

BYLAW NO. 2020-33

THE REGINA ZONING AMENDMENT BYLAW, 2020 (No. 9)

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THE COUNCIL OF THE CITY OF REGINA ENACTS AS FOLLOWS:

- 1 The purpose of this Bylaw is to amend Bylaw 2019-19, being *The Regina Zoning Bylaw, 2019* to improve clarity in regulations, fix errors and correct zoning designations on maps.
- 2 The authority for this Bylaw is section 46 of *The Planning and Development Act, 2007*.
- 3 Schedule “A” of *The Regina Zoning Bylaw, 2019*, is amended in the manner set forth in this Bylaw.
- 4 Chapter 1, Part 1D, subsection 1D.1.2(2) is repealed and the following substituted:
  - “ (2) Further to and without limiting the generality of subsection (1), the Development Officer is delegated the authority and responsibility to exercise and carry out any and all of the powers and duties conferred or imposed on council as an approving authority pursuant to *The Planning and Development Act, 2007*, including those respecting the following:
    - (a) approval of plans and drawings in a Direct Control District;
    - (b) Architectural Control District development permits; and
    - (c) approval of development agreements for any application deemed considered necessary to be entered into for the purpose of carrying out the provisions of *The Planning and Development Act, 2007* or this Bylaw.”
- 5 Chapter 1, Part 1E, section 1E.1.2 is amended by adding the following subsection after subsection 1.2(3):
  - “ (4) The Development Officer may require an applicant to enter into a development agreement with the City and register an interest against the title of the affected lands for the purpose of carrying out the provisions in *The Planning and Development Act, 2007* or in this Bylaw as a condition of a development permit.”

Approved as to form this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
City Solicitor

6 Chapter 1, Part 1E, is amended by adding the following section after section 1E.1.10:

**“1.11 Issuance of Development Permits**

- (1) Where an application for a development permit is made with respect to a permitted use, the Development Officer shall issue a development permit where the development is in conformity with this Bylaw and *The Planning and Development Act, 2007*.
- (2) Where an application for a development permit is made with respect to a discretionary use, the Development Officer shall process the application in accordance with the procedure prescribed in subpart 1E.3 and, if approved, the Development Officer shall issue a development permit subject to any applicable development standards or conditions prescribed in accordance with *The Planning and Development Act, 2007* and this Bylaw.
- (3) The Development Officer may refuse to issue a development permit if the proposed development or use contravenes or will, upon completion, be in contravention of any federal or provincial laws or any City bylaw.
- (4) Issuance of a development permit does not relieve an applicant from compliance with any other legislation, bylaws or other encumbrances that may apply or be attached to the subject property.”

7 Chapter 1, Part 1E, subpart 1E.2 is amended by repealing clause 1E.2.1(c) and substituting the following:

- “
- (c) whether the land use, building or structure will:
    - (i) serve a principal use, building or structure;
    - (ii) be subordinate or incidental in nature, scale and impact to the principal use, building or structure; and
    - (iii) contribute to the comfort, convenience, safety or necessity of the principal use, building or structure it serves; and
  - (d) the use made of adjacent lots and potential for adverse impacts related to nuisances, public health and safety, or neighbourhood character.”

8 Chapter 1, Part 1E, clause 1E.3.4(a) is repealed and the following substituted:

“ (a) the Development Officer shall review the discretionary use application for completeness in accordance with the requirements of sections 1E.3.2 and 1E.3.3;”

9 Chapter 1, Part 1E, sections 1E.3.6 to 1E.3.10 are repealed and the following substituted:

**“3.6 DISCRETIONARY USE REVIEW BY PLANNING COMMISSION**

The Regina Planning Commission shall review the report of the Development Officer in relation to an application for a development permit made with respect to a discretionary use and shall make a recommendation to City Council.

**3.7 DISCRETIONARY USE REVIEW AND DECISION BY CITY COUNCIL**

City Council shall review recommendation of the Regina Planning Commission made pursuant to section 3.6 and may:

- (a) Request further information from the Regina Planning Commission, the Development Officer, or the applicant;
- (b) approve the application as originally proposed;
- (c) approve the application with modifications or conditions in accordance with section 3.8;
- (d) reject the application.

**3.8 DISCRETIONARY USE DEVELOPMENT PERMIT – ADDITIONAL CONDITIONS**

In approving a discretionary use application, City Council may impose conditions to a discretionary use development permit regarding development orientation, site layout, setbacks, landscaping, buffering, screening, and/or performance standards that, in the opinion of the City, will:

- (a) achieve City vision, goals and policies as communicated in the *Official Community Plan* and other policy documents;

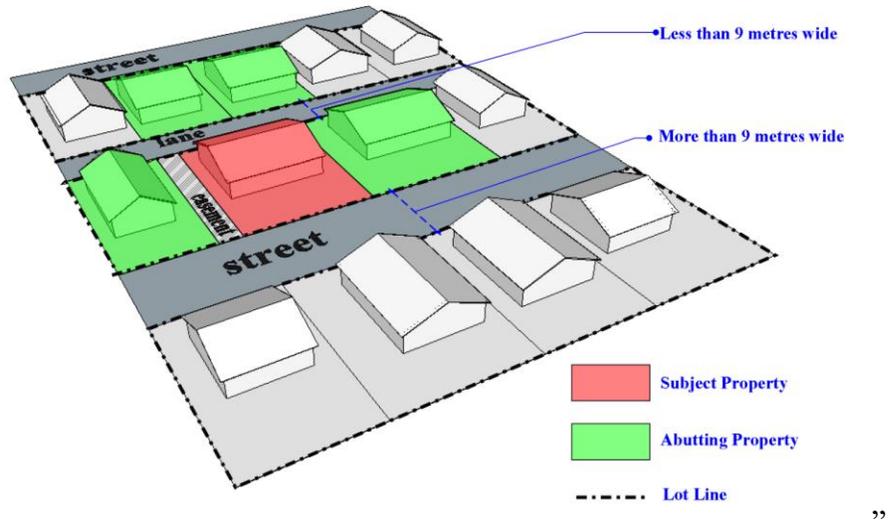
- (b) mitigate nuisances and aesthetic concerns caused by activities pertaining to land use and land use intensities;
- (c) prevent potential nuisance(s) from extending beyond a lot's boundaries;
- (d) address potential concerns regarding hazardous material(s) and dangerous goods including the production, processing, use, storage or transportation of hazardous material(s) and dangerous goods;
- (e) protect heritage developments, Direct Control Districts, Sensitive Lots or Major Roadways; or
- (f) address other potential concerns and considerations of a lot, a location, or a development, raised during review and public participation process associated with the proposed discretionary use.

### **3.9 EFFECT OF DENIAL**

No development proposal for which a discretionary use application has been rejected shall be resubmitted for a period of 12 months from the date of the rejection, except on grounds that the proposal has been modified to constitute a new discretionary use proposal as determined by the Development Officer.”

