

CONSERVATION PLAN

ST. MATTHEW ANGLICAN CHURCH PROPERTY - REGINA

The impressive red brick church facade with stone accents complement the distinctive stained glass windows that accent the exterior. The structure is a local landmark and significant contributor to the historical continuity and existing character of the area.



Original: July 2017 Amended: August 2019
Author: Mae Boa, St. Matthew Anglican Church
With the assistance of J.C. Kenyon Engineering Inc.
Owner: The Diocese of Qu'Appelle

ST. MATTHEW ANGLICAN CHURCH

Our Mission

The members of St. Matthew Anglican Church are committed to our journey of restoration, rehabilitation, preservation and sustainable growth by contributing spiritual strength and service to the community thus bringing people into a deeper relationship with God.

Vision for Restoration & Growth Potential

St. Matthew Anglican Church will be fully restored, and through worship and call to mission will be enhanced with growth potential being achieved through creative community outreach partnerships and new adaptive approaches in worship and service delivery.

Principles for Restoration

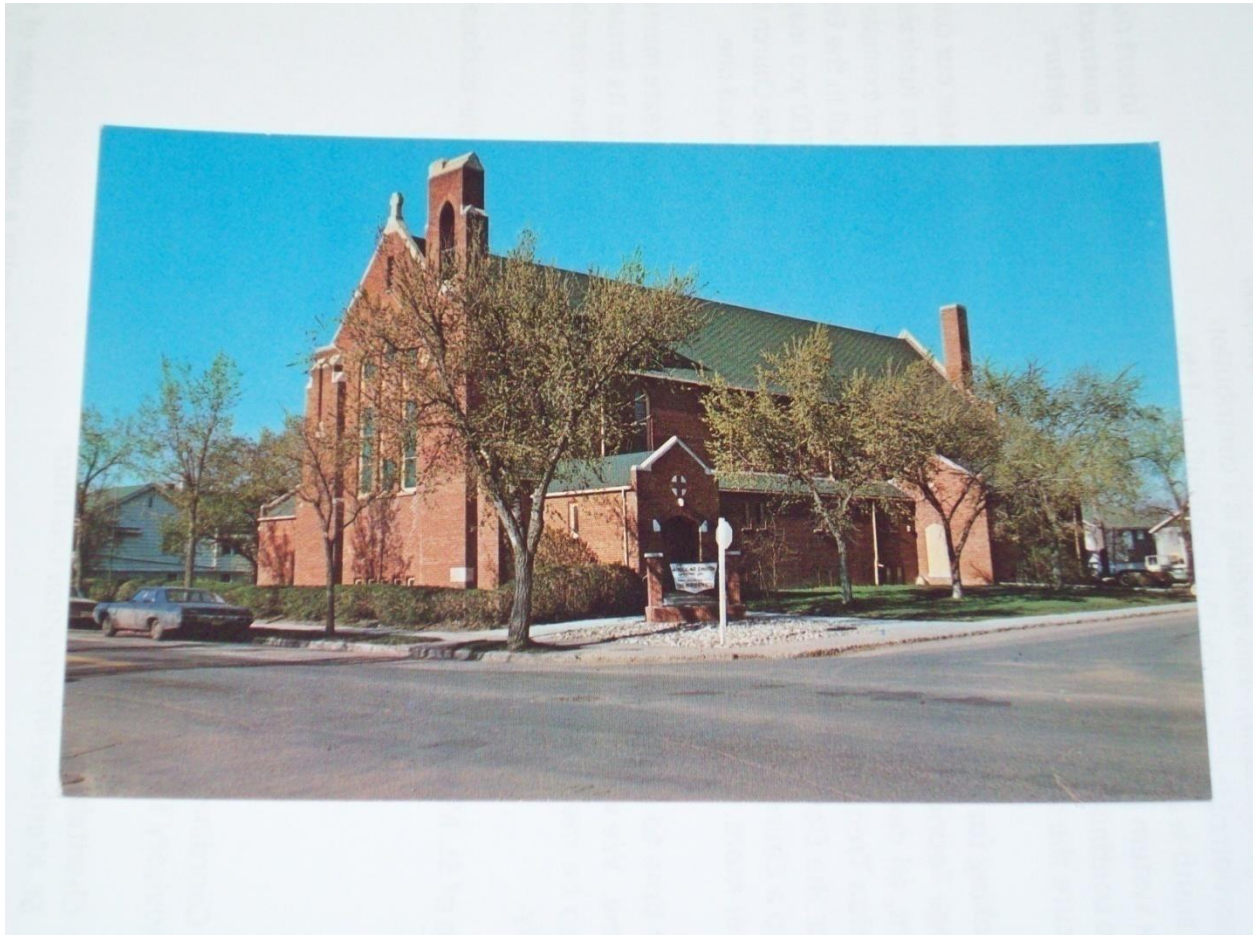
1. Preservation of a historical landmark that is safe for the users of this heritage property
2. Expand the community focus of the parish through delivery of outreach programming
3. Enhance the profile of the parish within the Diocese for the betterment of the community
4. Create new and leverage existing partnerships to maximize usage
5. Ensure that all restoration work is in compliance with *Codes, Standards and Guidelines for the Conservation of Historic Places in Canada*

