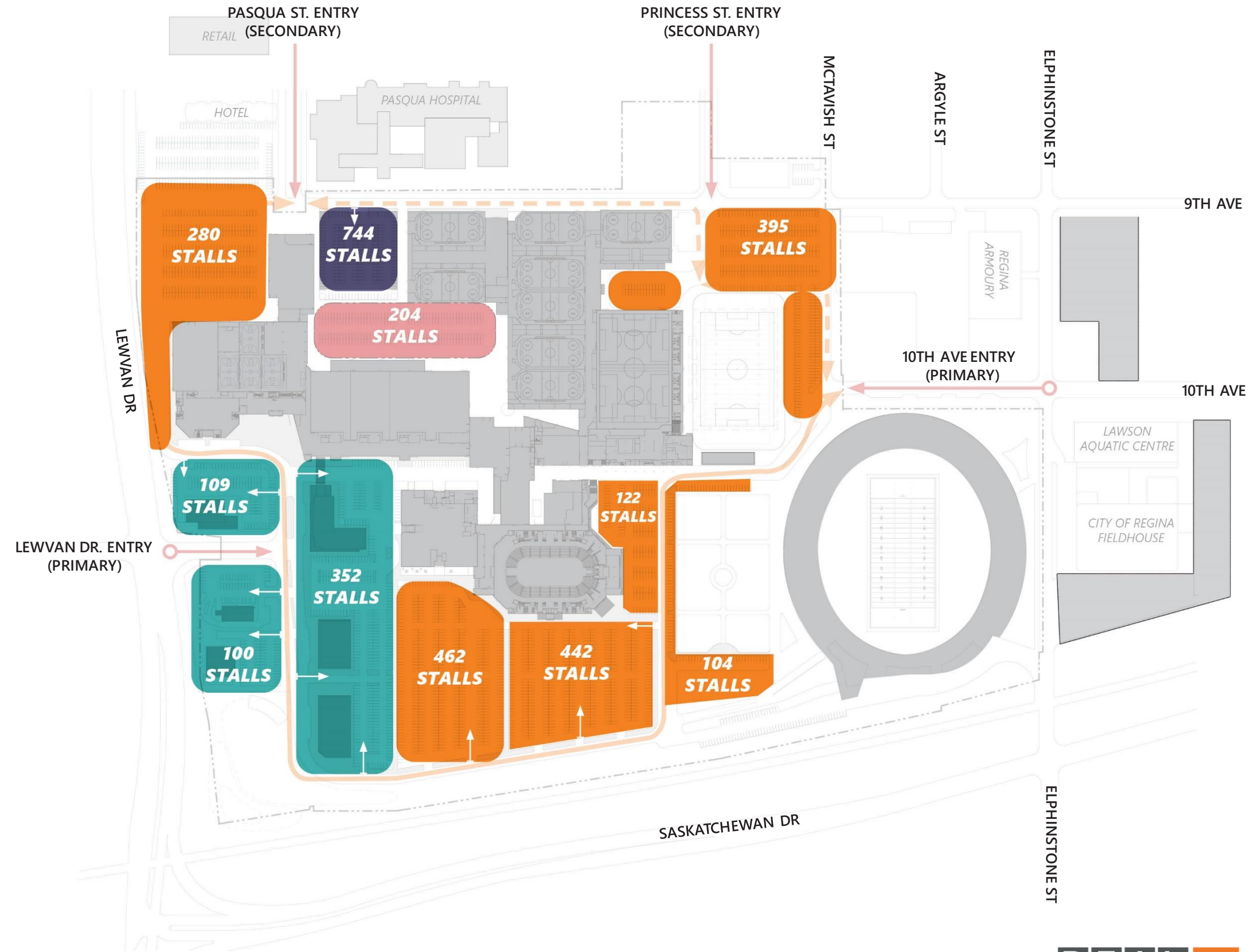


# TRANSPORTATION



# PARKING POOLS

-  PUBLIC RETAIL / GENERAL SURFACE PARKING
-  REAL 1884 VENUE SURFACE PARKING
-  PARKADE PARKING
-  OVERFLOW PARKING
-  STAFF / SERVICE PARKING