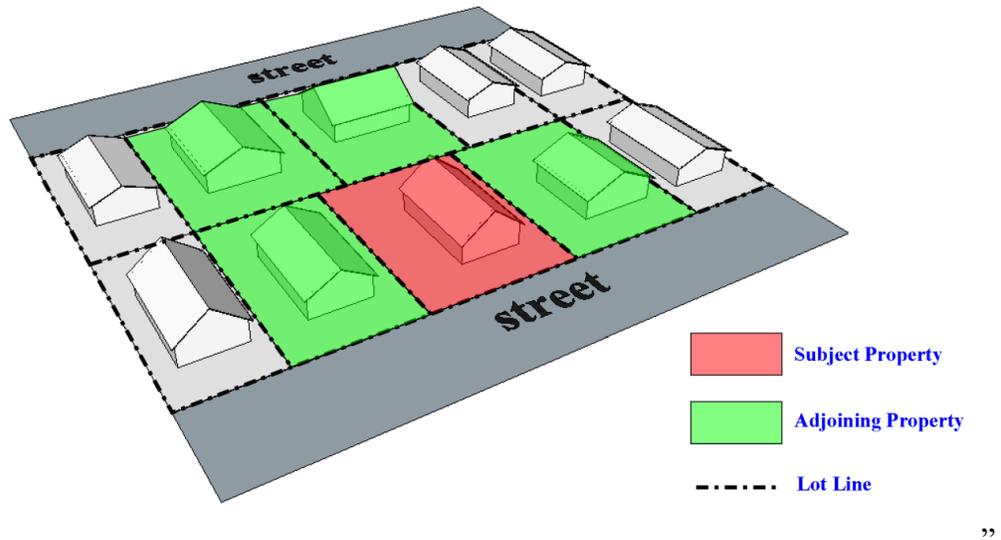
- 10 Chapter 1, Part 1F, Table 1T.2: PARKING EXCEPTION AREAS, section (row) T2.1 is amended by striking out “public amenity” wherever it appears and in each case substituting “public amenity or payment-in-lieu”.
- 11 Chapter 1, Part 1F, subsection 1F.2.6(8) is amended by striking out “Even” and substituting “Every”.
- 12 Chapter 2, Part 2B is amended by repealing Figure 2B.F1 and substituting the following:

“



13 Chapter 2, Part 2B is amended by repealing Figure 2B.F3 and substituting the following:

“



14 Chapter 2, Part 2B is amended by repealing the definition “Agriculture, Indoor” and substituting the following:

“**Agriculture, Indoor**” means a land use where the farming of plants takes place indoors, excluding the processing of the plants other than preparation for distribution. Excludes the growth of cannabis and the farming of livestock.”

- 15 Chapter 2, Part 2B is amended by adding the following definition in alphabetical order:

“**Agriculture, Cannabis**” means a land use that is used for growing of cannabis, excluding processing of the plants other than drying and preparation for distribution. Excludes the Agriculture, Indoor land use.”

- 16 Chapter 2, Part 2B is amended by repealing the definition “**end unit**” and substituting the following:

“**end unit**” means a unit in a Building, Row with a wall adjoining a side yard (see figure 2B.F6).”

- 17 Chapter 2, Part 2B is amended by repealing the definition “**gross floor area**” and substituting the following:

“**gross floor area**” means the total floor area in a building or structure that is primarily indoors, measured between the exterior faces of the exterior walls of the building or structure at the level of each storey:

- (a) at and above grade, in the case of Dwellings in residential zones or below, at and above grade, in the case of all other uses; and
- (b) excludes the area used for off-street unloading, parking, mechanical equipment, stairways or shafts.”

- 18 Chapter 2, Part 2B is amended by repealing the definition “**height**” and substituting the following:

“**height**” means the vertical distance measured from grade level to the higher of:

- (a) the highest point to the top of the flat roof structure; or
- (b) the mean level between the top of the highest exterior wall plate and the ridge of a pitched roof (see figure 2B.F10).”

- 19 Chapter 2, Part 2B is amended by repealing the definition “**sensitive lot**” and substituting the following:

“**sensitive lot**” means a lot that may have specific concerns with nearby land uses or land use intensities and warrants a more thorough review and includes any of the following:

(a) a lot zoned:

- (i) Residential;
- (ii) Mixed-Use;
- (iii) Institutional; or
- (iv) Direct Control District;

(b) land that is not under the jurisdictional authority of the City; or

(c) a lot containing a land use or development that the City considers sensitive to potential impacts or nuisances of a proposed discretionary use.”

20 Chapter 2, Part 2B is amended by repealing the definition “**urban forest**”.

21 Chapter 2, Part 2B is amended by repealing the definition “**unit**” and substituting the following:

“**unit**” means: an entire building, or an enclosed area in a building, excluding a dwelling unit, that can be accessed without requiring or resulting in access to any other portions of the building other than a shared space.”

22 Chapter 3, Part 3A, Table 3A.T3: RESIDENTIAL NEIGHBOURHOOD ZONE DEVELOPMENT STANDARDS, subsection (row) T3.5(2) is amended by striking out “Total side yard” and substituting “Other side yard” and by striking out “1.65 metres” and substituting “1.2 metres”.

23 Chapter 3, Part 3A, Table 3A.T6: RESIDENTIAL NEIGHBOURHOOD ZONE PARKING REQUIREMENTS, section (row) T6.8 is amended by striking out “total floor area” and substituting “gross floor area”.

- 24 Chapter 3, Part 3B, Table 3B.T3: RESIDENTIAL URBAN ZONE DEVELOPMENT STANDARDS, clause T3.5(1)(b) is amended by striking out “Total side yard” and substituting “Other side yard” and by striking out “1.2 metres” and substituting “0.75 metres”.
- 25 Chapter 3, Part 3B, Table 3B.T3: RESIDENTIAL URBAN ZONE DEVELOPMENT STANDARDS, clause T3.5(2)(b) is amended by striking out “Total side yard” and substituting “Other side yard” and by striking out “1.65 metres” and substituting “1.2 metres”.
- 26 Chapter 3, Part 3B is amended by adding the following section after section 3B.4.1:
- “4.1A FRONT YARD SETBACK EXCEPTIONS FOR LOTS ZONED RU – RESIDENTIAL URBAN**
- (1) Notwithstanding subsection 3B.T3.3(1), the minimum front yard setback to the garage portion of the proposed building on a lot zone RU – Residential Urban Zone that is located outside of the Residential Infill Development Overlay Boundary (Figure 8K.F12 in Chapter 8K – RID – Residential Infill Development Overlay) and was originally subdivided before January 1, 2020, may be changed to the greater of:
- (a) 3.0 metres from the front property line and 6.0 metres from the back of walk or curb;
- (b) the front yard setback to the non-garage portion and 6.0 metres from the back of walk or curb; or
- (c) the established front yard setback to the garage portion of the principal building on a next-door lot.”
- 27 Chapter 3, Part 3B, clause 3B.6.3(4)(a) is repealed and the following substituted:
- “ (a) where a lot backs onto a lane, vehicle access to the required parking stall shall be from the lane;”
- 28 Chapter 3, Part 3B, Table 3B.T6: RESIDENTIAL URBAN ZONE PARKING REQUIREMENTS, section (row) T6.8 is amended by striking out “total floor area” and substituting “gross floor area”.

