

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
1	N/A	<p>Chapter 3 – Residential Zones</p> <p>Be amended by adding new Part 3F - R1 – Residential Detached zone</p>		See page 9	This change is based on public feedback received during June 17, 2019 City Council meeting.
2	N/A	<p>Part 8K – RID – Residential Infill Development Overlay Zone</p> <p>Part 8K be amended to require development in the zone be consistent with recommendations in the Infill Housing Guidelines document with respect to being oriented towards the street, having height and massing that does not overwhelm the neighbouring homes and giving consideration to neighbour's access to sunlight, and to be incorporated specifically as follows:</p>			This is to help infill development to be more context sensitive.
3	8.47	Subpart 8K.2 be amended by adding sections 8K.2(6) and (7)		(6) In addition to the development standards in subpart 8K.4, every development permit application relating to a use or development in the Residential Infill Development Overlay zone shall also be evaluated with respect to the manner in which the proposed use or development conforms to the regulations prescribed in subpart 8K.5.	This is necessary based on amendment number 2.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
				(7) Notwithstanding section 1E.3.8 (1) of Chapter 1, if the Development Officer concludes that an application for a development permit in the Residential Infill Development Overlay zone is not in conformity with the regulations prescribed in subpart 8K.5, the Development Officer shall not issue a development permit but may, upon request of the applicant, refer the application to City Council for reconsideration <u>as a discretionary use</u> .	This change gives the applicant the option of a Council review if the proposed development is not consistent with requirements of the overlay zone.
4	8.50	<p>Part 8K – RID – Residential Infill Development Overlay Zone</p> <p>8K.4 Development Standards</p> <p>Section 4.2 Building Height</p> <p>Subsection (1)(b) be amended by deleting the existing wording and replacing it with “the average of the actual building height of all existing principal buildings on the same block face as the proposed development (see Figure 8K.F2).”</p>	<p>4.2 Building Height</p> <p>(1) For a proposed building containing two units or less on a lot zoned Residential, the maximum building height shall be the greater of:</p> <p>(a) 8.5 metres; or</p> <p>(b) the actual building height of an existing principal building on a next-door lot that is zoned Residential (see Figure 8K.F2).</p>	<p>4.2 Building Height</p> <p>(1) For a proposed building containing two units or less on a lot zoned Residential, the maximum building height shall be the greater of:</p> <p>(a) 8.5 metres; or</p> <p>(b) the average of the actual building height of all existing principal buildings on the same block face as the proposed development (see Figure 8K.F2).</p>	This is necessary based on amendment number 2.
5	8.50	<p>Part 8K – RID – Residential Infill Development Overlay Zone</p> <p>8K.4 Development Standards</p> <p>Section 4.2 Building Height</p>	<p>4.2 Building Height</p> <p>(2) Where a development is proposed pursuant to subsection 8K.4.2(1):</p> <p>(a) the drawings submitted as part of the development permit application shall</p>	<p>4.2 Building Height</p> <p>(2) Where a development is proposed pursuant to subsection 8K.4.2(1):</p> <p>(a) the drawings submitted as part of the development permit application shall</p>	This is necessary based on the change in amendment number 4 and to prevent the developer from incurring significant cost to determine the height of

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
		Be amended by deleting the wording in subsection (2)(b) and replacing it with “the average building height of existing principal buildings on the block face shall be determined based on estimates established by the Development Officer or, if the applicant disagrees with the Development Officer’s estimate, based on surveyor’s certificates submitted by the applicant showing the actual building height of each principal building on the same block face as the proposed development.”	<p>indicate the height of the proposed building; and</p> <p>(b) the applicant shall submit a surveyor’s certificate showing the actual building height of the next-door lot.</p>	<p>indicate the height of the proposed building; and</p> <p>(b) the average building height of existing principal buildings on the block face shall be determined based on estimates established by the Development Officer or, if the applicant disagrees with the Development Officer’s estimate, based on surveyor’s certificates submitted by the applicant showing the actual building height of each principal building on the same block face as the proposed development.</p>	buildings on the block face.
6	8.50	<p>Part 8K – RID – Residential Infill Development Overlay Zone</p> <p>Figure 8K.F2: Illustration of Building Height</p> <p>Be amended by deleting the existing diagram and replacing it with a new diagram.</p>	<p>See Figure 8K.F2 on page 34</p> <p>Figure 8K.F2: Illustration of Building Height</p>	<p>See Figure 8K.F2 on page 35</p> <p>Figure 8K.F2: Illustration of Building Height</p>	This is necessary based on the change in amendment number 5.
7	8.54	Be amended by adding a new subpart 8K.5.		<p>8K.5 Design Guidelines</p> <p>5.1 Definitions</p> <p>For the purposes of this subpart, the following terms shall have the meaning assigned to them by this section.</p>	This is necessary based on amendment number 2.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
				<p>“parallel massing” means the physical bulk of a building where the primary ridge of the pitched roof is parallel to the front wall of the building.</p> <p>“perpendicular massing” means the physical bulk of a building where the primary ridge of the pitched roof is perpendicular to the front wall of the building.</p> <p>“storey” means the portion of a building between the top of any floor and the top of the floor immediately above it. If there is no floor above it, the portion between the top of the floor and the ceiling above it. This does not include the portion of the building that is the basement.</p> <p>5.2 Location and Organization</p> <p>Primary views shall be oriented towards adjacent streets, parks and open spaces.</p> <p>5.3 Porch and Uncovered Balcony, Deck or Platform</p> <p>Porches and uncovered balconies, decks or platforms at the front or rear of a building shall be adequately screened to avoid overlook onto flanking properties.</p> <p>5.4 Massing</p> <p>(1) For a flat roof structure the following shall apply:</p> <p>(a) a one storey Building, Detached with a dwelling is not subject to front or</p>	

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
				<p>side wall setback provisions stated in clause 8K.5.4(1)(b);</p> <p>(b) for a two to three storey Building, Detached with a flat roof that contains a dwelling:</p> <p>(i) where a minimum side yard setback of 1.2 metres on both sides is utilized, side walls may incorporate a maximum height of 8.5 metres (See Figure 8K.F4); and</p> <p>(ii) where a side yard setback of less than 1.2 metres is utilized on one side, the side wall above 7.2 metres in height shall incorporate a setback of a minimum 1.2 metres from the side property line (See Figure 8K.F5);</p> <p>(c) where no front porch is provided, the front façade of a flat roof structure above 7.2 metres measured from the established grade shall be setback from the remainder of the façade by a minimum of 0.6 metres (See Figure 8K.F6); and</p> <p>(d) where a front porch is provided no front façade setback is required</p> <p>See Figure 8K.F4 on page 36 Figure 8K.F4: Flat Roof Building with Side Yard Setback of 1.2 Metres</p> <p>See Figure 8K.F5 on page 36</p>	

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
				<p>Figure 8K.F5: Flat Roof Building with Side Yard Setback Less Than 1.2 Metres</p> <p>See Figure 8K.F6 on page 37</p> <p>Figure 8K.F6: Flat Roof Building with No Front Porch</p> <p>(2) For a pitched roof structure the following shall apply:</p> <p>(a) a one storey Building, Detached with a dwellings is not subject to front, side or angular plane provisions stated in clause 8K.5.4(2)(b):</p> <p>(b) a two to three storey Building, Detached with a pitched roof that contains a dwelling, shall be consistent with to either the pitched roof perpendicular massing provisions in clause (c) or the pitched roof parallel massing provisions in clause (d);</p> <p>(c) for a pitched roof with perpendicular massing:</p> <p>(i) all portions of the structure shall be contained within 45 degree angular planes starting at 7.2 metres measured from the established grade at the sidewalls, and sloping from the sidewalls to the middle of the structure (See Figure 8K.F7);</p> <p>(ii) where no front porch is provided, the front façade shall be contained within a 45 degree angular plane starting at 7.2 metres measured</p>	

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
				<p>from the established grade (See Figure 8K.F8); and</p> <p>(ii) where a front porch is provided, clause 2(c)(ii) does not apply; and</p> <p>See Figure 8K.F7 on page 37 Figure 8K.F7: Perpendicular Massing on Pitched Roof Building</p> <p>See Figure 8K.F8 on page 38 Figure 8K.F8: Perpendicular Massing on Pitched Roof Building with No Front Porch</p> <p>(d) for a pitched roof with parallel massing:</p> <p>(i) all portions of the structure shall be contained within 45 degree angular planes starting at 7.2 metres measured from the established grade at the front and rear walls, and sloping from the front and rear towards the middle of the structure (See Figure 8K.F9);</p> <p>(ii) side walls are not required to fit within an angular plane (See Figure 8K.F10). However, the area of the side wall above 7.2 metres measured from the established grade shall not exceed 60% of the total available side wall area. The permitted side wall area may be distributed anywhere within the available side wall area (See Figure 8K.F11); and</p>	

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Amend No.	Page	Proposed Amendment (C)	Existing Regulation (D)	Proposed Regulation (E)	Rationale (F)
				<p>(iii) front and rear wall angular plane provisions shall be followed whether or not there is a front porch.</p> <p>See Figure 8K.F9 on page 38 Figure 8K.F9: Parallel Massing on Pitched Roof Building – Side Elevation</p> <p>See Figure 8K.F10 on page 39 Figure 8K.F10: Parallel Massing on Pitched Roof Building – Front Elevation</p> <p>See Figure 8K.F11 on page 39 Figure 8K.F11: Maximum Side Wall Area</p>	

PART 3F

R1 – RESIDENTIAL DETACHED ZONE

3F.1 INTENT

This zone is intended to:

- (a) permit the development of dwelling units in detached buildings; and
- (b) serve as a designation which preserves and protects the suburban residential community character of an area.