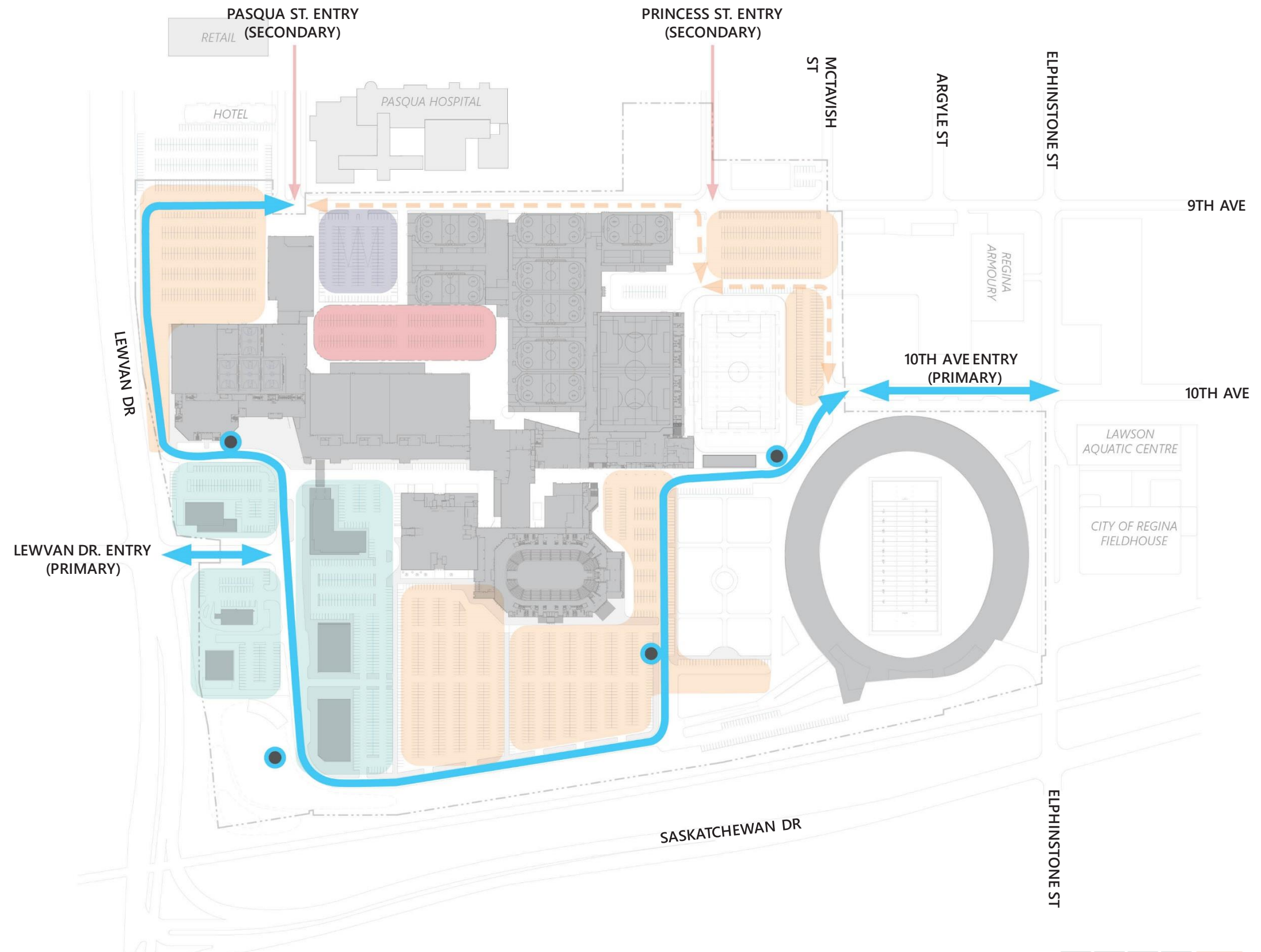
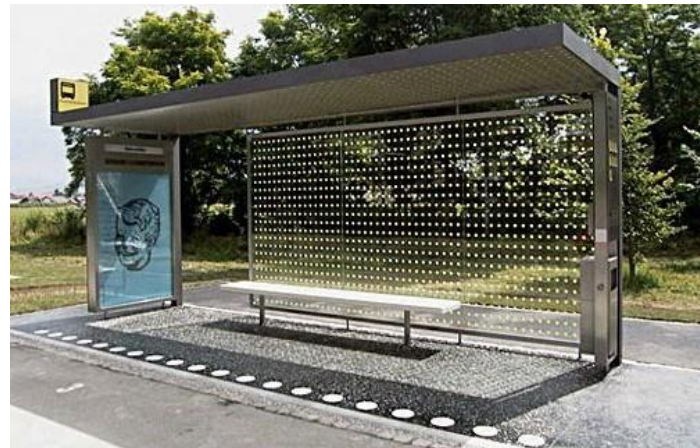