29 Chapter 3, Part 3C, Table 3C.T1: RESIDENTIAL LOW-RISE ZONE BUILDING TYPES, section (row) T1.5 is repealed and the following substituted:

“

<b>T1.5</b>	Building, Stacked	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class; and                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>The minimum number of units in a Building, Stacked shall be two.</p>
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30 Chapter 3, Part 3C, Table 3C.T3: RESIDENTIAL LOW-RISE ZONE DEVELOPMENT STANDARDS, clause T3.5(2)(b) is amended by striking out “Total side yard” and substituting “Other side yard” and by striking out “1.2 metres” and substituting “0.75 metres”.

31 Chapter 3, Part 3C, Table 3C.T6: RESIDENTIAL LOW-RISE ZONE PARKING REQUIREMENTS, section (row) T6.8 is amended by striking out “total floor area” and substituting “gross floor area”.

32 Chapter 3, Part 3C, Table 3C.T7: RESIDENTIAL LOW-RISE ZONE TOTAL SITE LANDSCAPING REQUIREMENTS, section (row) T7.1 is repealed and the following substituted:

“

<b>T7.1</b>	<ul style="list-style-type: none"> <li>• Dwelling Unit (two or fewer per lot) or Dwelling, Group Care within a Building, Detached</li> </ul>	<p>Within two years of the issuance of an occupancy permit, the entirety of the front yard and side yards abutting a public street or public pathway must be landscaped, excluding:</p> <ul style="list-style-type: none"> <li>(a) a walkway; and</li> <li>(b) a driveway leading to an approved parking stall.</li> </ul>
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33 Chapter 3, Part 3C, Subpart 7.2 is amended by striking out “sections T7.1 and T7.2” and substituting “sections T7.1 and T7.3”.

34 Chapter 3, Part 3D, Table 3D.T1: RESIDENTIAL HIGH-RISE ZONE BUILDING TYPES, section (row) T1.5 is repealed and the following substituted:

“

<b>T1.5</b>	Building, Stacked	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>The minimum number of units in a Building, Stacked shall be three.</p>
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35 Chapter 3, Part 3D, Table 3D.T3: RESIDENTIAL HIGH-RISE ZONE DEVELOPMENT STANDARDS, clause T3.5(1)(b) is amended by striking out “total side yard” and substituting “other side yard” and by striking out “1.2 metres” and substituting “0.75 metres”.

- 36 Chapter 3, Part 3D, Table 3D.T6: RESIDENTIAL HIGH-RISE ZONE PARKING REQUIREMENTS, section (row) T6.8 is amended by striking out “total floor area” and substituting “gross floor area”.
- 37 Chapter 3, Part 3E, Table 3E.T2: RESIDENTIAL MANUFACTURED HOME ZONE LAND USES is amended by striking out “1ET2.3” and substituting “T2.3”.
- 38 Chapter 3, Part 3E, Table 3E.T3: RESIDENTIAL MANUFACTURED HOME ZONE DEVELOPMENT STANDARDS, clause T3.5(1)(b) is amended by striking out “total side yard” and substituting “other side yard” and by striking out “1.2 metres” wherever it appears and in each case substituting “0.75 metres”.
- 39 Chapter 3, Part 3E, Table 3E.T3: RESIDENTIAL MANUFACTURED HOME ZONE DEVELOPMENT STANDARDS, clause T3.5(2)(b) is amended by striking out “total side yard” and substituting “other side yard” and by striking out “1.65 metres” wherever it appears and in each case substituting “1.2 metres”.
- 40 Chapter 3, Part 3E, Table 3E.T6: RESIDENTIAL MANUFACTURED HOME ZONE PARKING REQUIREMENTS, section T6.6 is amended by striking out “total floor area” and substituting “gross floor area”.
- 41 Chapter 3, Part 3F, Table 3F.T3: RESIDENTIAL DETACHED ZONE DEVELOPMENT STANDARDS, subsection T3.5(2) is amended by striking out “Total side yard” and substituting “Other side yard” and by striking out “1.65 metres” and substituting “1.2 metres”.
- 42 Chapter 4, Part 4A, Table 4A.T1: MIXED LOW-RISE ZONE BUILDING TYPES, sections (rows) T1.4 and T1.5 are repealed and the following substituted:

“

<b>T1.4</b>	Building, Row	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> </ul> </li> </ul>	-----
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		(b) is not on the same lot as a building containing a use in the dwelling land use class.	(b) is on the same lot as a building containing a use in the dwelling land use class.	
<b>T1.5</b>	Building, Stacked	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:  (a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and  (b) is not on the same lot as a building containing a use in the dwelling land use class.	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:  (a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	-----

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43 Chapter 4, Part 4A, Table 4A.T2: PERMITTED AND DISCRETIONARY USES IN THE MIXED LOW-RISE ZONE, section (row) T2.8 is repealed and the following substituted:

“

<b>T2.8</b>	• Agriculture, Animal Support	-----	Discretionary if the sum of the gross floor area plus the dedicated outdoor area is less than 1,000 square metres per lot.	“Agriculture, Animal Support” shall exclude accommodation of livestock.
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44 Chapter 4, Part 4A, Table 4A.T5: MIXED LOW-RISE ZONE PARKING REQUIREMENTS, section (row) T5.7 is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

45 Chapter 4, Part 4B, Table 4B.T1: MIXED HIGH-RISE ZONE BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building contains a use in the dwelling land use class; or	-----
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		<p>building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	
<b>T1.4</b>	Building, Stacked	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 20 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	----

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46 Chapter 4, Part 4B, Table 4B.T2: PERMITTED AND DISCRETIONARY USES IN THE MIXED HIGH-RISE ZONE, section (row) T2.5 is repealed and the following substituted:

“

<b>T2.5</b>	<ul style="list-style-type: none"> <li>• Agriculture, Animal Support</li> </ul>	Permitted if the gross floor area is 500 square metres or less.	Discretionary in all other cases.	“Agriculture, Animal Support” shall exclude accommodation of livestock.
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47 Chapter 4, Part 4B, Table 4B.T2: PERMITTED AND DISCRETIONARY USES IN THE MIXED HIGH-RISE ZONE, section (row) T2.6 is amended by striking out “Motor Vehicle”.