1.0 St. Matthew Anglican Church Property

1.1 Existing Conditions

The property site consists of St. Matthew Anglican Church and the rectory house. The property the church occupies is legally described as Lots 17 to 20, Blk/Par 27, Plan DV 270, situated at 2165 Winnipeg Street. The church is described as a late and unadorned version of the Gothic Revival style. The interior is built cathedral style with a lower hall/basement area - total usable space is 5,279 square ft. The 1980 addition on the north side added 1,825 total 7,104 sq. ft.

The church property was designated a Municipal Heritage Property on June 20, 2005, City of Regina #2005-49. The structure is described in the municipal designation as "a local landmark and significant contributor to the historical continuity and existing character of the area".



ST. MATTHEW ANGLICAN CHURCH

2161 WINNIPEG STREET, REGINA

The rectory is located at 2161 Winnipeg Street, on Plan DV 270 Block: 27 Lot: 15/16 - lot size 6,240 square feet. Living space of the rectory house on two floors (with an unfinished basement) is 1,754 square feet, usable basement and sun porch 200 each total 2,154 sq. ft.

The rectory house was built in 1913. The rectory is assessed property tax on their portion of the site and also on the lane ways. The church was completed in 1926. The church is exempt from paying property taxes.



THE RECTORY HOUSE

ST. MATTHEW ANGLICAN CHURCH

1.1.1 Location, Space, Surrounding Buildings and Frontages

The property site is in a mature residential area at the corner of Winnipeg Street and 14th Avenue - across the street from the Regina Senior Citizens Centre and is within walking distance to the Regina General Hospital and the Core Ritchie Neighborhood Centre.

Frontage of the church and rectory are both on Winnipeg. Entrance to the church on the south side is from 14th Avenue; and on the north side off Winnipeg Street for both of the buildings. The property is landscaped open space, lawn and flowers. The rectory house is set back on the lot and the lane way is fenced for privacy. The site has paved surface parking for three handicapped designated spaces off Winnipeg Street. There are two designated parking spaces on the lane way close to 14th Avenue - one for the rectory house and the second for the church. Church users park on the adjacent streets; with two - three hour designated spaces on 14th Ave at the church main entrance. The church building is accessible with designated washroom and elevator conveyance lift.

The impressive red brick church facade with stone accents complement the distinctive stained glass windows that accent the exterior. The structure is a local landmark and significant contributor to the historical continuity and existing character of the area.



1.2 Heritage / Historical Significance

The origin of St. Matthew Anglican Church began with a small 20 foot by 30 foot wood frame structure in the middle of farmland owned by George Broder. He donated that land and built the original church so that his daughter could teach her beloved Sunday School. Sadly Grace became ill and pass away, however, the fellowship continued. The little white structure called Grace Church was consecrated in her memory in 1910. The original Grace Church building became the church hall. In 1913 the rectory house that stands today, was built immediately south of Grace Church.

George Broder moved to Regina in 1886; was a land developer and operated a dairy farm on land east of the town later to be known as Broder's Annex. He also built the Broder Building (Medical and Dental Building) and owned the Chaplain Hotel Building. Broder Street is named after him which is close to St. Matthew Church.

