

BYLAW NO. 2022-11

THE REGINA ZONING AMENDMENT BYLAW, 2022 (No.6)

THE COUNCIL OF THE CITY OF REGINA ENACTS AS FOLLOWS:

- 1 The purpose of this Bylaw is to amend *The Regina Zoning Bylaw, 2019* by re-zoning the subject lands to accommodate development consistent with the amended Tower Crossing Secondary Plan.
- 2 The authority for this Bylaw is section 46 of *The Planning and Development Act, 2007*.
- 3 Schedule “A” of *The Regina Zoning Bylaw, 2019* is amended in the manner set forth in this Bylaw.
- 4 Chapter 4, Part 4C, Table 4C.T2: PERMITTED AND DISCRETIONARY LAND USES IN THE MIXED LARGE MARKET ZONE, section (row) T2.14 is repealed and the following substituted:

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T2.14	<ul style="list-style-type: none"> • Dwelling, Assisted-Living • Dwelling, Group Care • Dwelling, Unit 	<p>Permitted within:</p> <p>(a) a Building Stacked on a lot that contains non-Dwelling uses that are permitted or discretionary in the Mixed Large Market zone; and</p> <p>(b) any building type that contains non-Dwelling uses that are permitted or discretionary in the Mixed Large Market Zone</p>	<p>Discretionary within:</p> <p>(a) Building, Stacked on a lot that does not contain non-Dwelling uses that are permitted or discretionary in the Mixed Large Market zone; and</p> <p>(b) any building type that does not contain non-Dwelling uses that are permitted or discretionary in the Mixed Large Market zone; and</p> <p>(c) any building type within the area identified as Tower Crossing Commercial Area, as shown on Figure 4C.F1a</p>	<p>(1) Developments containing 20 or more dwelling units shall allocate a minimum of five per cent of the total area dedicated to Dwelling use to the communal amenity area.</p> <p>(2) Where the required communal amenity area is provided outdoors, the soft landscaping portion of such communal amenity area may be included as part of the minimum landscaping requirements listed in subpart 4C.7.</p> <p>(3) In addition to other requirements in this Bylaw, a discretionary use shall consider that proposed dwelling uses are integrated with a planned or existing mixed use environment.</p>
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- 5 Chapter 4, Part 4C, Table 4C.T2: PERMITTED AND DISCRETIONARY LAND USES IN THE MIXED LARGE MARKET ZONE is amended by adding the following section (row) after section (row) T2.15:

“

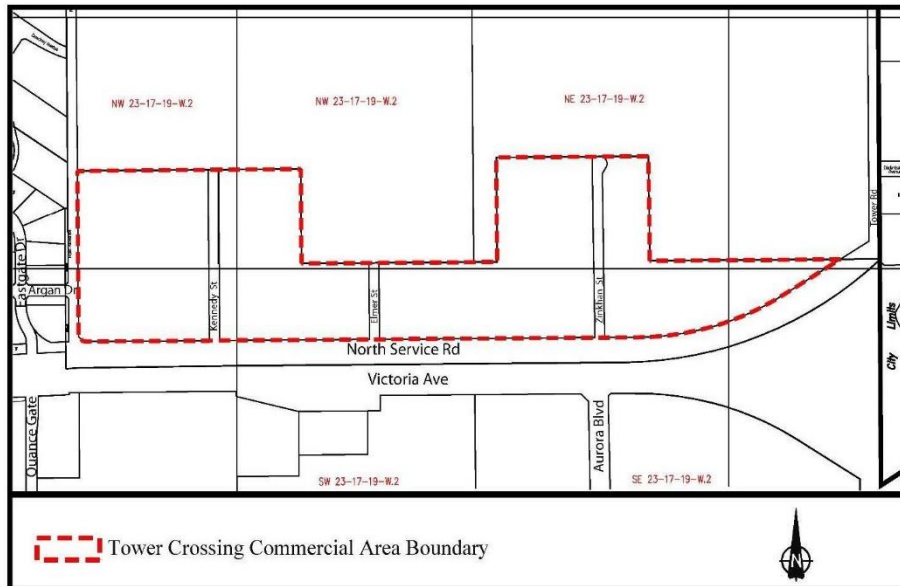
T2.16	<ul style="list-style-type: none"> • Industry, Heavy • Retail Trade, Motor Vehicle – Heavy • Service Trade, Motor Vehicle - Heavy • Storage, Outdoor 	<p>Permitted if:</p> <p>(a) additions to, or expansion within, existing buildings; or</p> <p>(b) accessory uses and buildings.</p>	<p>Discretionary if:</p> <p>(a) proposed new principal buildings; or</p> <p>(b) proposed new land use.</p>	<p>These land uses shall be limited to the area identified as Tower Crossing Commercial Area, as shown on Figure 4C.F1a</p>
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Approved as to form this _____ day of _____, 20_____.