48 Chapter 4, Part 4B, Table 4B.T5: MIXED HIGH-RISE ZONE PARKING REQUIREMENTS, section (row) T5.7 is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

49 Chapter 4, Part 4C, Table 4C.T1: MIXED LARGE MARKET ZONE BUILDING TYPE, section (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(3) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building contains a use in the dwelling land use class; or</p> <p>(4) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	-----
<b>T1.4</b>	Building, Stacked	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	-----

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50 Chapter 4, Part 4C, Table 4C.T2: PERMITTED AND DISCRETIONARY USES IN THE MIXED LARGE MARKET ZONE, section (row) T2.7 is repealed and the following substituted:

“

<b>T2.7</b>	<ul style="list-style-type: none"> <li>• Agriculture, Animal Support</li> </ul>	Permitted if the gross floor area is 500 square metres or less.	Discretionary in all other cases.	“Agriculture, Animal Support” shall exclude accommodation of livestock.
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51 Chapter 4, Part 4C, Table 4C.T2: PERMITTED AND DISCRETIONARY USES IN THE MIXED LARGE MARKET ZONE, section (row) T2.8 is repealed and the following substituted:

“

<b>T2.8</b>	<ul style="list-style-type: none"> <li>• Transportation, Parking</li> </ul>	Permitted if location is identified as an interim use in the Official Community Plan.	Discretionary in all other cases.	The addition of “Transportation, Parking” as a Permitted Use is in response to the recently approved Yards Neighbourhood Plan, which specifically identifies parking as an option to allow for use of the site until potential of the site is realized.
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52 Chapter 4, Part 4C, Table 4C.T2: PERMITTED AND DISCRETIONARY USES IN THE MIXED LARGE MARKET ZONE, section (row) T2.13 is amended by striking out “Motor Vehicle”.

53 Chapter 4, Part 4C, Table 4C.T5: MIXED LARGE MARKET ZONE REQUIREMENTS, section (row) T5.7 is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

54 Chapter 4, Part 4D, Table 4D.T1: OFFICE AREA ZONE BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	Permitted where the: <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 24 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> </ul> </li> </ul>	Discretionary where the: <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 24 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 24 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot</li> </ul> </li> </ul>	-----
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		(b) is not on the same lot as a building containing a use in the dwelling land use class.	containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	
<b>T1.4</b>	Building, Stacked	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 24 metres and the building does not contain a use in the dwelling land use class, and:  (a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and  (b) is not on the same lot as a building containing a use in the dwelling land use class.	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 24 metres and the building contains a use in the dwelling land use class; or  (2) maximum building height is greater than 11 metres but less than or equal to 24 metres and the building does not contain a use in the dwelling land use class, but:  (a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	-----

”

55 Chapter 4, Part 4D, Table 4D.T5: OFFICE AREA ZONE PARKING REQUIREMENTS, section (row) T5.3 is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

56 Chapter 5, Part 5A, Table 5A.T1: INDUSTRIAL PRESTIGE ZONE BUILDING TYPES, sections (row) T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:  (a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and  (b) is not on the same lot as a building containing a use in the dwelling land use class.	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:  (a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or	-----
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			(b) is on the same lot as a building containing a use in the dwelling land use class.	
<b>T1.4</b>	Building, Stacked	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:  (a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and  (b) is not on the same lot as a building containing a use in the dwelling land use class.	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:  (a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	-----

”

57 Chapter 5, Part 5A, Table 5A.T2: INDUSTRIAL PRESTIGE ZONE LAND USES, section (row) T2.5 is amended by adding the following subsection in the column titled “Land Use Specific Regulations”:

“(2) “Agriculture, Animal Support” shall exclude accommodation of livestock.”

58 Chapter 5, Part 5A, Table 5A.T2: INDUSTRIAL PRESTIGE ZONE LAND USES, is amended by adding the following section (row) after section (row) T2.7:

“

<b>T2.8</b>	<ul style="list-style-type: none"> <li>• Food &amp; Beverage, Lounge</li> <li>• Food &amp; Beverage, Restaurant</li> <li>• Service Trade, Clinic</li> <li>• Service Trade, Light</li> <li>• Service Trade, Personal</li> </ul>	Permitted if gross floor area is less than 250 square metres per lot.	Discretionary if gross floor area is between 250 and 1,000 square metres per lot, inclusive.	(1) No land use within this group shall be developed within 100 metres of any lot zoned Residential or Mixed Use.
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59 Chapter 5, Part 5A, Table 5A.T5: INDUSTRIAL PRESTIGE ZONE PARKING REQUIREMENTS, section (row) T5.2 is amended by striking out “total floor area” and substituting “gross floor area”.

60 Chapter 5, Part 5B, Table 5B.T1: INDUSTRIAL LIGHT ZONE BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<p><b>T1.3</b></p>	<p>Building, Row</p>	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>---</p>
<p><b>T1.4</b></p>	<p>Building, Stacked</p>	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>---</p>

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- 61 Chapter 5, Part 5B, Table 5B.T2: INDUSTRIAL LIGHT ZONE LAND USES, section (row) T2.6 is amended by adding “Agriculture, Cannabis” between “Agriculture, Animal Support” and “Agriculture, Indoor” in the column titled “Land Use”.
- 62 Chapter 5, Part 5B, Table 5B.T2: INDUSTRIAL LIGHT ZONE LAND USES, subsection T2.8(3) is amended by striking out “Subpart 1F.3” and substituting “Subpart 1E.3” in the column titled “Land Use Specific Regulations”.
- 63 Chapter 5, Part 5B, Table 5B.T5: INDUSTRIAL LIGHT ZONE PARKING REQUIREMENTS, section (row) T5.3 is amended by striking out “total floor area” and substituting “gross floor area”.
- 64 Chapter 5, Part 5C, Table 5C.T1: INDUSTRIAL HEAVY ZONE BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	---
<b>T1.4</b>	Building, Stacked	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does</li> </ul>	---

		<p>use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	
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65 Chapter 5, Part 5C, Table 5C.T2: INDUSTRIAL HEAVY ZONE LAND USES, section (row) T2.4 is amended by adding “Agriculture, Cannabis” in the column titled “Land Use”.

66 Chapter 5, Part 5C, Table 5C.T2: INDUSTRIAL HEAVY ZONE LAND USES, section (row) T2.4 is amended by striking out “Subpart 1F.3” and substituting “Subpart 1E.3” in the column titled “Land Use Specific Regulations”.

67 Chapter 5, Part 5C, Table 5C.T5: INDUSTRIAL HEAVY ZONE PARKING REQUIREMENTS, section T5.2 is amended by striking out “total floor area” and substituting “gross floor area”.

68 Chapter 6, Part 6A, clause 6A.4.8(3)(c) is repealed and the following substituted:

“ (c) the floor area of designated heritage buildings shall not be counted toward the total FAR.”

69 Chapter 6, Part 6A, Table 6A.T4: DOWNTOWN DIRECT CONTROL DISTRICT PARKING REQUIREMENTS, section (row) T4.1 is amended by striking out “total floor area” and substituting “gross floor area”.