# TRANSIT NODES

## TRANSIT STOPS:

- 1: CANADA CENTRE STOP
- 2: RETAIL SOUTH / DRYPOND AMPHITHEATRE STOP
- 3: CORONATION SOUTH STOP
- 4: MOSAIC STADIUM / FC REGINA STOP

## TRANSIT STOP PRECEDENT:





# IDENTITY GATEWAYS and CONTROL POINTS

## LEGEND

### IDENTITY GATEWAY

- A TRANSITION THRESHOLD BETWEEN RETAIL BRANDING AND SITE-SPECIFIC REAL 1884 BRANDING.

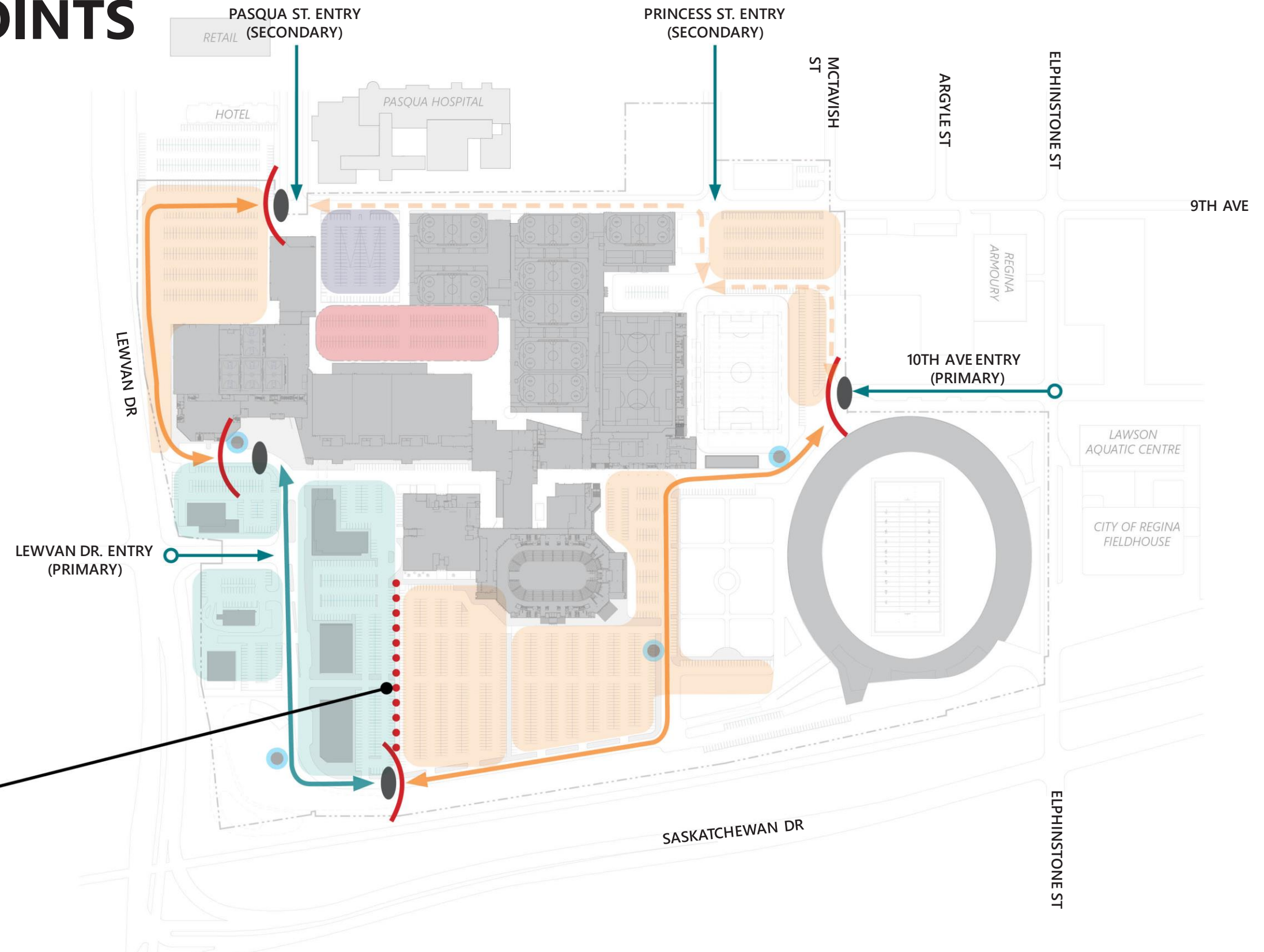
### CONTROL POINT

- POINT (SUCH AS A GATE) WHERE ENTRY MAY BE RESTRICTED OR CONTROLLED DEPENDING ON EVENT OR PROGRAM.

