



FINANCE AND ADMINISTRATION COMMITTEE

**Tuesday, September 6, 2016
4:00 PM**

Henry Baker Hall, Main Floor, City Hall



**Public Agenda
Finance and Administration Committee
Tuesday, September 6, 2016**

Approval of Public Agenda

Minutes of the meeting held on August 2, 2016

Administration Reports

FA16-31 Tax Enforcement - Application for Title 2016 Liens

Recommendation

1. That the Manager of Property Taxation be authorized to serve six month notices on all parcels of land included in the list of lands marked as Appendix A.
2. That this report be forwarded to the September 26, 2016 meeting of City Council for approval.

FA16-32 Heritage Building Rehabilitation Program Application for Tax Exemption - Frontenac Apartments 2022 Lorne Street

Recommendation

1. That a Tax Exemption for the property known as the Frontenac Apartments, located on Lot 42, Block 369, Plan No. 98RA28309, Ext. 101, addressed at 2022 Lorne Street be APPROVED in an amount equal to the lesser of:
 - a) 50 per cent of eligible costs for the work described in Appendix D; or
 - b) An amount equal to the total property taxes payable for 10 years.
2. That the provision of the property tax exemption be subject to the following conditions:
 - a) Eligibility for the property tax exemption includes the requirement that the property possesses and retains its formal designation as a Municipal Heritage Property in accordance with The Heritage Property Act.
 - b) The property owner shall submit detailed written documentation of payments made for the actual costs incurred (i.e. itemized invoices and receipts) in the completion of the identified conservation work as described in Appendix D. In the event the actual costs exceed the corresponding estimates by more than 10 per cent the property owner shall provide full particulars as to the reason(s) for any cost overrun. It is understood that the



Office of the City Clerk

City may decline to approve any cost overrun, or portion thereof, if considered not to be reasonably or necessarily incurred for eligible work.

- c) The work that is completed and invoices submitted by September 30 each year would be eligible for an exemption the following year for up to 50 per cent of the cost of approved work.
3. That the City Solicitor be instructed to prepare the necessary agreement and authorizing bylaw for the property tax exemption as detailed in this report.
4. That the Executive Director of City Planning & Development or designate be authorized under the tax exemption agreement to make all determinations regarding reimbursements of the costs incurred for work done to the property based on the City's Heritage Building Rehabilitation Program and the Conservation Plan for the property (Appendix D to this report).
5. That this report be forwarded to the September 26, 2016 meeting of City Council for approval.

FA16-33 City of Regina Property - Land Sale - North Argyle Park

Recommendation

1. That the sale of that portion of City of Regina land referenced as SW ¼ Section 12, Township 18, Range 20, W2M in Appendix A to Capital Crossing Developments Ltd. be approved under the terms and conditions outlined in the body of this report.
2. That the City of Regina enter into a cost sharing agreement with Capital Crossing Developments Ltd. for the portion of infrastructure required on Big Bear Drive and Argyle Street.
3. That the City Manager or designate be authorized to finalize the terms and conditions of the property transactions.
4. That the City Clerk be authorized to execute the final documents, in a form approved by the City Solicitor.
5. That the report be considered at the September 26, 2016 meeting of City Council for approval, which will allow for sufficient time for public notice.

Adjournment

AT REGINA, SASKATCHEWAN, TUESDAY, AUGUST 2, 2016

AT A MEETING OF THE FINANCE AND ADMINISTRATION
COMMITTEE
HELD IN PUBLIC SESSION

AT 3:00 PM

Present: Councillor Wade Murray, in the Chair
Councillor Bryon Burnett
Councillor Shawn Fraser
Councillor Bob Hawkins
Councillor Barbara Young

Also in Attendance: Council Officer, Ashley Thompson
Legal Counsel, Jana-Marie Odling
Legal Counsel, Cheryl Willoughby
Chief Financial Officer, Ian Rea
Executive Director, City Planning and Development, Diana Hawryluk
Director, Assessment and Property Taxation, Don Barr
Director, Development Services, Louise Folk
Manager, Current Planning, Fred Searle

APPROVAL OF PUBLIC AGENDA

Councillor Bryon Burnett moved, AND IT WAS RESOLVED, that the agenda for this meeting be approved, as submitted.