3F.2 APPLICATION

- (1) The regulations, standards, and requirements prescribed in part 3F apply to all land uses and developments in the Residential Detached zone.
- (2) The requirements of Chapter 1 apply to all proposed land uses and developments in the Residential Detached zone.
- (3) The Residential Detached zone shall apply to lands intended to permit the development of dwelling units only in detached buildings.

3F.3 BUILDING AND LAND USE REQUIREMENTS

3.1 PERMITTED OR DISCRETIONARY BUILDING TYPES

- (1) Table 3F.T1 lists building types that are permitted or discretionary in the Residential Detached zone.
- (2) Any building types other than those listed in Table 3F.T1 are prohibited in the Residential Detached zone.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T1: RESIDENTIAL DETACHED ZONE BUILDING TYPES				
Sec.	Building Type	Permitted	Discretionary	Building Specific Regulations
T1.1	Building, Accessory	Permitted	---	---
T1.2	Building, Detached	Permitted	---	The maximum number of principal units in a Building, Detached shall be one.
T1.3	Building, Planned Group	---	Discretionary	---

3.2 LAND USE REQUIREMENTS

- (1) Table 3F.T2 lists land uses and land use intensities that are permitted or discretionary in the Residential Detached zone, subject to compliance with:
 - (a) the land use specific regulations in Table 3F.T2;
 - (b) the development standards in subpart 3F.4;
 - (c) the parking and loading requirements in subpart 3F.6;
 - (d) the landscaping and aesthetic screening requirements of subpart 3F.7; and
 - (e) the other regulations of this Bylaw.
- (2) When considering approval of a land use or a land use intensity listed as discretionary in Table 3F.T2, the Development Officer shall evaluate the application based on the review criteria for discretionary uses listed in section 1E.3.6 of this Bylaw.
- (3) The following land uses are prohibited in the Residential Detached zone:
 - (a) any land use that is not listed in Table 3F.T2;
 - (b) any land use that is above the maximum intensity listed as permitted or discretionary in Table 3F.T2; and
 - (c) any land use that fails to meet any of the applicable requirements prescribed in this Bylaw.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T2: RESIDENTIAL DETACHED ZONE LAND USES				
Sec.	Land Use Group	Permitted	Discretionary	Land Use Specific Regulations
T2.1	<ul style="list-style-type: none"> • Dwelling, Group Care • Dwelling, Unit 	Permitted	---	---
T2.2	<ul style="list-style-type: none"> • Open Space, Active 	Permitted	---	<p>(1) The “Open Space, Active” land use may not be established where it will be closer than 182.88 metres to a Retail Trade, Cannabis land use.</p> <p>(2) The measurement required in subsection (1) shall be:</p> <p>(a) a straight line, measured from the nearest point of the portion of the building used for the “Retail Trade, Cannabis” land use to the nearest portion of the lot with an “Open Space, Active” land use; and</p> <p>(b) assessed as of the date of receipt of a complete application as determined by the Development Officer.</p>
T2.3	<ul style="list-style-type: none"> • Dwelling, Secondary Suite 	Permitted	---	<p>(1) “Dwelling, Secondary Suite” land use is restricted as follows:</p> <p>(a) a “Dwelling, Secondary Suite” shall be located only within the exterior walls of a Building, Detached with only one principal Dwelling Unit.</p> <p>(b) a “Dwelling, Secondary Suite” shall not occupy more than the lesser of:</p> <p>(i) 40 per cent of the gross floor area of the building; or,</p> <p>(ii) 80 square metres.</p> <p>where the calculation of such area shall include the area of the basement.</p> <p>(c) a “Dwelling, Secondary Suite” is not permitted in an accessory building or structure, unless otherwise specified.</p> <p>(d) no more than one “Dwelling, Secondary Suite” per principal Dwelling Unit shall be located in a building.</p> <p>(e) the floor area occupied by a “Dwelling, Secondary Suite” shall be considered as part of the principal building.</p>
T2.4	<ul style="list-style-type: none"> • Assembly, Religious • Institution, Day Care • Service Trade, Homestay 	---	Discretionary	<p>(1) A land use in the “Assembly” land use class:</p> <p>(a) shall not be operated from an accessory building; and</p> <p>(b) shall be located only on sites adjoining and accessed by a collector or arterial street.</p>

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T2: RESIDENTIAL DETACHED ZONE LAND USES				
Sec.	Land Use Group	Permitted	Discretionary	Land Use Specific Regulations
				<p>(2) An “Assembly, Community” or “Institution, Day Care” land use may not be established where it will be closer than 182.88 metres to a “Retail Trade, Cannabis” land use.</p> <p>(3) The measurement required in subsection (2) shall be:</p> <p>(a) a straight line, measured from the nearest point of the portion of the building used for the “Retail Trade, Cannabis” land use to the nearest portion of the lot with the “Assembly, Community” or “Institution Day Care” land use.</p> <p>(b) assessed as of the date of receipt of a complete application as determined by the Development Officer.</p>
T2.5	<ul style="list-style-type: none"> Public Use, General Utility, General 	Permitted	---	There shall be no exterior storage of goods, materials or equipment.
T2.6	<ul style="list-style-type: none"> Planned Group 	---	Discretionary	<p>(1) A “Planned Group” shall allow all land uses and building types that are permitted or discretionary in the Residential Detached zone.</p> <p>(2) All buildings within the “Planned Group” shall comply with the applicable Development Standards specified in Table 3F.T3.</p> <p>(3) Buildings that are connected by underground parking structures or above-ground enclosed or non-enclosed structures shall be considered a “Planned Group” and shall comply with the regulations of this subsection.</p> <p>(4) A “Planned Group” containing 20 or more Dwelling Units shall allocate a minimum of five per cent of the total lot area to a communal amenity area.</p> <p>(5) Where the required communal amenity area is outdoors, the soft landscaping portion of such communal amenity area may be included as part of the minimum landscaping requirements listed in subpart 3F.7.</p>

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T2: RESIDENTIAL DETACHED ZONE LAND USES				
Sec.	Land Use Group	Permitted	Discretionary	Land Use Specific Regulations
T2.7	• Residential Business	<p>Permitted if the Residential Business:</p> <p>(a) does not occupy more than 25 per cent of the gross floor area of the building used for the Dwelling Unit; or</p> <p>(b) is an Institution, Day Care meeting the requirements of a family child care home or group family child care home, as defined by <i>The Child Care Act</i>.</p>	<p>Discretionary if the Residential Business occupies more than 25 per cent but not more than 40 per cent of the gross floor area of the building used for the Dwelling Unit.</p>	<p>(1) For the purpose of this section, the gross floor area of the building used for the principal Dwelling Unit shall include any garage or accessory building.</p> <p>(2) Where more than one “Residential Business” is approved on a property, all Residential Businesses together shall not exceed the applicable permitted or discretionary area requirements of section T2.7.</p> <p>(3) A “Residential Business” shall be a land use defined in Chapter 2, except those listed in subsection (5).</p> <p>(4) Notwithstanding the permitted or discretionary area requirements of section T2.7, a “Residential Business” shall not be approved if, in the opinion of the Development Officer, the use would be more appropriately located in a mixed-use or industrial zone having regard for the overall compatibility of the use with the residential character of the area.</p> <p>(5) The following land uses or land use classes are prohibited as a “Residential Business” in the Residential Detached zone:</p> <p>(a) any land use in the “Agriculture” land use class, except “Agriculture, Indoor”;</p> <p>(b) any land use in the “Assembly” land use class;</p> <p>(c) any land use in the “Drive-Through” land use class;</p> <p>(d) any land use in the “Dwelling” land use class;</p> <p>(e) any land use in the “Food & Beverage” land use class, except “Food and Beverage, Catering”;</p> <p>(f) any land use in the “Industry” land use class, except “Industry, Artistic”;</p> <p>(g) any land use in the “Institution” land use class, except “Institution, Training” and “Institution, Day Care”;</p> <p>(h) any land use in the “Open Space” land use class;</p> <p>(i) any land use in the “Retail Trade” land use class;</p> <p>(j) any land use in the “Service Trade” land use class except “Service Trade, Personal,” “Service Trade, Light” and “Service Trade, Homestay”;</p> <p>(k) any land use in the “Transportation” land use class;</p> <p>(l) any land use in the “Wholesale Trade” land use class;</p> <p>(m) any land use in the “Public Use” land use class; and,</p> <p>(n) any land use in the “Utility” land use class.</p> <p>(6) No exterior storage or exterior operation of the “Residential Business” shall be permitted.</p> <p>(7) No window display of merchandise shall be permitted.</p> <p>(8) Notwithstanding clause T2.7(5)(i), merchandise created, assembled or designed on-site may be stored, displayed and sold from the business.</p> <p>(9) A “Residential Business” falling under the discretionary area requirements of section T2.7 shall only be considered in locations designated, as “live/work” areas through a secondary or concept plan.</p>

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)***3.3 COMBINATION OF USES**

- (1) Subject to the land use specific regulations listed in Table 3F.T2, permitted or discretionary principal buildings in the Residential Detached zone may include a combination of uses that are either permitted or discretionary in the Residential Detached zone.
- (2) Each principal use shall be in a separate unit within the building.
- (3) The land use specific regulation from Table 3F.T2 for each of the combined uses shall apply.
- (4) Where there is a conflict between the land use specific regulations for any set of uses, the most stringent land use specific regulation shall apply.