City Solicitor

- 6 Chapter 4, Part 4C is amended by adding the following Figure 4C.F1a immediately after Figure 4C.F1:



- 7 Chapter 9 – Zoning Maps (Map Nos. 3288(A), 3488(A), 3288(B) and 3488(B)) are amended by re-zoning the lands described in this section and shown as outlined on the map attached as Appendix “A” to this Bylaw as follows:

- (a) **Legal Description:** Blk/Par H-Plan 97R01326 Ext 2
 Blk/Par AA-Plan 98RA11955 Ext 0
 Blk/Par F-Plan 61R01031 Ext 0
 Blk/Par E-Plan 61R01031 Ext 0
 Blk/Par C-Plan FR3848 Ext 0
 Blk/Par G-Plan FW3140 Ext 0
 Blk/Par E-Plan FP5791 Ext 0
 Blk/Par M-Plan 86R56188 Ext 0
 Blk/Par N-Plan 86R56188 Ext 0
 Blk/Par O-Plan 86R56188 Ext 0
 Blk/Par J-Plan 73R44906 Ext 0
 Blk/Par K-Plan 73R44906 Ext 0
 Blk/Par L-Plan 73R44906 Ext 0
 Blk/Par F-Plan FT3682 Ext 41

Civic Address: Not available

Current Zoning: UH – Urban Holding Zone

Proposed Zoning: MLM – Mixed Large Market Zone
 (b) **Legal Description:** Blk/ Par B-Plan FS2354 Ext 0
 Blk/Par D-Plan 61R01031 Ext 0
 Blk/Par BB-Plan 101952974 Ext 0
 Blk/Par P-Plan 102207620 Ext 0
 Blk/Par M-Plan 88R42982 Ext 0

Civic Address: Not available

Current Zoning: UH – Urban Holding Zone

Proposed Zoning: MLM – Mixed Large Market and (H) – Holding Overlay

8 This Bylaw comes into force on the date Bylaw 2022-10, *Design Regina, The Official Community Plan Amendment Bylaw, 2022 (No. 2)* is approved by the Ministry of Government Relations.

READ A FIRST TIME THIS 2nd DAY OF March 2022.

READ A SECOND TIME THIS 2nd DAY OF March 2022.

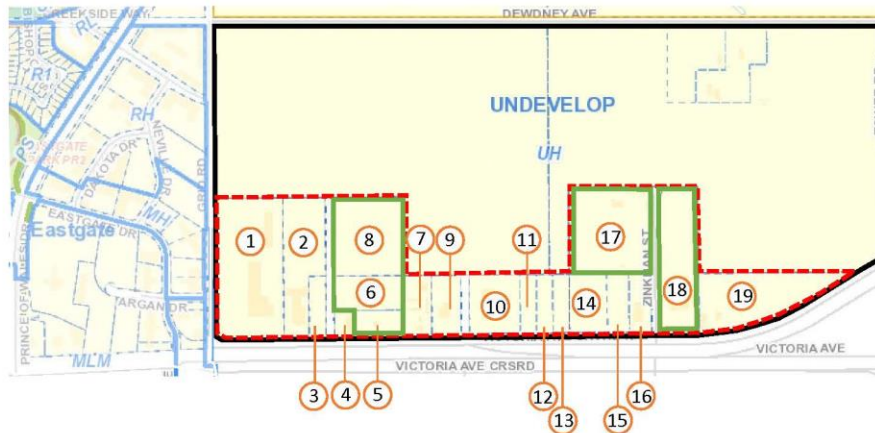
READ A THIRD TIME AND PASSED THIS 2nd DAY OF March 2022.