Mr. Broder donated the land and materials for the existing church. The well known Regina architect firm Clemesha and Portnall, was retained to draw plans for the new church and in 1915, a 'basement church' was built on the corner of Winnipeg Street and 14th Avenue. The cost was about \$20,000 and it was consecrated on Christmas Day, 1921. At that time the decision was made to change the name to St. Matthew Anglican Church. The original Grace Church building became the church hall.

For historical purposes, it is important to note that the much sought after prominent architect, Frank Portnall, also designed and supervised the building of Knox Metropolitan Church, First Presbyterian Church on 14th Avenue and Albert Street, St. Andrews United Church as well the buildings that incorporated the former Qu'Appelle Diocese property along many blocks of College Avenue through to Broad Street.

By the end of World War 1 – many lives around the world had been lost. A rich and interesting part of our history is an anonymous generous English mother who chose to commemorate the life of her only son killed in the war by donating the funds to complete the construction of the super structure for St. Matthew's over the existing basement church. At the specific request of the anonymous donor a top of the line organ pipe system, worthy of the building, was installed.

St. Matthew Anglican Church as we know it today, was consecrated on October 13th, 1926. Mr. Stanley Attenborough of London, England, our generous benefactor's solicitor from London, represented her at the dedication.

To commemorate the Broder family, the Grace Broder Chapel area was designed and built into the south side of the new building. In 1961, the three surviving sister of Grace Broder; Mrs. (Mabel) Taylor (Taylor Field is named for her late husband Piffles), Mrs. (Essie) Radway (Radway Lumber) and Mrs. (Elizabeth) MacPherson (her husband was a prominent lawyer in Regina) paid for the refurbishing of the Chapel which is known in perpetuity as the Grace Broder Memorial Chapel. The Chapel is used for worship, spiritual meetings and bible studies on a regular basis.

1.3 Site Analysis

1.3.1 Existing Buildings

The rectory house was built in 1913. Over the years a number of upgrades have been made to the house. In 2015 a two year plan was developed with approximately \$23,000 invested to refurbish the house. In 2016 the roof and eave troughs were replaced at a further cost of \$10,000. Through special appeal to parishioners approximate 30 per cent of the cost was received through donations. The balance was paid through the general maintenance budget.

St. Matthew Anglican Church began as a wood structure called Grace Church. Around 1915 a 'basement church' was built on the corner of Winnipeg Street and 14th Avenue. It was consecrated in 1921 and renamed St. Matthew Anglican Church. In 1926, St. Matthew, as we know it today, was completed and furnished. The original Grace Church building became the lower church hall. To commemorate the Broder family, the Grace Broder Chapel area was designed and built into the south side of the new church building.

In the early to mid-1970's, the west end of the church furnace area was excavated to the footings to determine the building materials used for the walls. At that time, the inside south wall received an eight inch application of spray crete over the clay tile from the kitchen pass through east window to the furnace room on the west. The furnace room still has the clay tile below ground and brick above ground. Some stabilization channeling work was done in 2018.

In 1980, an 1,825 sq. ft. addition was constructed on the north side of the church building. The addition included meeting, program and Sunday school space; accessible washroom, furnace room and two person conveyance lift. The north entrance was also modified. The north wall of the addition is supported by grade beams and piles. In 1980 the footings looked good. Blocks were put on the existing footings about 8 to 10 ft.

The nave has 32 rows of pews (plus 8 having been removed). The pews are attached to the floor and for insurance purposes considered a part of the building. Seating is about 285.

The hall has a full commercial kitchen. It has table seating for 223, lecture style 258 people. Licensed to serve alcohol with a permit.



Main Church area - note the brick archways and columns. View is looking from the front of the worship area. Far end of the carpeted walkway is the baptismal font.

1.3.2 The Bell Tower

From a heritage perspective, the bell tower on the west side of the church building is the most distinctive exterior element of the property. It extends 70 feet from the ground level. (The bell tower is referenced in both the 2007 and 2014 J.C. Kenyon Engineering reports .)

The picture of the bell tower (photo 1) in the February 2014 J.C. Kenyon Engineering report shows the cathedral style of architecture. It has an unique feature with the West Window of Three Gothic panels with glass window inserts as it sits on the corner of Winnipeg Street - a very busy thoroughfare of the neighborhood.