3F.4 DEVELOPMENT STANDARDS IN THE RESIDENTIAL DETACHED ZONE**4.1 DEVELOPMENTS STANDARDS**

The standards prescribed in Table 3F.T3 shall apply to all principal buildings and land uses in the Residential Detached zone.

TABLE 3F.T3 RESIDENTIAL DETACHED ZONE DEVELOPMENT STANDARDS			
Sec.	Development Criteria	Standards (Per lot)	
		• Building, Detached	• Building, Planned Group
T3.1	Minimum Lot Area	325 square metres	Sum of minimum lot area as identified in T3.1 for each building type on the lot.
T3.2	Minimum Lot Frontage	10.5 metres	Where buildings on the lot front a public road: the sum of minimum lot frontage as identified in T3.2 for each building fronting a public street; otherwise: 7.5 metres.
T3.3	Minimum Front Yard Setback		
	(1) To garage (Subject to subclause 3F.6.4(4)(b))	6.0 metres	Minimum front yard setback otherwise required for each of the building types as identified in T3.3.
	(2) To non-garage portion of the building		
	(a) where a landscaped boulevard exists between the curb and the public sidewalk	3.0 metres	
	(b) where no landscaped boulevard exists between the curb and the public sidewalk	4.5 metres	

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T3 RESIDENTIAL DETACHED ZONE DEVELOPMENT STANDARDS			
Sec.	Development Criteria	Standards (Per lot)	
		• Building, Detached	• Building, Planned Group
T3.4	Minimum Rear Yard Setback		
	(1) Lots with rear lane access	3.5 metres	Minimum rear yard setback otherwise required for each of the building types as identified in T3.4.
	(2) Lots without rear lane access	5.0 metres	
T3.5	Minimum Side Yard Setback for Corner Lots		
	(1) Flankage yard	450 millimetres	Minimum side yard setback for corner lots otherwise required for each of the building types as identified in T3.5.
	(2) Total side yard	1.65 metres	
T3.6	Minimum Side Yard Setback for Interior Lots		
	(1) Single side yard	1.2 metres	Minimum side yard setback for interior lots otherwise required for each of the building types as identified in T3.6.
	(2) Total side yard	2.4 metres	
T3.7	Maximum Site Coverage	50%	50%
T3.8	Maximum Floor Area Ratio	0.75	Maximum floor area ratio otherwise permitted for each building type as identified in the T3.8.
T3.9	Maximum Building Height	11 metres	11 metres

4.2 EXISTING MAINTENANCE EASEMENT

- (1) Where a maintenance easement is registered on the title(s) of a lot in the Residential Detached zone regarding a zero lot development on an adjoining lot:
 - (a) if the lawfully existing zero lot development on the adjoining lot is damaged or destroyed by fire, flood or an act of God, it may be repaired or reconstructed as a new zero lot development;
 - (b) notwithstanding the minimum side yard requirements prescribed in Table 3F.T3, the owner of such lot shall perpetually keep the maintenance easement in favor of the adjoining lot on which the zero lot development is constructed;
 - (c) notwithstanding the permitted yard encroachments prescribed in Table 3F.T4, features such as fireplaces, chimneys, dryer vents, cold air intakes, hose bibs, downspouts, etc. and other architectural elements shall not encroach into the maintenance easement; and

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (d) notwithstanding clause 3F.4.2 (1)(b), eaves from the building on the lot with maintenance easement can encroach on the maintenance easement to a maximum distance of 600 millimetres.

4.3 LOT FRONTAGE

- (1) Where a lot's front lot line is curved, the lot frontage shall be measured as follows, as shown in Figure 3F.F1:
 - (a) the midpoint of the front lot line, relative to the side lot lines, shall be determined;
 - (b) a distance line perpendicular to the tangent and six metres in length shall be measured from the midpoint determined in subclause 3F.4.3(1)(a); and
 - (c) the lot frontage shall be measured as a line perpendicular to the six metre distance line prescribed in subclause 3F.4.3(1)(b).
- (2) On a corner lot, the lot frontage shall be measured as follows, as shown in Figure 3F.F2:
 - (a) a distance line perpendicular to the front lot line and six metres in length shall be measured from the front lot line; and
 - (b) the lot frontage shall be measured as a line perpendicular to the six metre distance line prescribed in subclause 3F.4.3(2)(a).

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

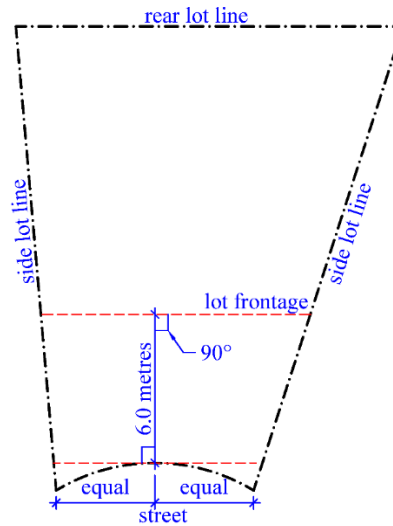


Figure 3F.F1: Minimum Lot Frontage on a Curved Front Lot

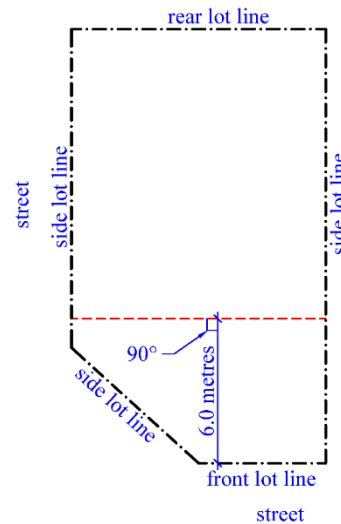


Figure 3F.F2: Minimum Lot Frontage on a Corner Lot

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)***4.4 PERMITTED YARD ENCROACHMENTS**

- (1) The minimum front yard, flankage side yard, interior side yard and rear yard specified by this Bylaw shall remain free from any encroachment, except as permitted by Table 3F.T4.
- (2) Permitted yard encroachments are subject to section 1E.1.9 in Chapter 1.
- (3) The minimum setback from lot line to a permitted encroachment shall be the lesser of the setback standards prescribed in Table 3F.T3 and 3F.T4.

TABLE 3F.T4: RESIDENTIAL DETACHED ZONE PERMITTED ENCROACHMENTS				
Sec.	Structure	Permitted Yard	Maximum Projection into Permitted Yard	Minimum Setback from Lot Line
T4.1	Non-structural architectural features (e.g. window sill, eaves, etc.)	<ul style="list-style-type: none"> • Front Yard • Interior Side Yard • Flankage Yard • Rear Yard 	610 millimetres	450 millimetres
T4.2	Cantilevered portion of a building, no greater than 2.4 square metres in combined area of all cantilevers when measured horizontally	<ul style="list-style-type: none"> • One Interior Side Yard • Flankage Yard 	610 millimetres	450 millimetres
T4.3	Fire escape	<ul style="list-style-type: none"> • Front Yard • Interior Side Yards • Flankage Yard • Rear Yard 	1.5 metres	150 millimetres
T4.4	Uncovered Balcony, Deck or Platform			
	(1) Portion that is 600 millimetres or more in height above grade.	<ul style="list-style-type: none"> • Front Yard • Rear Yard 	1.5 metres	The lesser of the minimum side yard setback requirements for the principal building on site or the existing side yard setback of the building on site.
	(2) Portion that is less than 600 millimetres in height above grade.	<ul style="list-style-type: none"> • Front Yard • Interior Side Yards • Flankage Yard • Rear Yard 	Unrestricted	Unrestricted
T4.5	Porch	<ul style="list-style-type: none"> • Front Yard • Rear Yard 	1.5 metres	3.0 metres
T4.6	Steps above or below grade, landings and wheelchair ramps	<ul style="list-style-type: none"> • Front Yard • Interior Side Yards • Flankage Yard • Rear Yard 	Unrestricted	Unrestricted

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T4: RESIDENTIAL DETACHED ZONE PERMITTED ENCROACHMENTS				
Sec.	Structure	Permitted Yard	Maximum Projection into Permitted Yard	Minimum Setback from Lot Line
T4.7	Children's play equipment, fences, gutters, retaining walls or other landscape features and decorative structures	<ul style="list-style-type: none"> • Front Yard • Interior Side Yards • Flankage Yard • Rear Yard 	Unrestricted	Unrestricted

4.5 HEIGHT EXCEPTIONS

(1) Subject to subsection 3F.4.5(2), the maximum building height listed in Table 3F.T3 shall not apply to the following:

- (a) a spire;
- (b) a belfry;
- (c) a cupola;
- (d) a dome;
- (e) a chimney;
- (f) a ventilator;
- (g) a skylight;
- (h) a water tank;
- (i) a bulkhead;
- (j) a communication antenna; or
- (k) a feature or mechanical appurtenance, usually situated above the roof level, that is, in the opinion of the Development Officer, similar to the above list.

- (2) The features mentioned in subsection 3F.4.5(1):
- (a) may not include an elevator or staircase enclosure, or a mechanical penthouse;
 - (b) may not be used for human habitation; and
 - (c) shall be erected only to such minimum height or area necessary to accomplish the purpose they are to serve.