ADOPTION OF MINUTES

Councillor Bob Hawkins moved, AND IT WAS RESOLVED, that the minutes for the meeting held on July 5, 2016 be adopted, as circulated.

ADMINISTRATION REPORTS

FA16-30 Debt Status Report and Debt Limit Considerations

Recommendation

1. That the Chief Financial Officer be authorized to make application to the Saskatchewan Municipal Board (SMB), under section 133(1) of The Cities Act, to maintain a debt limit for the City of Regina in the amount of \$450 million beyond December 31, 2016.
2. That this report be forwarded to the August 29, 2016 meeting of City Council for approval.

Councillor Bob Hawkins moved that the recommendations contained in the report be concurred in after amending Appendix A of the report to include the Category Names in Graph 1: 2015 Consolidated Debt by Type.

The main motion, as amended, was put and declared CARRIED.

(Councillor Bob Hawkins declared conflict prior to consideration of item FA16-29, citing his employment with the University of Regina, abstained from discussion and voting and temporarily left the meeting.)

FA16-29 University of Regina College Avenue Campus Renewal - City Land Contribution

Recommendation

1. That the City of Regina provide support to the “Building Knowledge – The College Avenue Campus Renewal Project” (Project) by way of a real property contribution and that the transfer to the University of Regina of a 2.6 acre parcel of land, being a portion of Surface Parcel 153228034, NW 18-17-19-2 Ext 239, be Approved on terms and conditions as generally set out in this report and specifically including the following conditions:
 - a. The City of Regina shall be satisfied that the details of the development proposal and related land use(s) included in the Project support community wide objectives and are consistent with Design Regina: The Official Community Plan Bylaw No. 2013-48.
 - b. The University of Regina shall have engaged the public in relation to the Project.
 - c. Wascana Centre Authority shall have provided written consent to the transfer pursuant to The Wascana Centre Act.
 - d. The University of Regina shall have provided the City of Regina with confirmation of financial support for the Project from the Provincial and Federal governments in a form satisfactory to the City of Regina.
 - e. The University of Regina shall enter into a Municipal Servicing Agreement to ensure that any third party occupants of the property, exclusive of space that is used exclusively by the University of Regina, are liable for property taxes or otherwise agree to make payments comparable to property taxes in consideration of the land contribution.
 - f. Approval of a plan of proposed subdivision shall have been received by the City of Regina to create title to the subject lands, in a form approved by both the University of Regina and the City of Regina, and including adoption of any required bylaws or approvals for any street closures and new right of way dedications as may be necessary to accommodate the proposed development.
 - g. Construction of the Project in accordance with the approved development proposal shall have commenced within one year of the date of the transfer, unless such date is expressly agreed to be extended by the City of Regina, failing which the City of Regina may require that the University of Regina transfer the lands back to the City of Regina.

2. That the City Manager or designate be authorized to finalize the remaining terms and conditions of the legal Land Contribution Agreement and a Municipal Servicing Agreement.
3. That the City Clerk be authorized to execute the Land Contribution Agreement and a Municipal Servicing Agreement in a form approved by the City Solicitor.
4. That this report be forwarded to the August 29, 2016 meeting of City Council to allow sufficient time for advertising of the required public notice pursuant to The Cities Act.

The following addressed the Committee:

- Dave Button and Nelson Wagner, representing the University of Regina
- Eric Dillion, representing Conexus Credit Union
- Don Black, representing himself
- John Hopkins, representing Regina & District Chamber of Commerce
- Bernadette McIntyre, representing Wascana Centre Authority
- Chad Novak, representing Saskatchewan Taxpayers Advocacy Group

Councillor Barbara Young moved, AND IT WAS RESOLVED, that the recommendations contained in the report be concurred in.

ADJOURNMENT

Councillor Barbara Young moved, AND IT WAS RESOLVED, that the meeting adjourn.

The meeting adjourned at 4:45 p.m.

Chairperson

Secretary

September 6, 2016

To: Members,
Finance and Administration Committee

Re: Tax Enforcement - Application for Title 2016 Liens

RECOMMENDATION

1. That the Manager of Property Taxation be authorized to serve six month notices on all parcels of land included in the list of lands marked as Appendix A.
2. That this report be forwarded to the September 26, 2016 meeting of City Council for approval.