Photo 8 of that same report, shows the bell tower tilt toward the west and photo 13 compares the change between 2007 and 2014. From the ground it was not possible to determine if the bell tower is cracked and if so, to what extent. The bell itself is in good repair; however, the wooden framing does need replacement.

While the bell tower is now used only on special occasions, more investigation was undertaken to determine the amount of work required for the bell tower to be restored and fully operational.

The J.C. Kenyon Inspection Report dated August 1, 2019 recommends that the wood support frame be treated to protect the wood from further deterioration, and that the east framing member be secured with metal brackets on the inside corners. The pulleys are to be replaced so the bell tower may be returned to full service.

(Three pictures A, B, C, of current condition follow)

This work is included in the request to the City of Regina for restoration funding in fall 2019.



Photo 1: Bell Tower



Photo 2: View of Bell Tower and Bell - Photo A

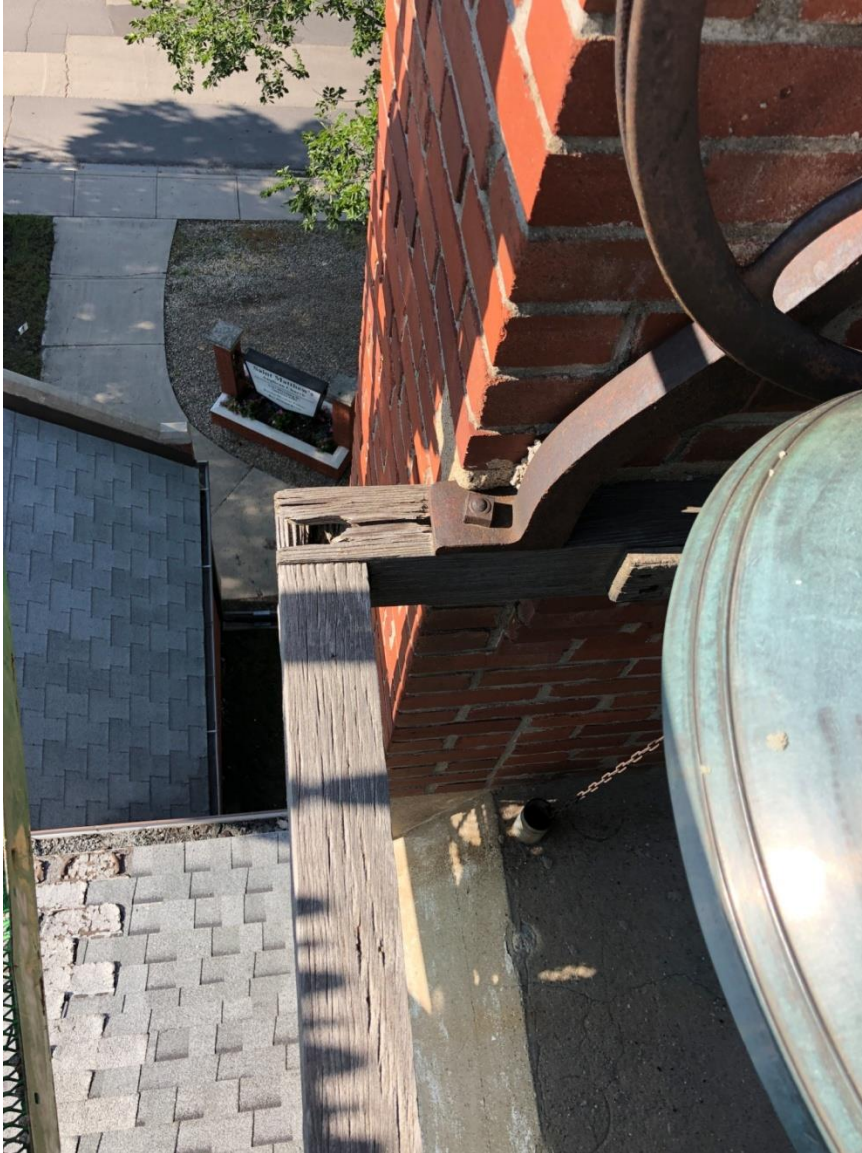


Photo 3: View of the Loose and Deteriorated Wood Member on East Side



Photo 4: Location of the missing Pulley



Photo 5: Bell Tower tilts toward the west



Photo 13: Comparison of Bell Tower between 2007 (left) and 2014 (right)