3F.5 ACCESSORY USE, BUILDING AND STRUCTURE

5.1 ACCESSORY BUILDING OR STRUCTURE LOCATION

Detached accessory buildings or structures shall not be located in the front yard, except those listed in Table 3F.T4.7.

5.2 ACCESSORY BUILDING OR STRUCTURE DEVELOPMENT STANDARDS

The standards prescribed in Table 3F.T5 apply to all accessory buildings or structures in the Residential Detached zone.

TABLE 3F.T5 RESIDENTIAL DETACHED ZONE DEVELOPMENT STANDARDS FOR ACCESSORY BUILDINGS OR STRUCTURES		
Sec.	Development Criteria	Standard (Per lot)
T5.1	Maximum Area	
	(1) Accessory to a Building, Detached;	75 square metres
	(2) Accessory to: (a) a building within a Planned Group; (b) Public Use, General; or (c) Utility, General	Greater of 75 square metres or 15 per cent of the lot area.
T5.2	Minimum Setback for an Accessory Building or Structure on an interior lot	
	(1) Where the accessory building or structure is located entirely within the rear yard:	
	(a) setback from rear lot line	
	(i) where the vehicular access door of a garage faces the rear lot line adjoining a public lane; or	1.5 metres
	(ii) otherwise	600 millimetres

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T5 RESIDENTIAL DETACHED ZONE DEVELOPMENT STANDARDS FOR ACCESSORY BUILDINGS OR STRUCTURES		
Sec.	Development Criteria	Standard (Per lot)
	(b) setback from side lot lines	600 millimetres
	(2) Where the accessory building or structure is located entirely within the side yard:	
	(a) setback from side lot line	Same as otherwise required for the principal building on site.
T5.3	Minimum Setback for an Accessory Building or Structure located on a corner lot	
	(1) Where the accessory building or structure is located entirely within the rear yard:	
	(a) setback from rear lot line:	
	(i) where a vehicular access door of a garage faces rear lot line adjoining a public lane; or	1.5 metres
	(ii) otherwise	600 millimetres
	(b) setback from side lot line:	
	(i) where a vehicular access door of a garage faces flankage lot line; or	6.0 metres from flankage lot line
	(ii) otherwise	600 millimetres
	(2) Where the accessory building or structure is located entirely within the side yard:	
	(a) setback from side lot line	
	(i) where a vehicular access door of a garage faces flankage lot line; or	6.0 metres from flankage lot line
	(ii) otherwise	Same as otherwise required for the principal building on site.
T5.4	Minimum Setback from a principal building on the site	1.0 metre
T5.5	Maximum Height	
	(1) An accessory building used as a communal amenity area in a Planned Group	11.0 metres
	(2) Otherwise	4.0 metres

5.3 ACCESSORY BUILDING OR STRUCTURE EXCEPTIONS

- (1) Notwithstanding the minimum setback requirements for an accessory building or structure specified under Table 3F.T5:
- (a) where an accessory structure is structurally attached to the principal structure as an enclosed, all-season, heated living space, it shall be considered as a part of the principal structure, and shall maintain the yard requirements of the principal building (see Figure 3F.F3); and

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (b) notwithstanding clause 3F.5.3(a), where access to an attached or detached garage or carport is provided directly from a flankage side, setback to the attached garage or carport shall be minimum 6.0 metres from the flankage lot line (see Figure 3F.F4);

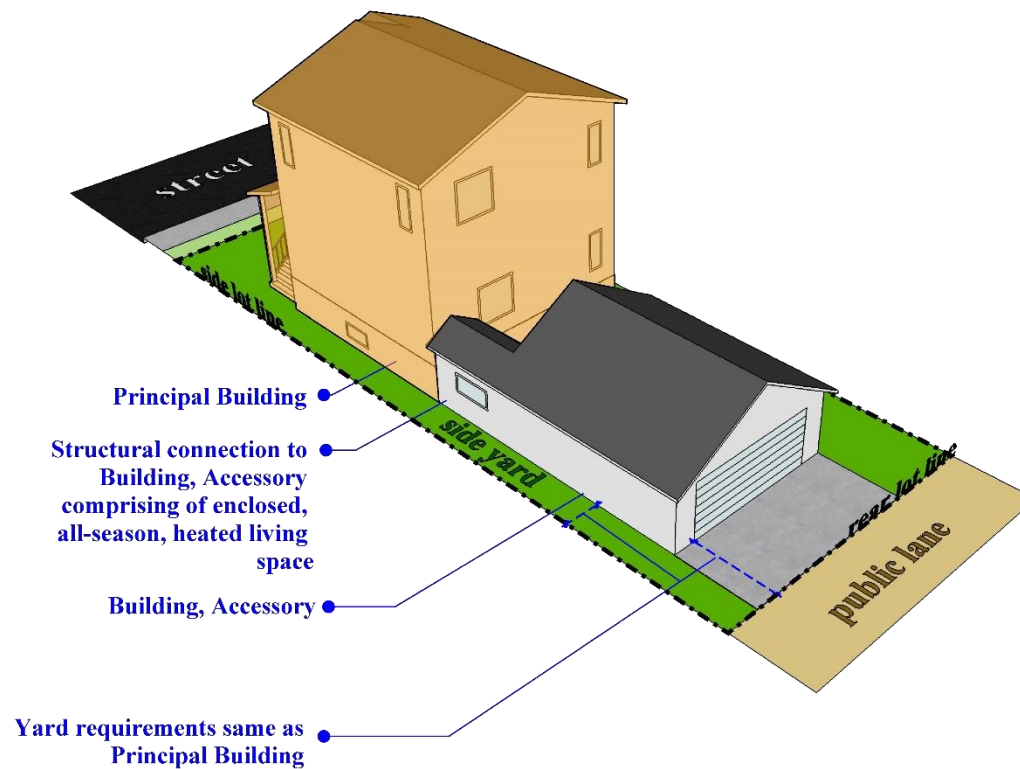


Figure 3F.F3: Accessory Connection

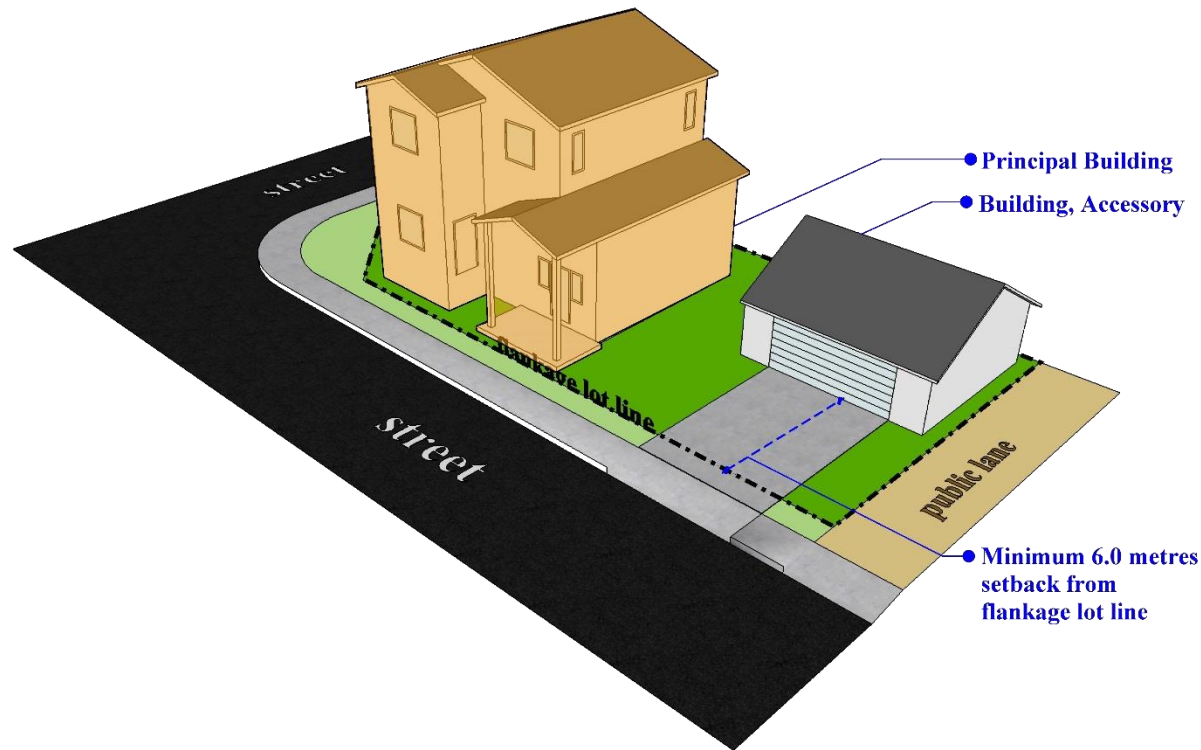


Figure 3F.F4: Flankage Yard Parking

- (2) The minimum setback requirements of Table 3F.T5 shall not apply to a detached accessory building with a floor area of 10 square metres or less and which is located in the rear or side yard, provided that no part of the accessory structure overhangs the property line.
- (3) Where a detached accessory structure mentioned in subsection 3F.5.3(2) is located on a corner lot, the same side yard setback shall be maintained from the corner side as required for the principal building.
- (4) All accessory structures or buildings shall be included in the calculation of the total site coverage calculation, except those listed in Table 3F.T4.7.