70 Chapter 6, Part 6C, Table 6C.T1(b): FORMER DIOCESE OF QU’APPELLE LANDS DIRECT CONTROL DISTRICT MIXED-USE POLICY AREA BUILDING TYPES is repealed and the following substituted:

“

TABLE 6C.T1(b): FORMER DIOCESE OF QU’APPELLE LANDS DIRECT CONTROL DISTRICT MIXED-USE POLICY AREA BUILDING TYPES				
Sec.	Building Type	Permitted	Discretionary	Building Specific Regulations
T1(b).1	Building, Accessory	Permitted	---	---

<b>T1(b).2</b>	Building, Detached	Permitted	---	---
<b>T1(b).3</b>	Building, Row	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 13 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 13 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 13 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	---

<b>T1(b).4</b>	Building, Stacked	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 13 metres and the building does not contain a use in the dwelling land use class, and: <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 13 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 13 metres and the building does not contain a use in the dwelling land use class, but: <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	---
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71 Chapter 6, Part 6C, Table 6C.T1(d): FORMER DIOCESE OF QU’APPELLE LANDS DIRECT CONTROL DISTRICT MEDIUM DENSITY RESIDENTIAL POLICY AREA BUILDING TYPES, section (row) T1(d).5 is repealed and the following substituted:

“

<b>T1(d).5</b>	Building, Stacked	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and: <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but: <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot</li> </ul> </li> </ul>	The minimum number of units in a Building, Stacked shall be three.
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		<p>dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	
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72 Chapter 6, Part 6C, Table 6C.T1(e): FORMER DIOCESE OF QU’APPELLE LANDS DIRECT CONTROL DISTRICT HIGH-RISE RESIDENTIAL POLICY AREA BUILDING TYPES, section (row) T1(e).5 is repealed and the following substituted:

“

<b>T1(e).5</b>	Building, Stacked	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 45 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 45 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 45 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	<p>The minimum number of units in a Building, Stacked shall be three.</p>
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73 Chapter 6, Part 6C, Table 6C.T6: FORMER DIOCESE OF QU’APPELLE LANDS DIRECT CONTROL DISTRICT PARKING REQUIREMENTS, section (row) T6.7 is amended by striking out “total floor area” and substituting “gross floor area”.

74 Chapter 6, Part 6D, Table 6D.T1: SASKTCHEWAN DRIVE/NORTH RAILWAY DIRECT CONTROL DISTRICT BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<p><b>T1.3</b></p>	<p>Building, Row</p>	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>---</p>
<p><b>T1.4</b></p>	<p>Building, Stacked</p>	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot</li> </ul> </li> </ul>	<p>---</p>

		containing a use in the dwelling land use class.	containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	
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75 Chapter 6, Part 6D, Table 6D.T5: SASKTCHEWAN DRIVE/NORTH RAILWAY DIRECT CONTROL DISTRICT PARKING REQUIREMENTS, section (row) T5.1 is amended by striking out “total floor area” and substituting “gross floor area”.

76 Chapter 6, Part 6E, Table 6E.T1(a): CENTRE SQUARE DIRECT CONTROL DISTRICT PERMITTED AND DISCRETIONARY BUILDING TYPES: Low-Rise and House-Form Mix, sections (rows) T1(a).5 and T1(a).6 are repealed and the following substituted:

“

<b>T1(a).5</b>	Building, Row	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:  (a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and  (b) is not on the same lot as a building containing a use in the dwelling land use class.	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:  (a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	---
<b>T1(a).6</b>	Building, Stacked	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 15	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use	---

		metres and the building does not contain a use in the dwelling land use class, and:	in the dwelling land use class; or	
		(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and	(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:	
		(b) is not on the same lot as a building containing a use in the dwelling land use class.	(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or	
			(b) is on the same lot as a building containing a use in the dwelling land use class.	

”

77 Chapter 6, Part 6E, Table 6E.T1(b): CENTRE SQUARE DIRECT CONTROL DISTRICT PERMITTED AND DISCRETIONARY BUILDING TYPES: Mid-Rise and House-Form Mix, sections (rows) T1(b).5 and T1(b).6 are repealed and the following substituted:

“

<b>T1(b).5</b>	Building, Row	Permitted where the:	Discretionary where the:	
		(1) maximum building height is 11 metres or less; or	(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or	
		(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:	(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:	
		(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and	(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or	
		(b) is not on the same lot as a building containing a use in the dwelling land use class.	(b) is on the same lot as a building containing a use in the dwelling land use class.	

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<b>T1(b).6</b>	Building, Stacked	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	---
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78 Chapter 6, Part 6E, Table 6E.T1(c): CENTRE SQUARE DIRECT CONTROL DISTRICT PERMITTED AND DISCRETIONARY BUILDING TYPES: High-Rise Mix, sections (rows) T1(c).5 and T1(c).6 are repealed and the following substituted:

“

<b>T1(c).5</b>	Building, Row	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a</p>	The minimum number of units in a Building, Row shall be three.
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			use in the dwelling land use class.	
<b>T1(c).6</b>	Building, Stacked	Permitted where the: <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	Discretionary where the: <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	The minimum number of units in a Building, Stacked shall be three.

”

79 Chapter 6, Part 6E, Table 6E.T1(d): CENTRE SQUARE DIRECT CONTROL DISTRICT PERMITTED AND DISCRETIONARY BUILDING TYPES: Transitional Area Mixed, sections (rows) T1(d).4 and T1(d).5 are repealed and the following substituted:

“

<b>T1(d).4</b>	Building, Row	Permitted where the: <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the</li> </ul> </li> </ul>	Discretionary where the: <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> </ul> </li> </ul>	The minimum number of units in a Building, Row shall be three.
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		dwelling land use class.	(b) is on the same lot as a building containing a use in the dwelling land use class.	
<b>T1(d).5</b>	Building, Stacked	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 30 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	The minimum number of units in a Building, Stacked shall be four.

”

80 Chapter 6, Part 6E, Table 6E.T1(e): CENTRE SQUARE DIRECT CONTROL DISTRICT PERMITTED AND DISCRETIONARY BUILDING TYPES: Transitional Area Arterial, sections (rows) T1(e).5 and T1(e).6 are repealed and the following substituted:

“

<b>T1(e).5</b>	Building, Row	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 40 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 40 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 40 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p>	The minimum number of units in a Building, Row shall be three, unless it is within a Planned Group, where a two-unit building shall be permitted only in combination with buildings containing three or more units.
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		(b) is not on the same lot as a building containing a use in the dwelling land use class.	(b) is on the same lot as a building containing a use in the dwelling land use class.	
<b>T1(e).6</b>	Building, Stacked	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 40 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 40 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 40 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	<p>The minimum number of units in a Building, Stacked shall be three, unless it is within a Planned Group, were a two-unit building shall be permitted only in combination with buildings containing three or more units.</p>

”

81 Chapter 6, Part 6E, Table 6E.T3(a): CENTRE SQUARE DIRECT CONTROL DISTRICT DEVELOPMENT REGULATIONS AND STANDARDS, section (row) 3(a).3 is amended by striking out “6.0 metres” and substituting “5.0 metres”.

82 Chapter 6, Part 6E, subsection 6E.6.3(1) is amended by striking out “subpart 1F.6” and substituting “subpart 1F.3”.

83 Chapter 6, Part 6E, Table 6E.T6: CENTRE SQUARE DIRECT CONTROL DISTRICT PARKING REQUIREMENTS, section (row) T5.8 is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

84 Chapter 6, Part 6F, Table 6F.T2: DEWDNEY AVENUE WAREHOUSE DIRECT CONTROL DISTRICT LAND USE GROUPS, section (row) T2.5 is amended by adding the following subsection after subsection (4) in the column titled “Land use Specific Regulations”:

“(5) “Agriculture, Animal Support” shall exclude accommodation of livestock.”