Photo 13: Chimney tower

The chimney tower at the east side of the church building is referenced in the February 2014 J.C. Kenyon report and noted "as tilting more towards the west since the 2007 Kenyon report" (see photo 14 comparison). Further the report states that "from the ground it was not possible to determine if the tower is cracked" and/or to what extent. The chimney extends 65 feet from the ground level.

More investigation is required to determine the extent of the movement and benchmark survey work is being undertaken to identify and monitor movement.



Photo 14: Comparison of chimney between 2007 (left) and 2014 (right)

1.3.4 Open Space & Redevelopment

The site is landscaped around both the church building and rectory home. There is little opportunity for additional development of open space on the property as currently configured.

1.3.5 Assessment of Conservation Needs & Restoration Activities

Two engineering studies by J.C. Kenyon Engineering Inc., have been undertaken; the first in 2007 and the second in 2014. Based on the engineering recommendations in the 2014 report, Mr. Charlie Pirie of CAP Masonry Inc. was hired as a heritage masonry consultant. The CAP Masonry Inc. report was presented February 16, 2015. The three reports formed the platform for the St. Matthew Anglican Church Restoration and Sustainability Program with the overall priority focused on the heritage and historical values of the building, stabilization, and the ongoing safety of the users of the church.

Information from the J.C. Kenyon Engineering reports states that the original building is constructed with brick walls supported on concrete footings. The floor of the basement was constructed as a grade supported slab. The asphalt roof of the church is constructed with wood framed arches supported on brick columns that are located approximately three feet inside from the foundation walls.

It is noted in the various studies that there are differences between the as-built church and the original construction drawings; of particular note is that some of the columns located on the basement plan of the original construction drawings do not exist. A steel beam is in place to span the width of the basement in lieu of the extra interior columns. As well, the existing basement floor is approximately three feet lower than that shown on the original drawings.

Buttresses ending just below the main roof eaves (not part of the as-built) would have added considerable strength and stability to the walls. It is noted that the walls of St. Matthew are bearing a considerable load from the large roof. The past consultant reports indicate that the aforementioned building modifications likely happened at time of construction.

In June 2015, the Saskatchewan Heritage Foundation (SHF) approved a Built Heritage Grant of \$25,000 for St. Matthew as a matching grant. The eligible work approved was:

- Stabilization with anchoring rods on the north and south walls in the main church
- Reconfigure the roof top bathroom vent pipe to eliminate ice damming
- Repair existing eaves troughs and drain pipes to better control water/moisture run-off
- Coupled downspouts to weeping tile and entrenched the weeping tile; added 100 feet of weeping tile for better water drainage
- Brought in yellow clay to level and cover weeping tile ensuring appropriate fill and grade level and drainage away from foundation

In 2015 the leadership of St. Matthew's met with representatives of J.C. Kenyon Engineering and CAP Masonry to discuss priorities for Phase 2 - 2016. On October 2, 2015 a meeting was held with Russ Renneberg of W. & R. Foundation Specialists Ltd. to discuss "a go forward process in order to determine the present day condition of the structure accurately and to come up with a schedule and cost estimate for work required". A proposal dated October 15, 2015 was received from the foundation and engineering specialists.

On January 15, 2016 a meeting was held with representatives from Saskatchewan Heritage Foundation, (SHF), W. & R. Foundation Specialists, Clifton Associates and J.C. Kenyon Engineering to further define the approach, the team and the estimated costs for our Phase 2 approach of St. Matthew Anglican Church's Restoration and Sustainability Program.

As a result, the March 1, 2016 SHF application for \$35,400 (to be matched) for the next step in the long term plan for stabilization was submitted. While the project met the SHF criteria, the application was not approved, in part to the abundance of applications.