3F.6 PARKING AND LOADING

6.1 NO OBSTRUCTION

For a building containing non-dwelling land uses, parking stalls required by this Bylaw shall not be obstructed in any way by garbage receptacles, structures, equipment or materials which interfere with the ability of the parking stall to serve its function.

6.2 ACCESSIBLE PARKING STALLS

- (1) Notwithstanding any other provision in this Bylaw, a minimum of two per cent of the required number of parking stalls shall be provided in the form of accessible parking stalls in the Residential Detached zone.
- (2) Accessible parking stalls shall be clearly designated with signs above ground indicating their purpose.
- (3) Relative to the placement of non-accessible parking stalls, accessible parking stalls shall be located closest to the:
 - (a) accessible building entrance, if it exists; or
 - (b) building entrance with the shortest path of travel from the accessible parking stalls.

6.3 MOTOR VEHICLE REGULATIONS

- (1) All motor vehicle parking stalls, loading stalls and manoeuvring areas shall be located entirely on the same lot as the principal land use they serve except as provided by caveated parking, shared parking or shared maneuvering area as prescribed in subpart 1F.3 of Chapter 1.
- (2) No motor vehicle parking stall, manoeuvring area, garage door, loading stall or loading bay shall be located in:
 - (a) any areas provided to meet the total site landscaping area; or
 - (b) the required front yard unless otherwise specified in this Bylaw.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (3) Motor vehicles parked on site shall only be parked in approved parking stalls or on an approved driveway leading up to a garage, carport or legal parking pad located on site (see Figure 3F.F5).

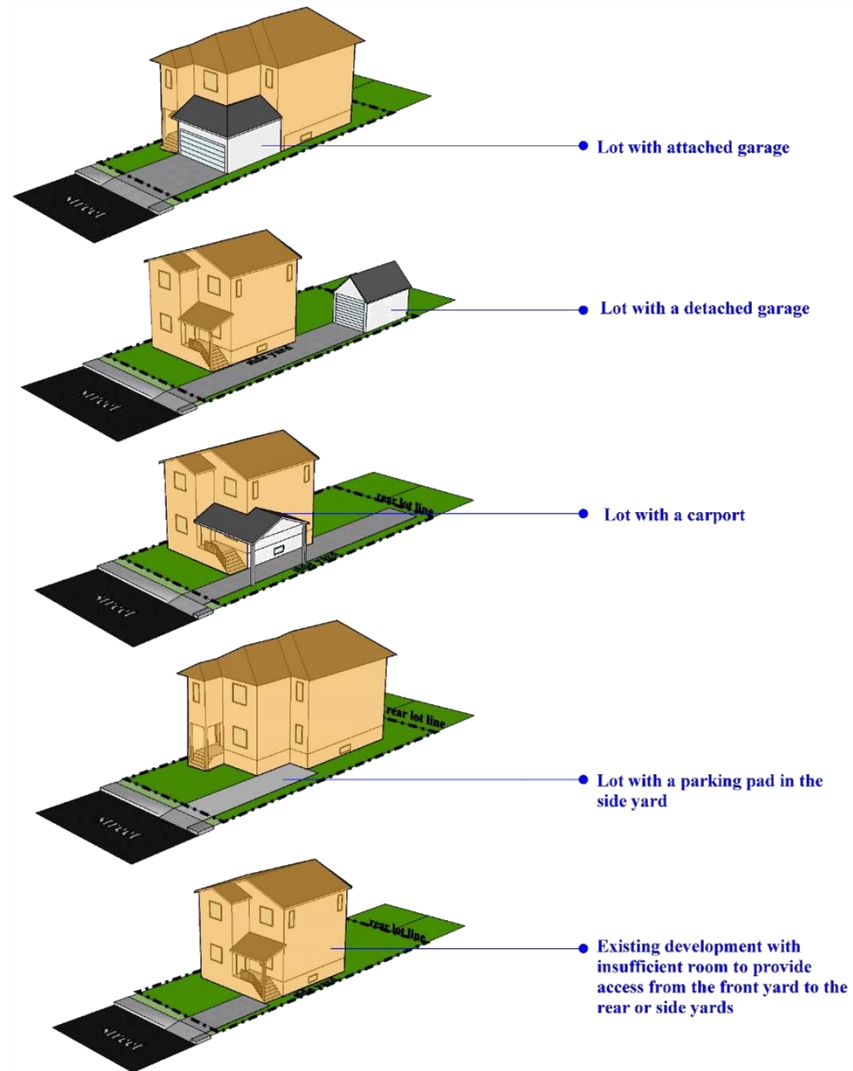


Figure 3F.F5: Front Yard Parking

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (4) The following requirements apply in determining the location of access to parking on a lot in the Residential Detached zone:
- (a) where a lot backs onto a lane, vehicle access to the required parking stall shall be from the lane;
 - (b) notwithstanding clause 3F.6.3(4)(a), front yard vehicular access may be permitted, where:
 - (i) the lot has a lawfully existing building and a lawfully existing parking stall with access provided from the front yard; or
 - (ii) more than 80 per cent of principal buildings on the same blockface have existing front yard vehicular access with the proper surface type; and
 - (iii) the lot has a minimum frontage of 10.5 metres.
 - (c) where a lot does not back onto a lane, the following conditions allow for front yard parking:
 - (i) the lot has an attached garage with access provided from the front yard; or
 - (ii) the lot has a detached garage, a carport or a parking pad located in the side or rear yard, with access provided from the front yard; or
 - (iii) the lot contains an existing development with insufficient room to provide access from the front yard to the rear or side yards.
- (5) Where a lot in the Residential Detached zone is a corner lot, the following conditions allow for flankage yard parking:
- (a) the lot has an attached garage with access provided from the flankage yard;
 - (b) the lot has a detached garage, a carport or a parking pad located in the side or rear yard, with access provided from the flankage yard; or
 - (c) there is insufficient room to provide access from the flankage yard to the rear or side yards.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (6) Where vehicle access to the required parking stall is provided from the front yard, the number of vehicles parked on a legal driveway located in the front yard is limited to the capacity of the garage, carport or parking pad, or two, whichever is greater.
- (7) The maximum width of a driveway in the Residential Detached zone shall not exceed the exterior dimensions of the garage, carport or the parking pad for a building containing only Dwelling land uses.

6.4 MINIMUM MOTOR VEHICLE PARKING REQUIREMENTS

- (1) The minimum motor vehicle parking requirements prescribed in Table 3F.T6 apply to development in the Residential Detached zone.
- (2) If, in determining the number of required motor vehicle parking and loading stalls, a fractional stall is calculated:
 - (a) any fraction up to and including one-half shall be disregarded; and
 - (b) any fractions over one-half shall be deemed to be equivalent to one stall.
- (3) The required parking stalls may be provided as tandem parking unless otherwise specified in this Bylaw.
- (4) Up to 30 per cent of the required parking stalls in any parking area may be designed as compact stalls.
- (5) All compact parking stalls shall be clearly designated with signs indicating their purpose.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

TABLE 3F.T6: RESIDENTIAL DETACHED ZONE PARKING REQUIREMENTS			
Sec.	Land Use	Motor Vehicle	
T6.1	Dwelling, Secondary Suite or Dwelling, Unit	One stall is required per Dwelling Unit.	
T6.2	Dwelling, Group Care	Greater of: (a) one stall is required per six beds; or (b) two stalls are required.	
T6.3	Dwelling, Assisted Living	0.4 stalls are required per Dwelling Unit.	
T6.4	Planned Group	Same as the requirement for the permitted or discretionary Dwelling use in the Residential Detached zone.	
T6.5	Service Trade, Homestay	0.5 stall per Service Trade, Homestay is required in addition to the parking requirement for the Dwelling Unit.	
T6.6	Business, Residential	(1) A minimum of one parking stall shall be provided for the Residential Business in addition to the parking required for the Dwelling Unit on the same lot if the Residential Business utilizes a business vehicle. (2) Where the Residential Business is an Institution, Day Care, parking requirements listed under T6.7 shall apply.	
T6.7	Institution, Day Care	(1) One stall is required per land use; and (2) Passenger drop-off stall in accordance with the following:	
		Individuals under care	Minimum Number of Passenger Drop-off stalls
		1-10	1 stall
		10-15	2 stalls
		16-30	3 stalls
		31-45	4 stalls
		46-60	5 stalls
		More than 60	Two additional stalls for each increment of 15 individuals in excess of 60
		(3) Notwithstanding subsection (2), where the applicant demonstrates, to the satisfaction of the Development Officer, that on-street parking capacity can adequately serve as a passenger drop-off stall without impeding traffic flow, the Development Officer may reduce the minimum passenger drop-off stall requirements accordingly.	
		(4) Parking stalls required pursuant to subsection (1) shall not be used to satisfy the passenger drop-off stall requirements of subsection (2).	
(5) All on-site passenger drop-off stalls shall be reserved and clearly marked for passenger drop-off purposes.			
T6.8	All other land uses	One stall is required per 75 square metres of total floor area.	

6.5 MINIMUM LOADING REQUIREMENTS

- (1) On any lot containing buildings with a gross floor area of 1,401 to 10,000 square metres, one loading stall shall be required.
- (2) On any lot containing buildings with a combined gross floor area of 10,001 square metres or more, one loading stall shall be required in addition to the requirement mentioned in subsection 3F.6.5(1).
- (3) Dwelling Units shall not be calculated toward the combined gross floor area mentioned in subsection 3F.6.5(1) or (2).