### TRANSIT STOP



PEDESTRIAN BOULEVARD / REAL 1884 COLLONADE VISUALLY SEPARATES RETAIL AREA FROM OTHER REAL 1884 ATTRACTIONS

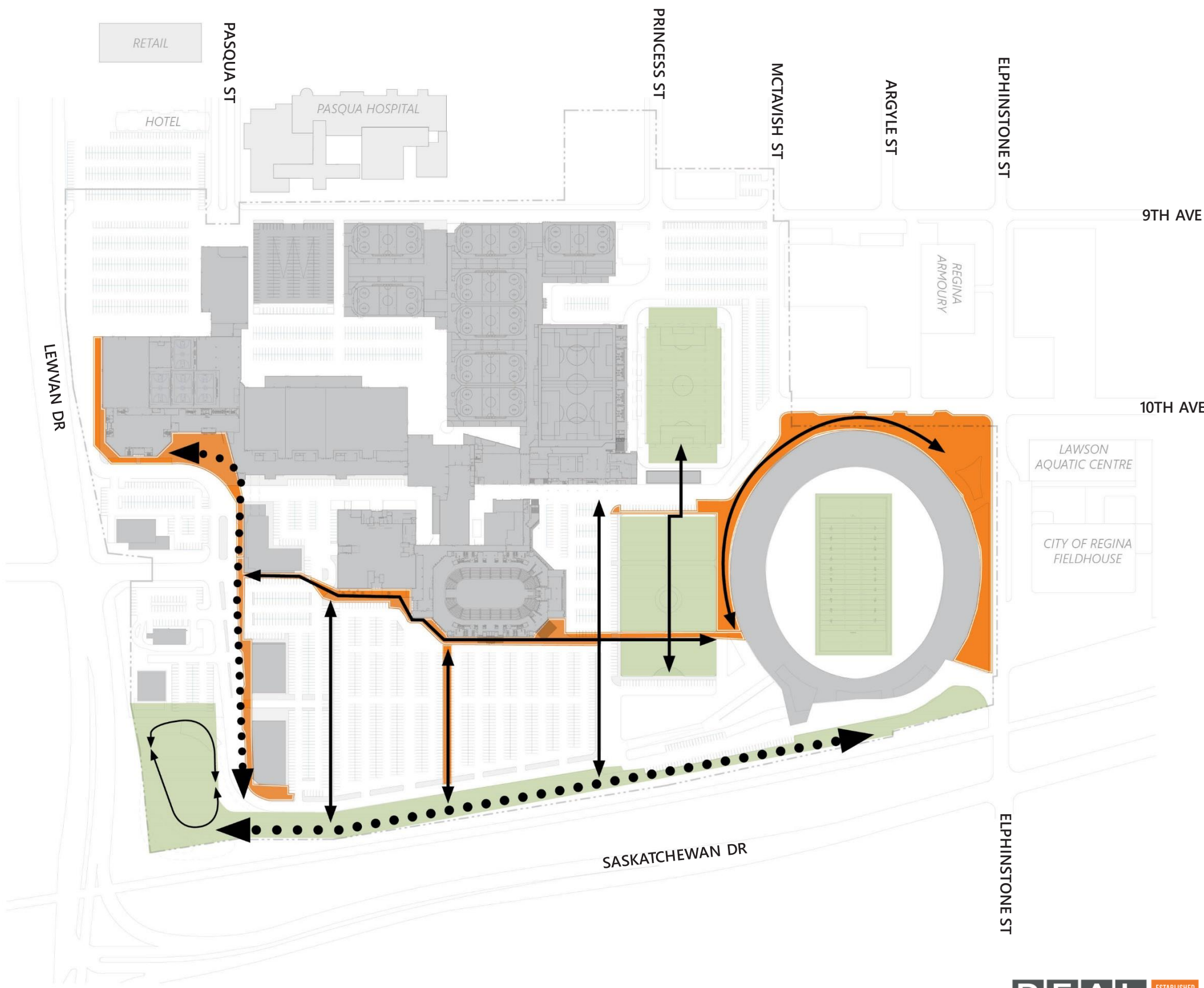




# PEDESTRIAN CIRCULATION

## URBAN