CONCLUSION

Based on the 2016 tax lien, the properties listed in Appendix A to this report have an interest registered by the City of Regina at the Land Registry and have outstanding tax arrears. Upon City Council approval, Administration will proceed with the tax enforcement proceedings and serve six month notices, after October 26, 2016, on the properties where the arrears of taxes have not been paid and the interest based on the tax lien has not been discharged.

BACKGROUND

The purpose of this report is to obtain approval to serve six month notices after October 26, 2016 on properties where:

- the City of Regina placed an interest in 2016 through registration of a tax lien for tax arrears.
- where the arrears of taxes have not been paid.
- the interest based on the tax lien has not been discharged.

DISCUSSION

City Council approval to proceed under subsection 22(1), of *The Tax Enforcement Act* is requested to serve six month notices on the 492 properties listed in Appendix A to this report. Subsection 22(1) reads in part as follows:

“At any time after the expiration of six months from the date on which the municipality’s interest based on a tax lien was registered in the Land Titles Registry, the municipality may, by resolution, authorize proceedings to request title to any parcel included in the list with respect to which the arrears of taxes have not been paid and the interest based on the tax lien has not been discharged...”

The steps taken prior to proceedings for title for the typical property listed in Appendix A are as follows:

1. Taxes on the properties were due and payable on June 30, 2015. Taxes on properties with supplementary notices were due December 31, 2015.
2. Taxes were in arrears as of January 1, 2016.
3. The properties were advertised in the Leader-Post on February 6, 2016. Properties with supplementary notices were advertised March 5, 2016.
4. Interests, based on a tax lien, were registered on the various title(s) to the properties at the Land Registry beginning April 11, 2016.

In all cases, the market value of these properties exceeds the value of tax arrears, thus prompting the owner or a financial institution with an interest in the property to pay the tax arrears prior to the City actually taking title.

The next steps in the process are:

1. First application for title (which is pursuant to this resolution).
2. After a required six month waiting period, Provincial Mediation Board consent would be required prior to final application for title.
3. When Consent is issued by the Provincial Mediation Board, the Consent would be registered on title and a final 30 day notice would be served.
4. Transfer of title to the City of Regina.

The City of Regina will not necessarily take title to the property after the six month period. The City has the right to pursue any and all other means to collect the outstanding arrears as allowed by *The Cities Act*, including but not limited to, civil suit, seizure of rents and/or seizure of goods and chattels.

RECOMMENDATION IMPLICATIONS

Financial Implications

There are no direct financial implications as a result of this report, however allowances are established at the end of each year for outstanding taxes. The allowances are then reflected in year-end results and audited financial statements.

Environmental Implications

There are no environmental implications directly related to this report. In most instances, the taxes are paid for properties where application for title is made. In those instances where the City has to proceed to possibly taking title, the City would undertake a review of the environmental implications and make a decision on a case by case basis as to whether to proceed to take title or not. Every effort is made to minimize the cost to the City.

Policy and/or Strategic Implications

The authorization to serve six month notices to the properties listed in Appendix A, allows for timely and efficient tax enforcement.

Other Implications

None with respect to this report.

Accessibility Implications

None with respect to this report.

COMMUNICATIONS

The City has an active process of communicating with property owners with respect to outstanding taxes. Property owners are notified throughout the tax enforcement process and will continue to be notified as required by the legislation.

DELEGATED AUTHORITY

The recommendations contained in this report require City Council approval.

Respectfully submitted,



Deborah Bryden, Manager Property Taxation
and Administration
Assessment, Tax and Real Estate