Mayor	City Clerk	(SEAL)

CERTIFIED A TRUE COPY

 City Clerk

APPENDIX “A”



- Parcels to be rezoned to MLM – Mixed Large Market Zone
- Parcels to be rezoned to MLM + (H) – Holding Overlay Zone
- Tower Crossing Secondary Plan Area
- Lot Ref.

Lot Ref.	Legal Address	Civic Address
1	Blk/Par H-Plan 97R01326 Ext 2	4000 E Victoria Avenue
2	Blk/Par AA-Plan 98RA11955 Ext 0	4150 E Victoria Avenue
3	Blk/Par F-Plan 61R01031 Ext 0	4200 E Victoria Avenue
4	Blk/Par E-Plan 61R01031 Ext 0	4330 E Victoria Avenue
5	Blk/Par B-Plan FS2354 Ext 0	4500 E Victoria Avenue
6	Blk/Par D-Plan 61R01031 Ext 0	
7	Blk/Par C-Plan FR3848 Ext 0	
8	Blk/Par BB-Plan 101952974 Ext 0	1701 Kennedy Street
9	Blk/Par G-Plan FW3140 Ext 0	4600 E Victoria Avenue
10	Blk/Par E-Plan FP5791 Ext 0	4750 E Victoria Avenue
11	Blk/Par M-Plan 86R56188 Ext 0	
12	Blk/Par N-Plan 86R56188 Ext 0	
13	Blk/Par O-Plan 86R56188 Ext 0	
14	Blk/Par J-Plan 73R44906 Ext 0	4850 E Victoria Avenue
15	Blk/Par K-Plan 73R44906 Ext 0	
16	Blk/Par L-Plan 73R44906 Ext 0	
17	Blk/Par P-Plan 102207620 Ext 0	1700 Zinkhan Street
18	Blk/Par M-Plan 88R42982 Ext 0	5050 E Victoria Avenue
19	Blk/Par F-Plan FT3682 Ext 41	5200 E Victoria Avenue

ABSTRACT

BYLAW NO. 2022-11

THE REGINA ZONING AMENDMENT BYLAW, 2022 (No.6)

PURPOSE:	The purpose of this Bylaw is to amend <i>The Regina Zoning Bylaw, 2019</i> to accommodate development of the subject lands consistent with the amended Tower Crossing Secondary Plan.
ABSTRACT:	The Bylaw re-zones the subject lands from UH – Urban Holding Zone to MLM – Mixed Large Market Zone as to part of the lands and to MLM – Mixed Large Market Zone with H - Holding Overlay Zone as to part of the lands and makes text amendments consist with the amended Tower Crossing Secondary Plan. The Bylaw does not come into force until such time as related amendments to the Tower Crossing Secondary Plan have been approved by the Minister.
STATUTORY AUTHORITY:	Section 46 of <i>The Planning and Development Act, 2007</i> .
MINISTER’S APPROVAL:	N/A
PUBLIC HEARING:	A public hearing is required between first and second reading of this Bylaw pursuant to section 10 of <i>The Public Notice Policy Bylaw, 2020</i> and in accordance with <i>The Procedure Bylaw</i> .
PUBLIC NOTICE:	Required, pursuant to section 13 of <i>The Public Notice Policy Bylaw, 2020</i> .
REFERENCE:	Regina Planning Commission, February 8, 2022, RPC22-4; City Council, February 16, 2022, CR22-9.
AMENDS/REPEALS:	Amends <i>The Regina Zoning Bylaw, 2019</i> .
CLASSIFICATION:	Regulatory
INITIATING DIVISION:	City Planning & Community Development
INITIATING DEPARTMENT:	Planning & Development Services