In June 2016 representatives of J.C. Kenyon and Midwest Surveys met to discuss proceeding with a smaller scale project to resubmit as the next-steps for the stabilization as follows:

- Benchmark surveying
- Excavation and forensic investigation
- Geotechnical investigation

The October 1, 2016 application to SHF for the implementation of these critical next steps in the long term plan was estimated at \$47,710 with a grant request of \$22,000. However, the Provincial Government froze all grant funding and this program was placed under review. As the benchmark surveying is critical to the future determination of building movement, Midwest Surveys was contracted to proceed with this work.

During a walk through inspection in May 2017 more brick movement was noted by J.C. Kenyon Engineering under two of the arches from the west on the south side under two of the stained glass windows. It was noted that the bottom course of brick was no longer in compression and that the mortar joints had become loose (reference February 14, 2014 J.C. Kenyon report and photos #4 and #11).

J.C. Kenyon Engineering worked with the heritage stone mason Charlie Pirie on a temporary solution which consisted of wooden support arches built with 2 by 6 lumber beneath the two brick arches. Centre four studs are double-studs. The arch was made of 3/4 inch fir plywood that is cut to shape. There are four plies of plywood in the arches which is closed off to traffic for safety of users. This temporary solution was completed within a week of the discovery.

The repair of the two brick arches was unplanned for and outside of the long term plan; however, this stabilization work required immediate action. The recommended scope of work was approved by the City of Regina and the Anglican Foundation. Cost of the project was \$56,000. The funding provided by the City was \$27,831.44, which was approved by City Council in September 2017. (following photos of required repairs)