85 Chapter 6, Part 6F, Table 6F.T5: DEWDNEY AVENUE WAREHOUSE DIRECT CONTROL DISTRICT PARKING REQUIREMENTS is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

86 Chapter 6, Part 6G, Table 6G.T1: THE CHUKA BOULEVARD MIXED DIRECT CONTROL DISTRICT BUILDING TYPES, sections (rows) T1.4 and T1.5 are repealed and the following substituted:

“

<p><b>T1.4</b></p>	<p>Building, Row</p>	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>---</p>
<p><b>T1.5</b></p>	<p>Building, Stacked</p>	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 18 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> </ul> </li> </ul>	<p>---</p>

			(b) is on the same lot as a building containing a use in the dwelling land use class.	
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”

87 Chapter 6, Part 6G, Table 6G.T2: PERMITTED AND DISCRETIONARY LAND USES IN THE CHUKA BOULEVARD MIXED DIRECT CONTROL DISTRICT, subsection T2.8(1) is amended by striking out “Residential Neighbourhood zone” and substituting “Residential Low-Rise zone”.

88 Chapter 6, Part 6G, Table 6G.T5: CHUKA BOULEVARD MIXED DIRECT CONTROL DISTRICT PARKING REQUIREMENTS, section (row) T5.7 is amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

89 Chapter 6, Part 6G, subsection 6G.7.1(1) is amended by striking out “Residential High-Rise zone” and substituting “Chuka Boulevard Mixed Direct Control District”.

90 Chapter 6, Part 6G, section 6G.7.6 is repealed.

91 Chapter 7, Part 7B, Table 7B.T1: INSTITUTIONAL ZONE BUILDING TYPES, sections T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	<p>Permitted where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<p>Discretionary where the:</p> <ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	---
<b>T1.4</b>	Building, Stacked	Permitted where the:	Discretionary where the:	---

		<p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	
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”

92 Chapter 7, Part 7B, Table 7B.T2: INSTITUTIONAL ZONE LAND USES, section (row) T2.6 is repealed and the following substituted:

“

<b>T2.6</b>	<ul style="list-style-type: none"> <li>• Assembly, Community</li> <li>• Assembly, Recreation</li> <li>• Assembly, Religious</li> <li>• Food &amp; Beverage, Restaurant</li> </ul>	---	Discretionary	<p>(1) The “Assembly, Community” land use may not be established where the use will be closer than 182.88 metres to a “Retail Trade, Cannabis” land use.</p> <p>(2) The measurement required in subsection (1) shall:</p> <p>(a) be a straight line, measured from the nearest point of the portion of the building used for the “Retail Trade, Cannabis” land use to the nearest portion of the lot with “Assembly, Community” land use; and</p> <p>(b) the separation distance measured in (1) shall be assessed as of the date of receipt of a complete application as determined by the Development Officer.</p>
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”

93 Chapter 7, Part 7B, Table 7B.T3: INSTITUTIONAL ZONE DEVELOPMENT STANDARDS is amended by striking out “+ For the Assembly, Recreation land use at Parcel W, Plan No.102254622, refer to 7B.8 Mosaic Stadium Regulations and Design Guidelines”.

94 Chapter 7, Part 7B, Table 7B.T5: INSTITUTIONAL ZONE PARKING REQUIREMENTS, section (row) T5.5 is repealed and the following substituted:  
“

<b>T5.5</b>	Assembly, Recreation	One stall is required per 100 square metres of gross floor area of all development on the lot.
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”

95 Chapter 7, Part 7B, Table 7B.T5: INSTITUTIONAL ZONE PARKING REQUIREMENTS, section (row) T5.6 is repealed and the following substituted:  
“

<b>T5.6</b>	Institution, Education	One stall is required per 100 square metres of gross floor area, with portable classrooms or additions excluded from the calculation of gross floor area.
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”

96 Chapter 7, Part 7B, Table 7B.T5: INSTITUTIONAL ZONE PARKING REQUIREMENTS, section T5.7 is amended by striking out “total floor area” and substituting “gross floor area”.

97 Chapter 7, Part 7C, Table 7C.T1: URBAN HOLDING ZONE BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:  
“

<b>T1.3</b>	<ul style="list-style-type: none"> <li>• Building, Row</li> </ul>	Permitted where the: <ol style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ol style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> </ol> </li> </ol>	Discretionary where the: <ol style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:</li> </ol>	---
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		(b) is not on the same lot as a building containing a use in the dwelling land use class.	(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	
<b>T1.4</b>	• Building, Stacked	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:  (a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and  (b) is not on the same lot as a building containing a use in the dwelling land use class.	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or  (2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:  (a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or  (b) is on the same lot as a building containing a use in the dwelling land use class.	---

”

98 Chapter 7, Part 7C, Table 7C.T5: URBAN HOLDING ZONE PARKING REQUIREMENTS, section (row) T5.2 is amended by striking out “total floor area” and substituting “gross floor area”.

99 Chapter 7, Part 7D, Table 7D.T1: RW-RAILWAY ZONE BUILDING TYPES, sections (rows) T1.3 and T1.4 are repealed and the following substituted:

“

<b>T1.3</b>	• Building, Row	Permitted where the:  (1) maximum building height is 11 metres or less; or  (2) maximum building height is greater than	Discretionary where the:  (1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the	---
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		<p>11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	
T1.4	<ul style="list-style-type: none"> <li>• Building, Stacked</li> </ul>	<p>Permitted where the:</p> <p>(1) maximum building height is 11 metres or less; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:</p> <p>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</p> <p>(b) is not on the same lot as a building containing a use in the dwelling land use class.</p>	<p>Discretionary where the:</p> <p>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</p> <p>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:</p> <p>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</p> <p>(b) is on the same lot as a building containing a use in the dwelling land use class.</p>	---

”

100 Chapter 7, Part 7D, Table 7D.T5: RAILWAY ZONE PARKING REQUIREMENTS, section (row) T5.1 is amended by striking out “total floor area” and substituting “gross floor area”.

101 Chapter 7, Part 7E, Table 7B.T1: PUBLIC SERVICE ZONE BUILDING TYPES is amended by repealing the title “TABLE 7B.T1: PUBLIC SERVICE ZONE BUILDING TYPES” and substituting “TABLE 7E.T1: PUBLIC SERVICE ZONE BUILDING TYPES”.