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (4) All loading stalls shall be clearly marked to indicate their purpose.
- (5) Notwithstanding subsections 3F.6.5(1) and (2), the Development Officer may decrease the number of required loading stalls.

6.6 BICYCLE PARKING REQUIREMENTS

- (1) For every 10 required motor vehicle parking stalls in a development containing non-dwelling land uses, whether to meet the parking requirement in Table 3F.T6 or not, there shall be either:
 - (a) two short-term bicycle parking stalls;
 - (b) 0.5 long-term bicycle parking stalls; or
 - (c) an equivalent combination of the clauses 3F.6.6(1)(a) and (b).
- (2) If, in determining the number of required parking stalls, a fractional bicycle parking stall is calculated, any fraction will be rounded up to the next whole number.
- (3) Required short-term bicycle stalls shall be located closer to the building entrance than the motor vehicle parking stalls.
- (4) Required long-term bicycle stalls shall be located either:
 - (a) on the ground floor of the principal building(s) on the lot; or
 - (b) within a secure area closer to the entrance than the building's motor vehicle parking stalls.
- (5) If the motor vehicle parking stalls are covered or located within a structure, then the bicycle parking stalls must also be covered or located within a structure.

6.7 MUNICIPAL HERITAGE PROPERTY AND PROVINCIAL HERITAGE PROPERTY

- (1) Where required, the number of motor vehicle parking stalls existing upon municipal heritage property and provincial heritage property, at the time of such heritage designation, shall be maintained for any development approved after such date.

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (2) Notwithstanding the motor vehicle parking requirements in subpart 3F.6.4 and 3F.6.5, development of designated municipal heritage property and provincial heritage property shall not be required to provide parking and loading facilities beyond that mentioned in subsection 3F.6.7(1).

3F.7 LANDSCAPING AND AESTHETIC SCREENING

7.1 MINIMUM TOTAL SITE LANDSCAPING REQUIREMENTS

- (1) The minimum landscaping requirements prescribed in Table 3F.T7 apply to principal land uses and developments in the Residential Detached zone.

TABLE 3F.T7: RESIDENTIAL DETACHED ZONE TOTAL SITE LANDSCAPING REQUIREMENTS		
Sec.	Land Use	Minimum Landscaping Requirements
T7.1	For a : <ul style="list-style-type: none"> • Dwelling, Unit; or • Dwelling, Group Care 	Within two years of the issuance of an occupancy permit, the entirety of the front yard and side yards abutting a public street or public pathway must be landscaped, excluding: (a) a walkway; and (b) a driveway leading to an approved parking stall.
T7.2	<ul style="list-style-type: none"> • Assembly, Community • Assembly, Religious • Institution, Day Care • Service Trade, Homestay 	10% total site landscaping area
T7.3	<ul style="list-style-type: none"> • Planned Group 	15% total site landscaping area
T7.4	<ul style="list-style-type: none"> • Dwelling, Secondary Suite • Open Space, Active • Public Use, General • Utility, General • Business, Residential 	No requirement

- (2) For all uses listed in sections T7.2 and T7.3 of Table 3F.T7, where a parking or loading area abuts a public street, a minimum 3.0 metre landscaped strip measured from the inside of the curb or the sidewalk shall be provided. The requirement of this subsection can be credited toward the fulfillment of the total site landscaping requirement prescribed in Table 3F.T7.
- (3) If there is a conflict between the requirements in Table 3F.T7, the most stringent requirement shall apply.

- (4) All landscaping requirements shall be completed in accordance with the approved landscape plan by the end of the growing season in which the use of the building or site has taken place. When the use of a building has occurred after the end of the growing season, all required and approved landscaping features shall be completed by June 1 of the following growing season.

7.2 PLANTING REQUIREMENTS

- (1) For all uses listed in sections T7.2 and T7.3 of Table 3F.T7, the following planting ratios shall apply to achieve the total site landscaping area, as required by Table 3F.T7:
 - (a) a minimum of one tree per 40 square metres of required site landscaping is required per lot;
 - (b) for every ten metres along a registered road right-of-way, a minimum of one deciduous tree is required. This includes portions separated from a right-of-way only by an easement or boulevard; and
 - (c) a minimum of one shrub per 20 square metres of required site landscaping is required per lot.

7.3 INCLUDED LANDSCAPED AREAS

- (1) Exposed soil will only be considered toward the total site landscaping area in an Open Space, Active used to grow plants or in shrub beds.
- (2) The total site landscaping area, as required Table 3F.T7, may include, but is not restricted to:
 - (a) parking area landscaping;
 - (b) major roadways landscape design areas (see Figure 3F.F6);
 - (c) boulevard areas;
 - (d) curbing;
 - (e) perimeter screening; and

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

- (f) any portion of required aesthetic screening.
- (3) Developments within the major roadways landscape design areas in Figure 3F.F6 may be subject to additional landscaping requirements.
- (4) Boulevard areas shall only be used to fulfil the total site landscaping requirement, subject to the approval of the Development Officer.

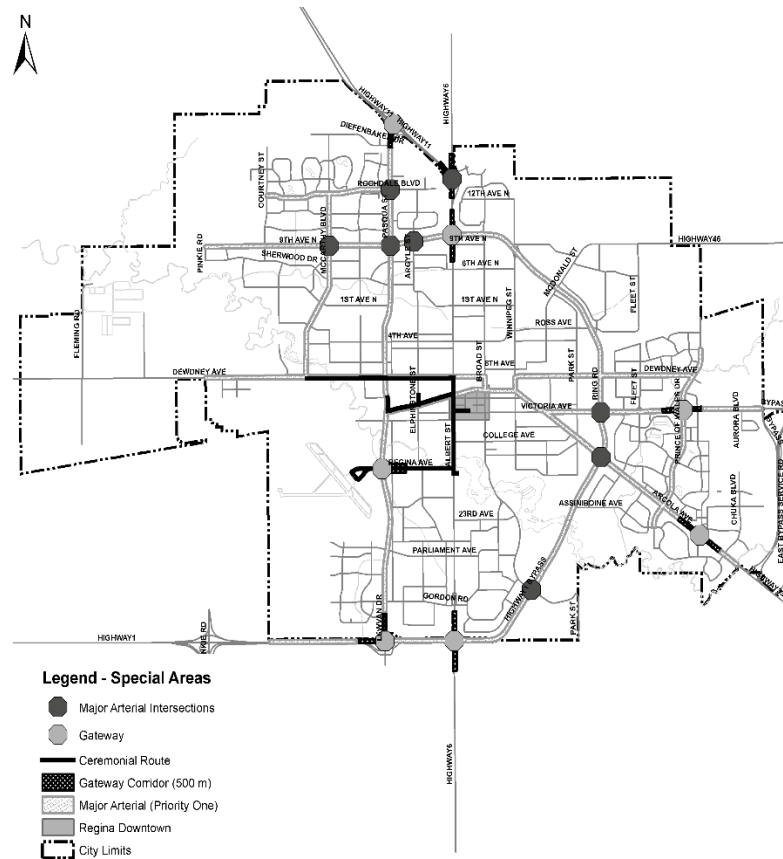


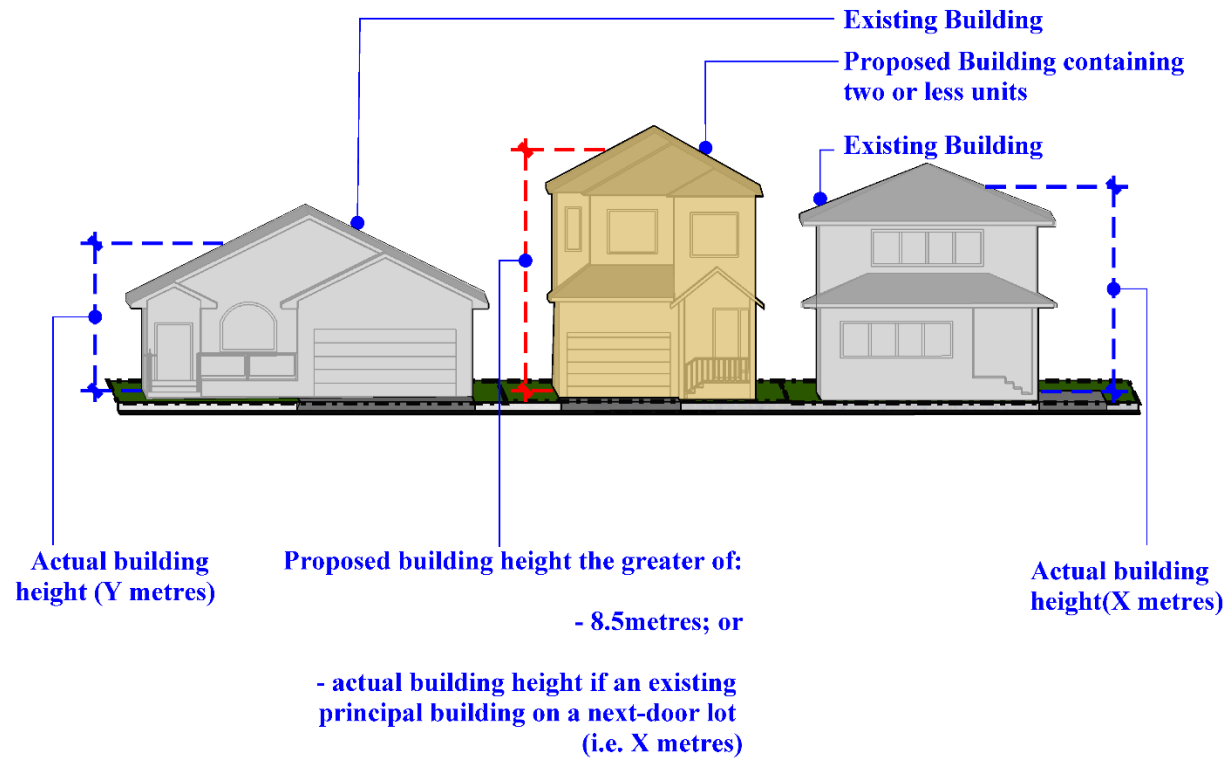
Figure 3F.F6: Major Roadways Landscape Design Map