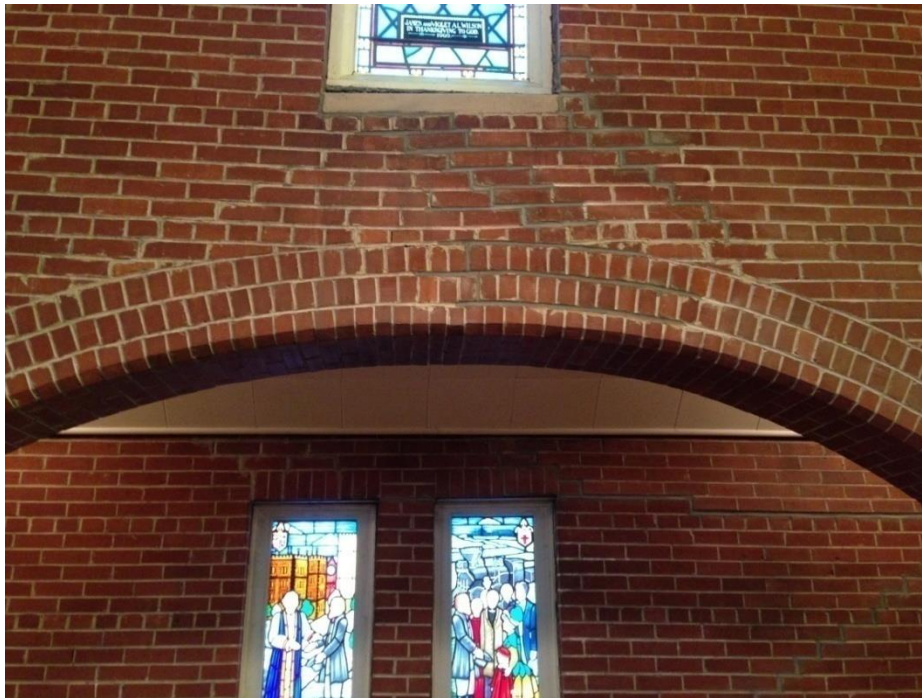


Photo 15: Gap observed beneath stained glass window

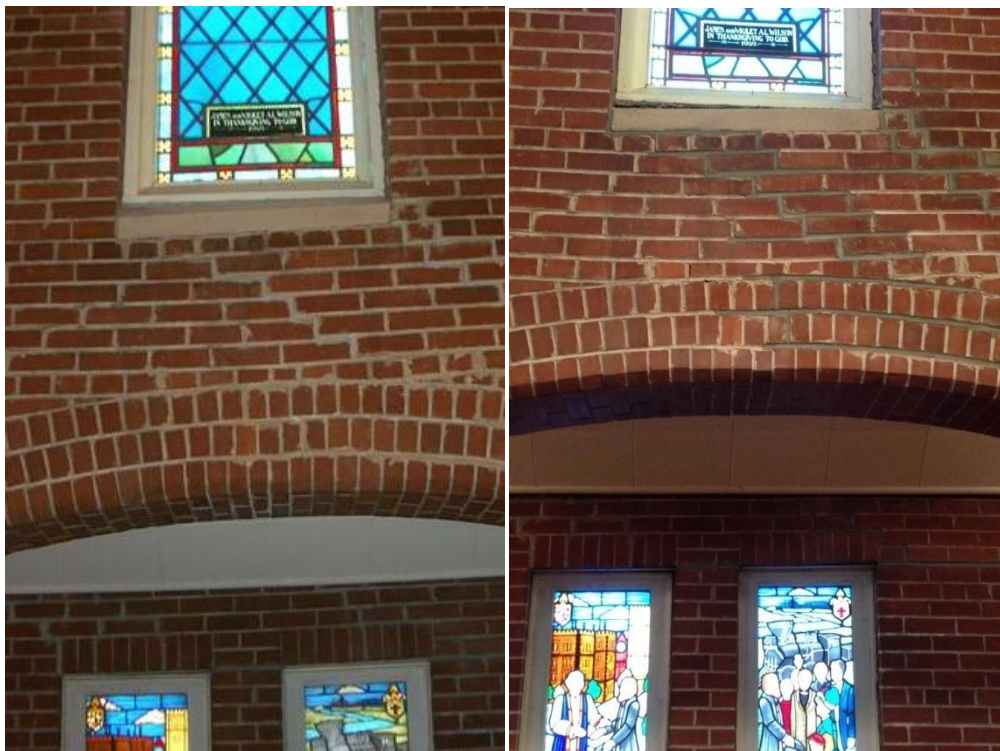


Photo 16: Comparison between 2007 (left) and 2014 (right)

In November 2018 J.C Kenyon completed their third engineering assessment. The priority was the stabilization and repair of the lower hall west wall. The wall was reinforced on the inside face. This included demolition of the ceiling and parts of the floor slab adjacent to the wall, installation of steel channels and reconstruction of the interior wall. To provide further stabilization a three inch concrete slab was poured over the existing slab in the adjacent south storage area.

Project cost was \$50,000.

Photo 17: Channeling work completed in November 2018







In July 2019 the exterior brick arches on the south side of the church were repaired by BrXton Masonry Inc. in conjunction with J.C. Kenyon Engineering. The bricks were no longer in compression and the mortar joints had become loose. Pictures of the condition of the exterior archway and brick before work was completed are shown below.

Photo 18: Exterior brick arches on the south side (14th Avenue)





Photo 19: South side exterior Brick Arches

The City Heritage Grant request is for reconstruction work to be done in late fall 2019 on the interior third brick archway on the north side of the building which forms part of the load-bearing walls. The brick is no longer in compression and loosening mortar is compromising the safety and stability of the building.

Based on the report from J.C. Kenyon Engineering, the brick walls will be also be repointed as noted below.

The restoration/stabilization project Scope of Work dated July / August 2019 includes:

- Removal and reconstruction of the third masonry archway on the north side of the building to the extent detailed on the structural drawings.
- Existing brick shall be salvaged and reused; any additional bricks required are to match.
- If required, new bricks shall be installed on the north face of the wall near the top.
- Masonry is to be designed and constructed to [CSA S304-14](#). (Engineering standard)
- The mortar will be compatible with the historic appearance of the building. The contractor will prepare a mock-up for approval by the Consultant.
- Repair exterior vertical crack in the brick wall.
- Any existing mortar that is not compatible in texture or color will be removed and replaced.
- Shoring of the existing wall to allow for removal of the masonry arch supports.
- Partial removal of the existing masonry arches as detailed on the drawings and in the Conservation Plan.

- Hoarding and shoring to ensure the existing structure is stable during construction.
- Reclaiming the displaced masonry unit by way of gently removing the masonry units from the wall and cleaning the masonry units of all existing mortar.
- Storage of reclaimed masonry unit in a dry and secure location.
- Salvaging and reusing the existing brick where possible and using new matched brick.
- If reuse is not possible, then new brick to be located at the top of the wall.
- Replacement and supply of mortar that matches the existing mortar in texture, colour, strength and aggregate gradation.
- Reconstruction of the arch to match the original profile to the fullest extent possible given the existing building conditions.
- Repointing an exterior vertical crack in the masonry wall.