102 Chapter 7, Part 7E, Table 7B.T1: PUBLIC SERVICE ZONE BUILDING TYPES, section (row) T1.3 is repealed and the following substituted:

“

<b>T1.3</b>	Building, Row	Permitted where the:	Discretionary where the:	---
		<ul style="list-style-type: none"> <li>(1) maximum building height is 11 metres or less; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, and:                             <ul style="list-style-type: none"> <li>(a) does not adjoin a lot zoned residential or a lot containing a use in the dwelling land use class; and</li> <li>(b) is not on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>(1) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building contains a use in the dwelling land use class; or</li> <li>(2) maximum building height is greater than 11 metres but less than or equal to 15 metres and the building does not contain a use in the dwelling land use class, but:                             <ul style="list-style-type: none"> <li>(a) adjoins a lot zoned residential or a lot containing a use in the dwelling land use class; or</li> <li>(b) is on the same lot as a building containing a use in the dwelling land use class.</li> </ul> </li> </ul>	

”

103 Chapter 7, Part 7E, Table 7E.T5: PUBLIC SERVICE ZONE PARKING REQUIREMENTS, sections (rows) T5.6 and T5.7 are amended by striking out “total floor area” wherever it appears and in each case substituting “gross floor area”.

104 Chapter 8, Part 8G, Subpart 8G.5 is repealed and the following substituted:

**“8G.5 ADDITIONAL DEVELOPMENT STANDARDS**

Any application for a development permit on lands subject to clause 8G.2(2)(a) may be required to be accompanied by either or both of the following:

- (a) approval from Transport Canada, Nav Canada, and the Regina Airport Authority, indicating that these entities have reviewed the proposed development and it does not contravene the *Aeronautics Act, 1985* and *Regina Airport Zoning Regulations*, or planned infrastructure; or
- (b) certification by a professional engineer or architect licensed to practice in Saskatchewan, confirming that the proposed development complies with the height requirements of the *Aeronautics Act, 1985* and *Regina Airport Zoning Regulations* or planned infrastructure.”

105 Chapter 8, Part 8K, clause 8K.4.1(1)(b) is repealed and the following substituted:

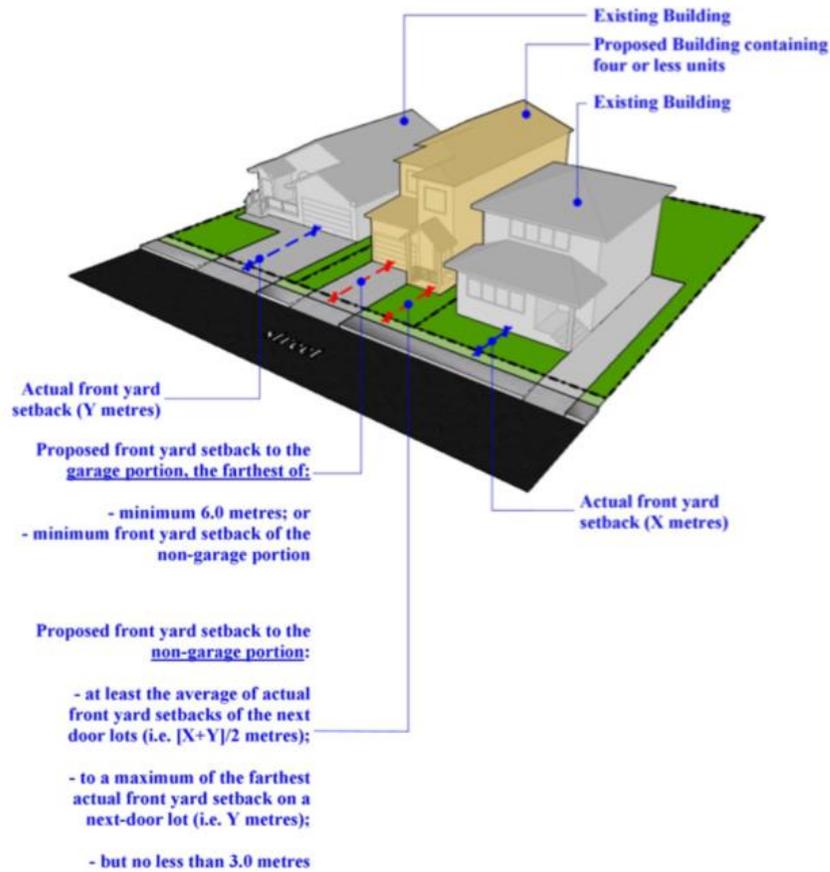
- “
- (b) where there is only one next-door lot that is zoned Residential, the front yard setback to the non-garage portion of the proposed building shall be between plus or minus one metre of the front yard setback of the next-door lot;”

106 Chapter 8, Part 8K, clause 8K.4.1(1)(c) is repealed and the following substituted:

- “
- (c) where neither of the next-door lots is zoned Residential or does not contain a principal building the front yard setback to the non-garage portion of the proposed building shall be between the minimum required front yard setback of the underlying zone and 6 metres;”