FEATURE SPACE

REAL 1884 BRANDED PROMENADE AND PLAZA SPACES





# OUTDOOR EVENT SPACES

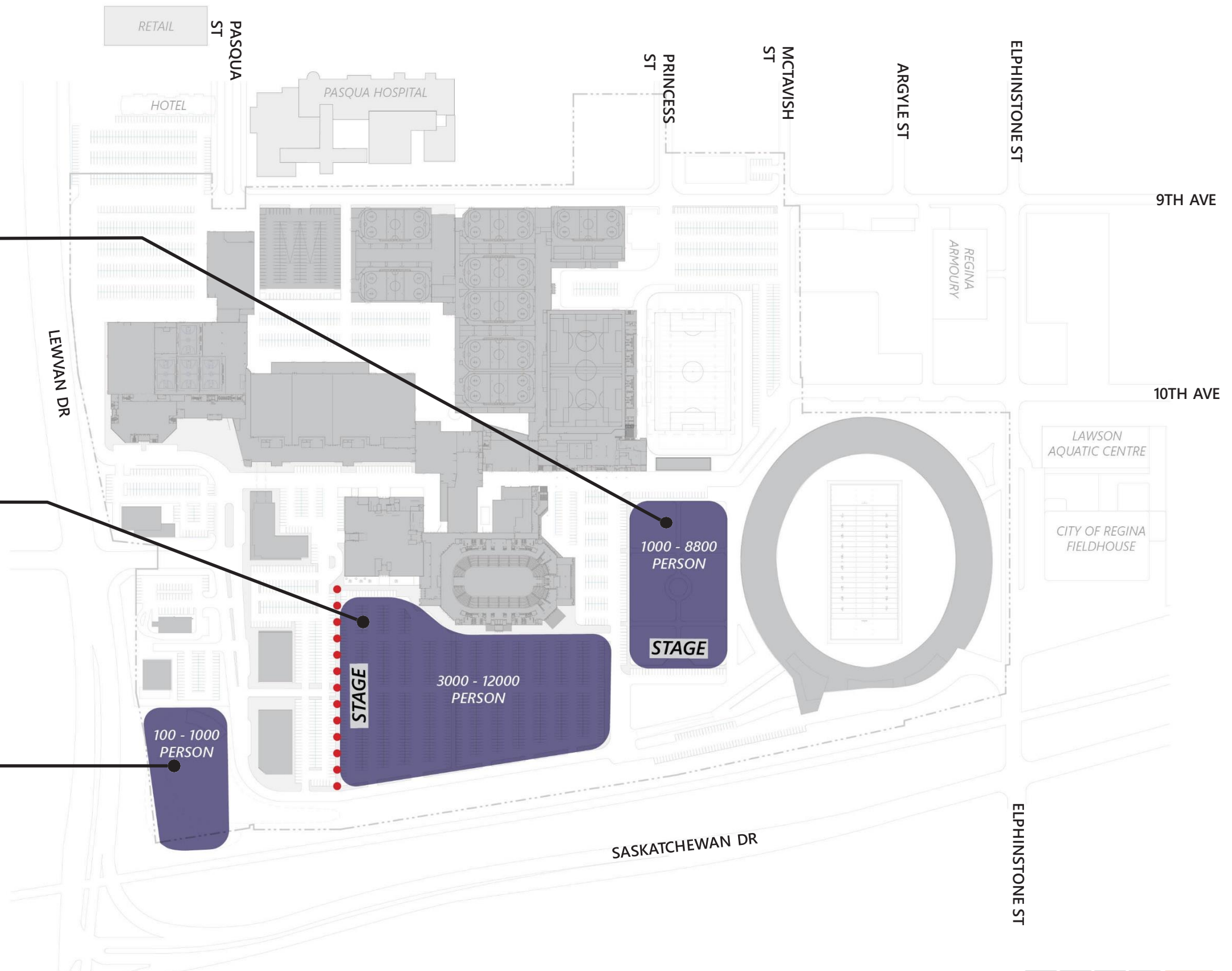
**EVENT SPACE 01 - CONFEDERATION PARK**  
1000 - 8800 PERSON CAPACITY