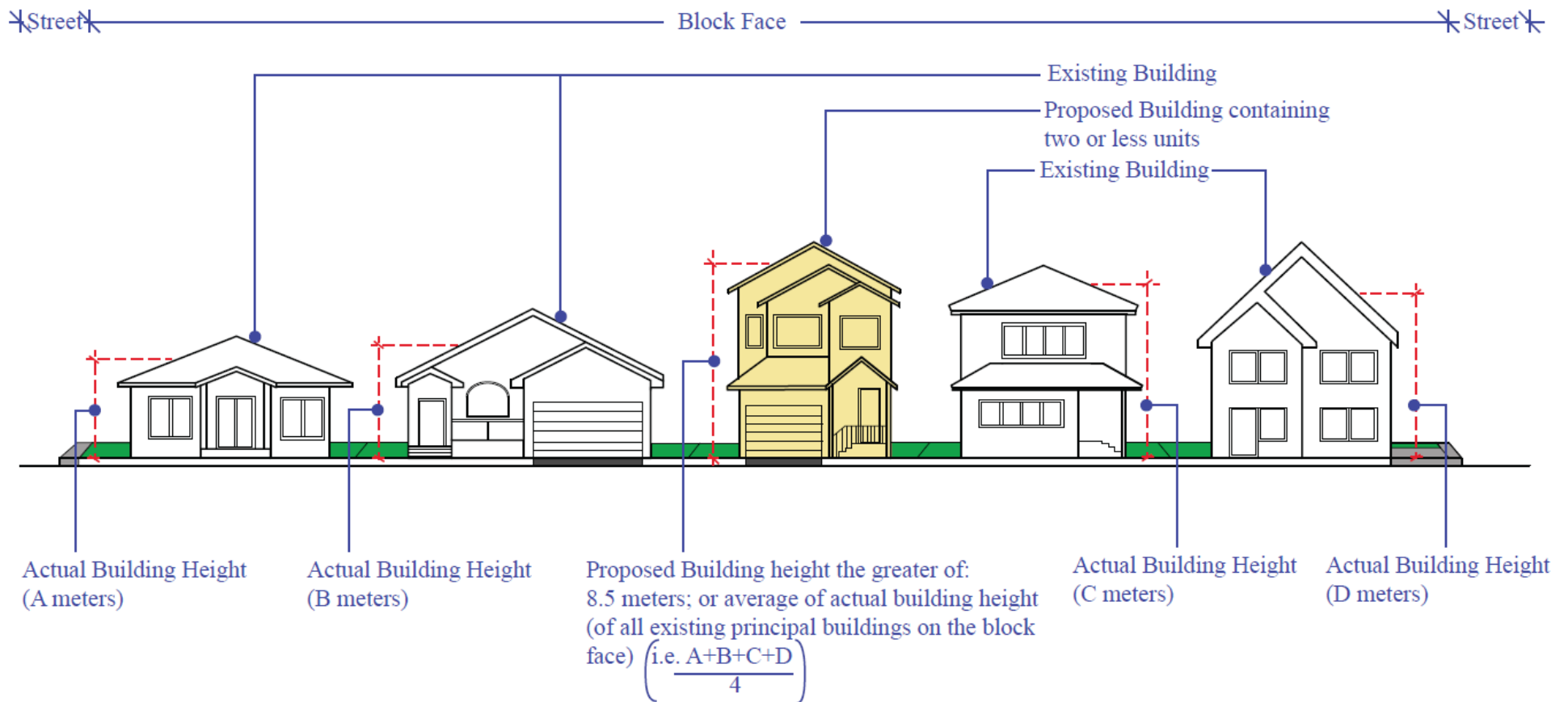
7.4 PRESERVATION OF EXISTING PLANT MATERIAL

Where existing plant material on site is retained, it may be credited toward the fulfillment of the total site landscaping requirement.

7.5 AESTHETIC SCREENING OF INCOMPATIBLE USES

- (1) A proposed new development or substantial addition to an existing development on a lot in the Residential Detached zone shall provide minimum 1.83 metre high aesthetic screening along its abutting lot lines, where the proposed development is any non-dwelling land use except Open Space, Active abutting a lot zoned Residential.
- (2) In addition to other requirements of this Bylaw, the following activities and/or areas on a lot in the Residential Detached zone containing four or more dwelling units or a non-dwelling land use shall be aesthetically screened from all sides to a height of 1.83 metres or to the satisfaction of the Development Officer:
 - (a) all collection areas for garbage, refuse or recycling; and
 - (b) all storage areas that are outdoors or partially outdoors.

Current Figure 8K.F2: Illustration of Building Height**Figure 8K.F2: Illustration of Building Height**

Proposed Figure 8K.F2: Illustration of Building Height**Figure 8K.F2: Illustration of Building Height**

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

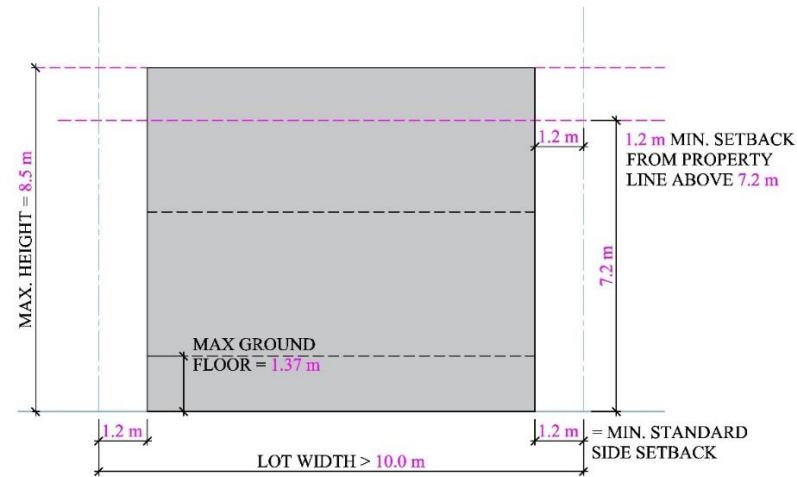


Figure 8K.F4: Flat Roof Building with Side Yard Setback of 1.2 Metres

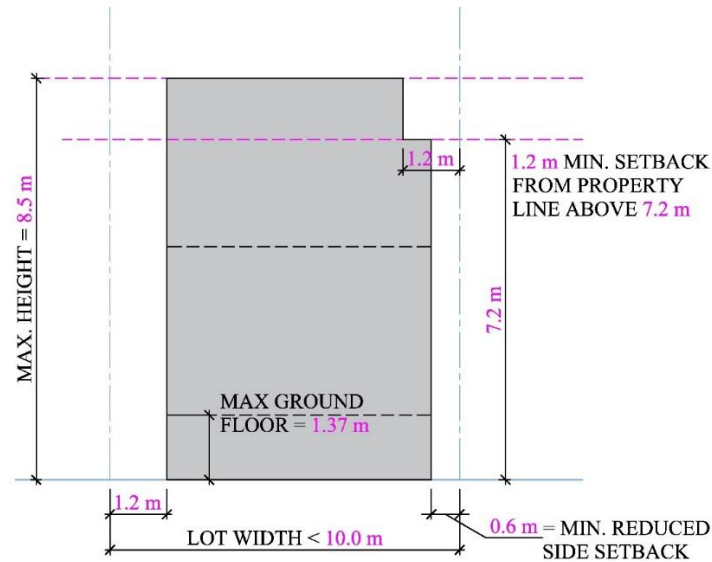
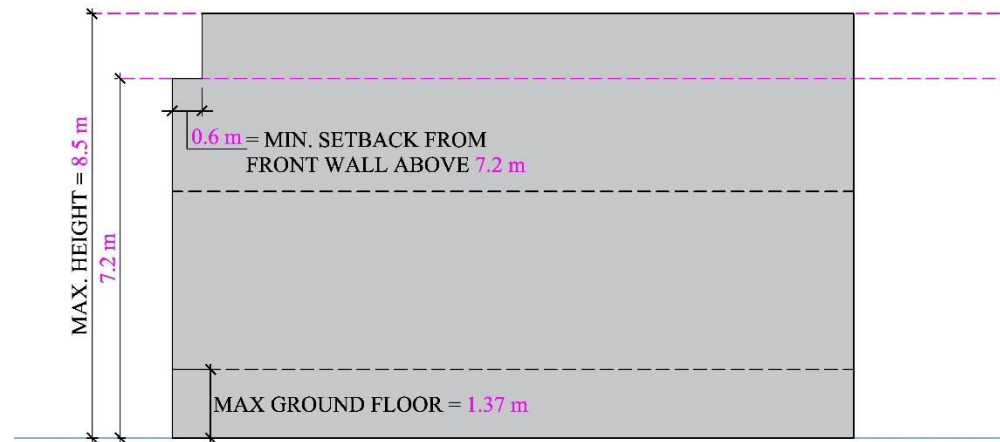
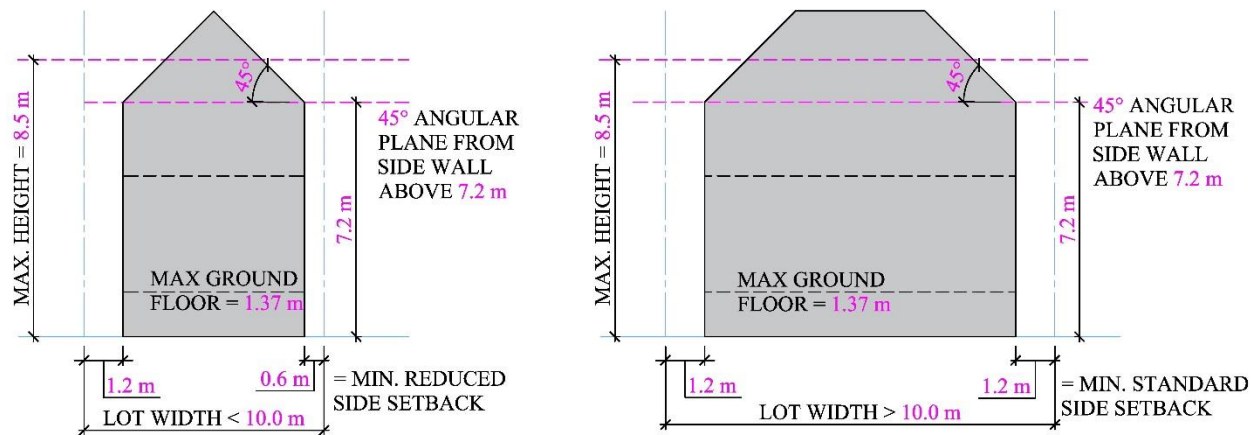