The project plan was submitted to the City of Regina in July 2019 and is similar to the work on the south side heritage brick archways and walls that was approved in 2017.

Photo 20: Restoration work to be completed in 2019

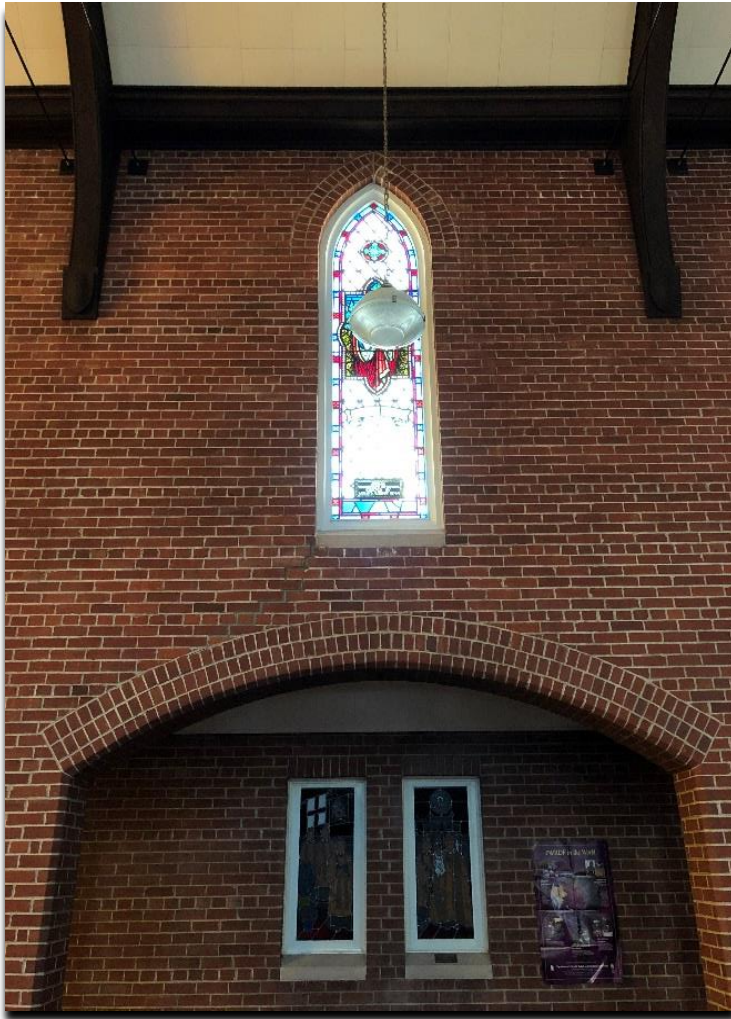


Photo 21: Restoration to be completed in 2019



The roofing replacement is to ensure adequate protection from water and moisture penetration of the heritage church envelope.



Photo 22: From the August 1 Inspection Report - View of the Shingles on the South West Side (Winnipeg Street)



Photo 22: August 1, 2019 Inspection Report - View of the Weathered Shingles along the South Side of the Upper Roof.

SUMMARY:

The project plan for the arches was submitted to the City of Regina in fall 2019 and is similar to the work approved in 2017. The previous work was completed on the heritage brick archways and walls on the south side of building. The City Council approved funding at the September 2017 meeting and provided a grant of \$27,831.44.

The Bell Tower structure requires:

- the wood support be treated to protect the wood from further deterioration
- the east framing member be secured with metal brackets on the inside corners, and,
- the pulleys be replaced so that the bell may be fully operational

The roofing replacement is to ensure adequate protection from water and moisture penetration of the heritage church envelope. This includes the lower roof panels on both the north and south and the top edge of the south side of the church.

The estimated cost is \$75,000. A grant request of \$30,000 is being submitted to the City of Regina for consideration. The grant funding provided by the City will be matched by St. Matthew. This work will not be able to proceed without the generous support of the City.