**EVENT SPACE 02**  
3000 - 12000 PERSON CAPACITY

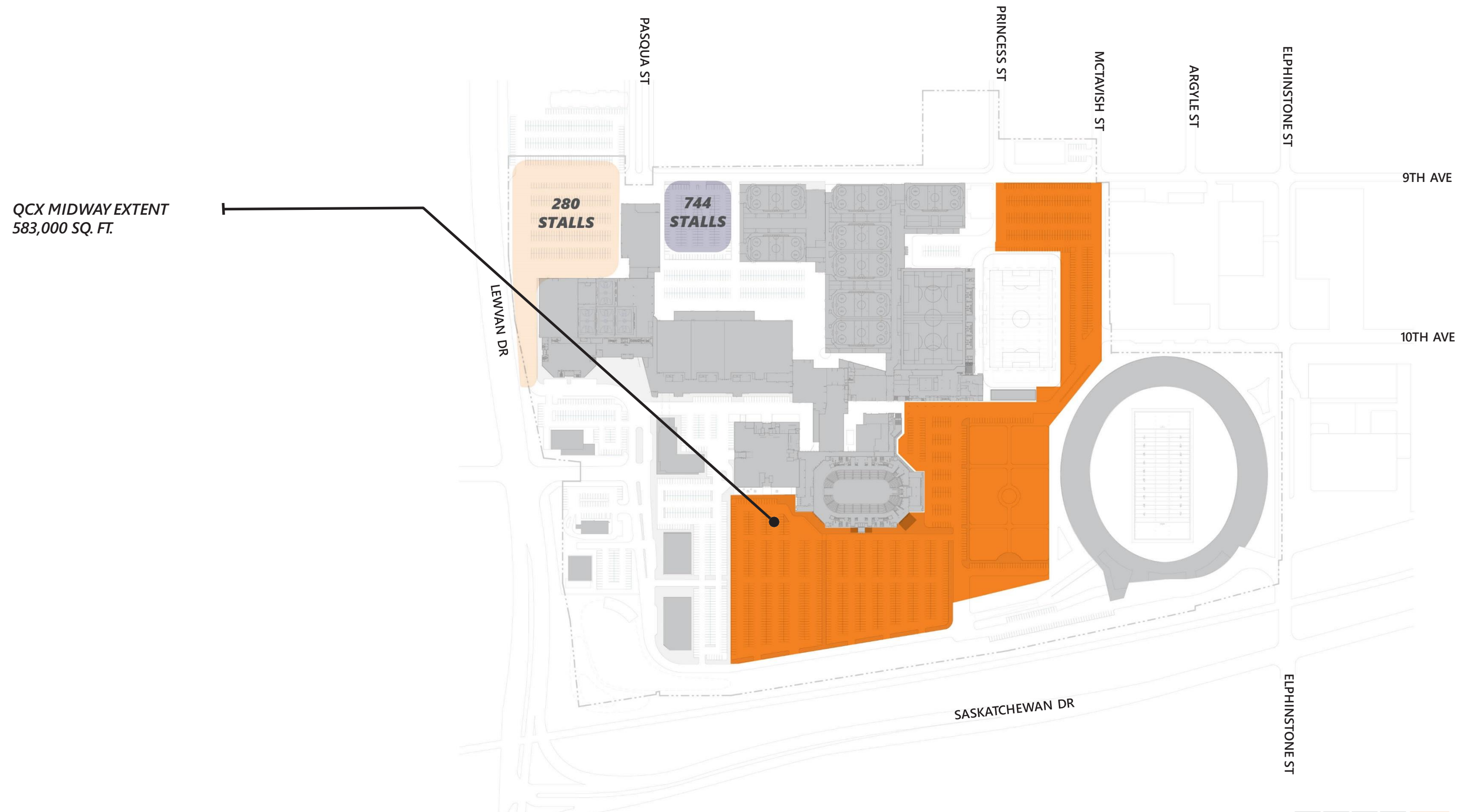


**EVENT SPACE 03**  
100 - 1000 PERSON CAPACITY





# QUEEN CITY EXHIBITION



# CANADIAN WESTERN AGRIBITION



Public Notice Comments

Response	Number of Responses	Issues Identified
<i>Completely opposed</i>		
<i>Accept if many features were different</i>	1	<ul style="list-style-type: none"> <li>- New buildings will reduce available parking space and limit access to activities that were central to the creation of the exhibition grounds</li> <li>- Increased traffic on the grounds requires traffic signage and controls to improve safety</li> </ul>
<i>Accept if one or two features were different</i>		
<i>I support this proposal</i>	1	

**1. Loss of Parking Space***Administration's Response:*

A preliminary review of the existing parking stalls on Regina Exhibition Grounds indicates an oversupply of parking. Additionally, REAL's Master Site Plan option 2 shows a total of 3,314 stalls (existing + future) including building a new 744 stall parking structure to compensate for the lost parking stalls. Replacing additional parking stalls with new buildings would be consistent with the City's Official Community Plan and Transportation Master Plan policies that encourage vibrant, walkable and compact development.

**2. Traffic Control and Safety***Administration's Response:*

REAL's proposed Master Site Plan indicates taking several measures for increasing traffic and pedestrian safety on site. These include developing a ring road around the area to reduce thorough traffic, multiple control points where entry may be restricted or controlled depending on the event, and a pedestrian boulevard to separate walkers from the traffic.