Figure 8K.F5: Flat Roof Building with Side Yard Setback Less Than 1.2 Metres

APPENDIX B-1

Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)***Figure 8K.F6: Flat Roof Building with No Front Porch****Figure 8K.F7: Perpendicular Massing on Pitched Roof Building**

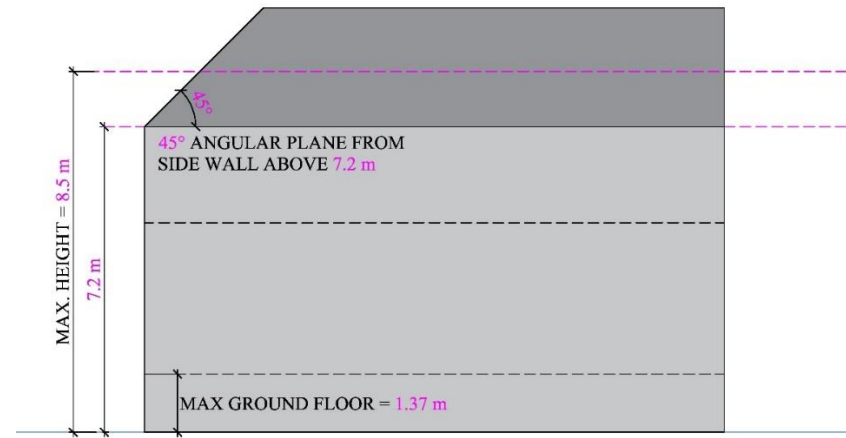


Figure 8K.F8: Perpendicular Massing on Pitched Roof Building with No Front Porch

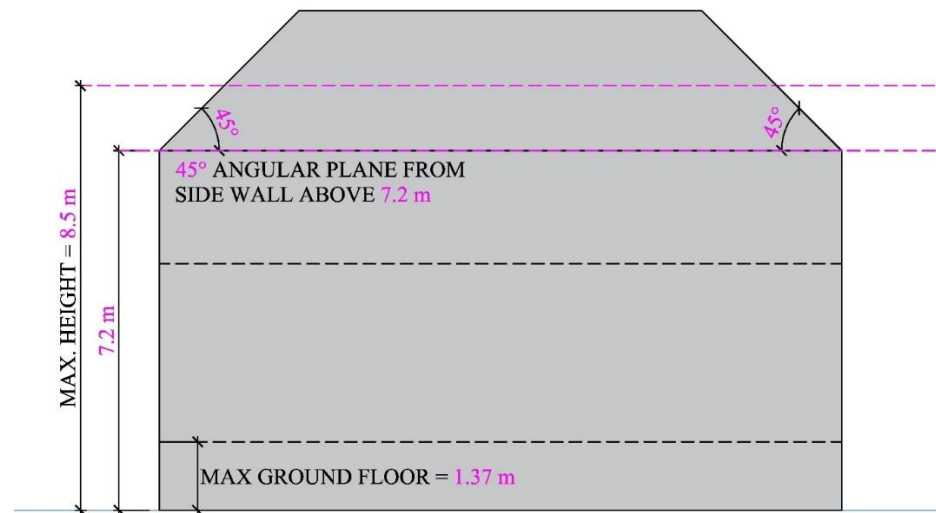


Figure 8K.F9: Parallel Massing on Pitched Roof Building – Side Elevation

APPENDIX B-1

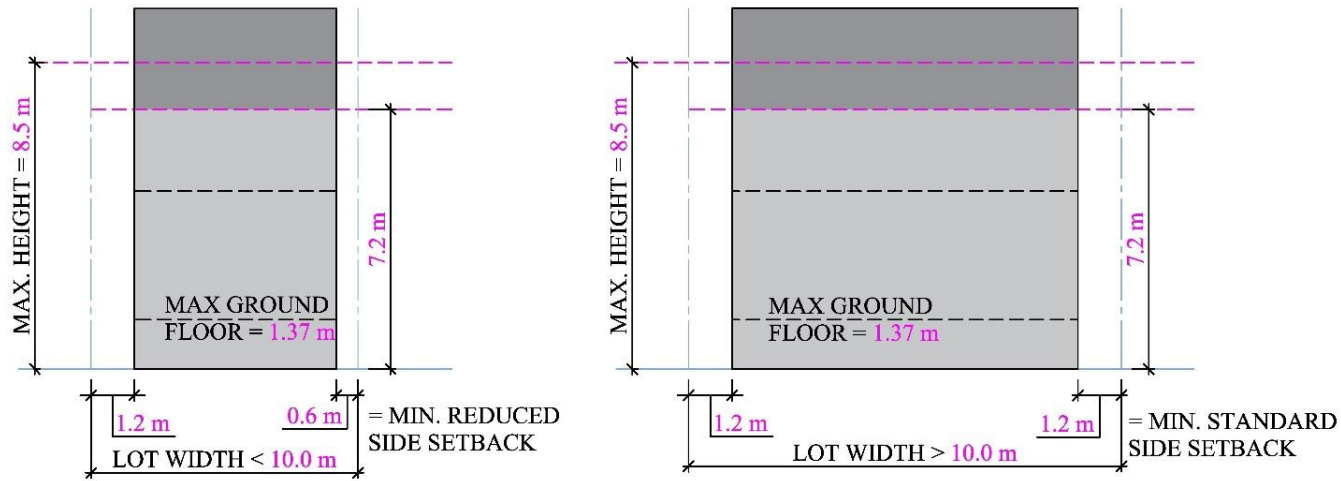
Proposed Amendments to Draft *Regina Zoning Bylaw, 2019 (No. 2019-19)*

Figure 8K.F10: Parallel Massing on Pitched Roof Building – Front Elevation

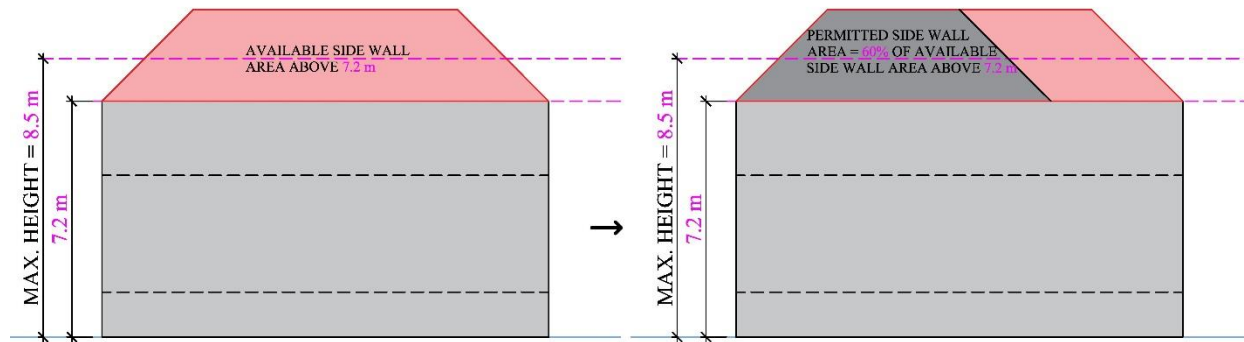


Figure 8K.F11: Maximum Side Wall Area