107 Chapter 8, Part 8K is amended by repealing Figure 8K.F1 and substituting the following as Figure 8K.F1:

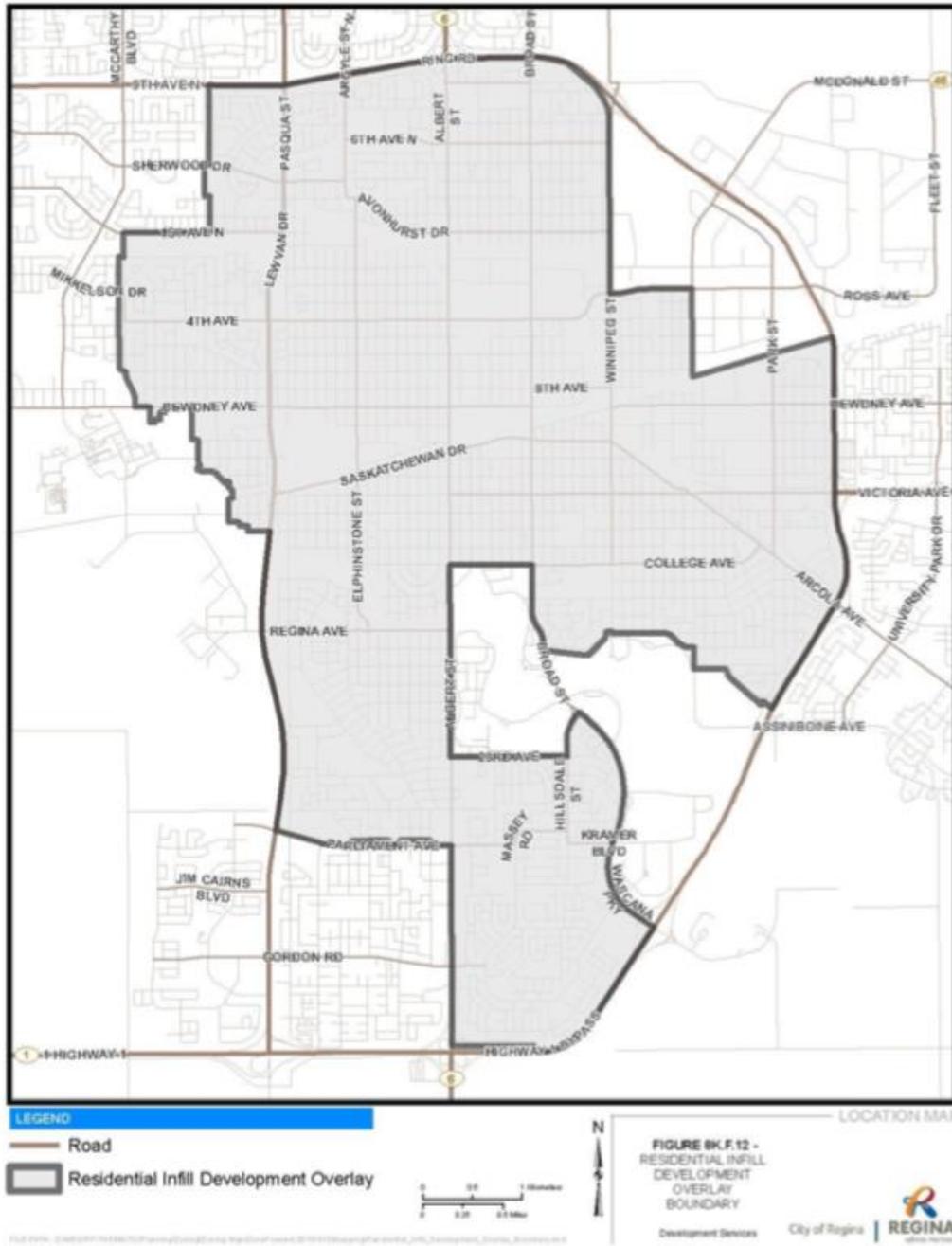
“



”

108 Chapter 8, Part 8K is amended by repealing the figure labelled “Figure 8K.F1 RESIDENTIAL INFILL DEVELOPMENT OVERLAY BOUNDARY” (on page 8.60) and substituting the following as figure labelled “Figure 8K.F12 RESIDENTIAL INFILL DEVELOPMENT OVERLAY BOUNDARY”:

“



110 Chapter 8, Part 8M, clause 8M.2 (1)(b) is repealed and the following substituted:

“ (b) on an entire block face identified through the zoning amendment application review as being appropriate for having both front and lane access with due consideration to the utilization of infrastructure, surrounding land uses, safety or other factors deemed necessary by the City.”

111 Chapter 9, Underlying Zoning Maps 2094(A) and 2294(A) are amended by amending the zoning designation of the property located at Block 104 on Walsh Avenue (LSD 1-09-18-20 W2 Ext52) from RN – Residential Neighbourhood Zone to RU – Residential Urban Zone.

112 Chapter 9, Underlying Zoning Maps 2284(A) and 2484(A) are amended by amending the zoning designation of the property located at 5601 – 5657 Mitchinson Way from RU – Residential Urban Zone to RL – Residential Low-Rise Zone.

113 Chapter 9, Overlay Zoning Maps 2291(B), 2292(B), 2684(B), 2685(B), 2690(B), 2691(B), 2692(B), 2889(B), 3087(B) and 3088(B) are amended by removing the FA – Floor Area Overlay Zone zoning designation from the properties located at:

- (a) 350 N McCarthy Boulevard (Block E, Plan 99RA2710 Ext 3);
- (b) 3806 Albert Street (Block C, Plan AR1128 Ext 1);
- (c) 2601 Avonhurst Drive (Block 4, Plan 59R10218, Ext 1);
- (d) 481 N Albert Street (Lot 5, Block 66, Plan 01RA26550);
- (e) 489 N Albert Street (Lots 1 and 3, Block 66, Plan 65R11853);
- (f) 1230 Broad Street (Lot E, Block 139A, Plan 68R17406; Lot C, Block 139A, Plan DJ454 Ext 3; and Lot A, Block 139A, Plan DJ454, Ext 1); and
- (g) 2223 and 2333 E Victoria Avenue (Blocks A and B, Plan 101968601, Block X, Plan 86R67421 and Block BB, Plan 92R44044).

114 Chapter 9, Underlying Zoning Map 2484(A) is amended by amending the zoning designation of the property located at 4581 Parliament Avenue (Block W1, Plan 102067939) from ML – Mixed Low-Rise Zone to OA – Office Area Zone.

- 115 Chapter 9, Underlying Zoning Maps 3286(A) and 3486(A) are amended by amending the zoning designation of the property located at 3000 Woodland Grove Drive (SW 14-17-19 W2 Ext 9) from RU – Residential Urban Zone to the following:
  - (a) Proposed Lot J1 – ML – Mixed Low-Rise Zone; and
  - (b) Proposed Lots 1-11, Block 35 - R1 – Residential Detached Zone.
  
- 116 Chapter 9, Underlying Zoning Map 2688(A) is amended by amending the zoning designation of the property located at 1840 Lorne Street (Lot 42, Block 309, Plan 00RA12095) from DCD-D – Downtown Direct Control District Zone to C – Contract Zone.
  
- 117 Chapter 9, Underlying Zoning Map 2691(A) is amended by amending the zoning designation of the property located at 2 Sheppard Street (Lot 23, Block 25, Plan 62R19206) from R1 – Residential Detached Zone to C – Contract Zone.
  
- 118 Chapter 11, Part 11A, clause 11A.2(1)(n) is amended by striking out “Chukka” and substituting “Chuka”.
  
- 119 Chapter 11, Part 11E is amended by adding the following subsection after subsection 11E.13(11):
  - “ (12) Notwithstanding any part of this Bylaw, no advertising display sign shall be allowed where a residential business is conducted, unless the residential business occurs in a designated live/work area.”
  
- 120 This Bylaw comes into force on the day of passage.

READ A FIRST TIME THIS 30<sup>th</sup> DAY OF June 2020.

READ A SECOND TIME THIS 30<sup>th</sup> DAY OF June 2020.

READ A THIRD TIME AND PASSED THIS 30<sup>th</sup> DAY OF June 2020.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk (SEAL)

CERTIFIED A TRUE COPY

\_\_\_\_\_  
City Clerk

ABSTRACT

BYLAW NO. 2020-33

REGINA ZONING AMENDMENT BYLAW, 2020 (No. 9)

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PURPOSE: To amend *The Regina Zoning Bylaw, 2019*.

ABSTRACT: The proposed amendment is to improve clarity in regulations, fix errors and correct zoning designations on maps.

STATUTORY AUTHORITY: Section 46 of *The Planning and Development Act, 2007*.

MINISTER'S APPROVAL: N/A

PUBLIC HEARING: Required, pursuant to section 207 of *The Planning and Development Act, 2007*.

PUBLIC NOTICE: Required, pursuant to section 207 of *The Planning and Development Act, 2007*.

REFERENCE: Regina Planning Commission, May 6, 2020, RPC20-15 City Council, May 27, 2020, CR20-33.

AMENDS/REPEALS: Amends *The Regina Zoning Bylaw, 2019*.

CLASSIFICATION: Regulatory

INITIATING DIVISION: City Planning & Community Development  
INITIATING DEPARTMENT: Planning & Development Services