Respectfully submitted,



For Diana Hawryluk, Executive Director
City Planning and Development

Report prepared by:
Debie Clermont, Coordinator Tax Admin & Collections

APPENDIX A

	6 Month Tax Enforcement Properties - 2016 Liens		
	by Civic Address		
2036 1ST AVENUE N	975 ARGYLE STREET	131 N BROAD STREET	
6531 1ST AVENUE N	1111 ARGYLE STREET	922 N BROAD STREET	
6803 1ST AVENUE N	2275 ARGYLE STREET	603 E BROADWAY AVENUE	
2220 2ND AVENUE N	3009 ARGYLE ROAD	1457 BRODER STREET	
3925 2ND AVENUE	3535 ARGYLE ROAD	1461 BRODER STREET	
4107 2ND AVENUE	67 ARLINGTON STREET	2059 BRODER STREET	
5310 2ND AVENUE N	1023 N ARNASON STREET	2165 BRODER STREET	
5355 2ND AVENUE N	454 ARTHUR STREET	28 BROOK BAY	
2904 3RD AVENUE N	1426 ARTHUR STREET	4048 E BUCKINGHAM DRIVE	
4124 4TH AVENUE	1759 ARTHUR STREET	317 CAMERON STREET	
4519 4TH AVENUE	1765 ARTHUR STREET	868 CAMERON STREET	
4936 4TH AVENUE	2807 ASSINIBOINE AVENUE	870 CAMERON STREET	
5910 5TH AVENUE	823 N ATHLONE DRIVE	1171 CAMERON STREET	
2030 6TH AVENUE N	912 ATHOL STREET	1918 CAMERON STREET	
1610 7TH AVENUE N	915 ATHOL STREET	860 CAMPBELL STREET	
4533 7TH AVENUE	1107 ATHOL STREET	5042 CANUCK CRESCENT	
4704 7TH AVENUE	1130 ATHOL STREET	5118 CANUCK CRESCENT	
4720 7TH AVENUE	1920 ATHOL STREET	1703 CANVASBACK LANE	
5-3960 E 7TH AVENUE	2035 ATHOL STREET	14 CARTER CRESCENT	
6-3960 E 7TH AVENUE	960 ATKINSON STREET	75 CARTER CRESCENT	
7-3960 E 7TH AVENUE	969 ATKINSON STREET	78 CARTER CRESCENT	
8-3960 E 7TH AVENUE	1045 ATKINSON STREET	3838 CASTLE ROAD	
1501 8TH AVENUE N	1075 ATKINSON STREET	3944 CASTLE ROAD	
5029 8TH AVENUE	2170 ATKINSON STREET	3954 CASTLE ROAD	
5140 8TH AVENUE	2551 ATKINSON STREET	4020 CASTLE ROAD	
5048 10TH AVENUE	5122 AVIATOR PLACE	4182 CASTLE ROAD	
1231 12TH AVENUE N	5128 AVIATOR CRESCENT	A-4208 CASTLE ROAD	
3504 13TH AVENUE	5201 AVIATOR CRESCENT	228 CAVENDISH STREET	
2320 15TH AVENUE	P52-1715 BADHAM BOULEVARD	235 CHURCH DRIVE	
4121 19TH AVENUE	3303 BANEBERRY DRIVE	2610 E COCHRANE BAY	
1216 ABERDEEN STREET	101-15 BARR STREET	1338 COLLEGE AVENUE	
668 ADAMS STREET	102-15 BARR STREET	40 COOKSLEY BAY	
682 ADAMS STREET	112-15 BARR STREET	210 CORNWALL STREET	
1744 ALEXANDRA STREET	208-15 BARR STREET	210 CORNWALL STREET	
1820 ALEXANDRA STREET	305-15 BARR STREET	437 CORNWALL STREET	
3 ANGUS CRESCENT	18 BASIN CRESCENT	1412 CORNWALL STREET	
98 ANGUS CRESCENT	5133 BEACON WAY	2679 E CROCUS DRIVE	
116 ANGUS CRESCENT	5141 BEACON WAY	100 DAFFODIL CRESCENT	
260 ANGUS STREET	7203 BENNETT DRIVE	108 DAFFODIL CRESCENT	
2648 ANGUS BOULEVARD	19 BENTLEY DRIVE	637 DALGLIESH DRIVE	
3927 ARBOR GROVE DRIVE	43 BLACKMAN PLACE	689 DALGLIESH DRIVE	
8721 ARCHER LANE	G4-5563 BLAKE CRESCENT	740 DALGLIESH DRIVE	
415 N ARGYLE STREET	1221 BOND STREET	5918 DALGLIESH DRIVE	
690 ARGYLE STREET	52 BORLASE CRESCENT	15 DANIELS CRESCENT	
734 ARGYLE STREET	126 BOTHWELL CRESCENT	522 DEWDNEY AVENUE	
760 ARGYLE STREET	7323 BOWMAN AVENUE	1230 E DEWDNEY AVENUE	
3026 DEWDNEY AVENUE	404 FRONTENAC DRIVE	1719 E HUNTER PLACE	

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4318 DEWDNEY AVENUE		618 GARNET STREET		4365 JAMES HILL ROAD
6138 DEWDNEY AVENUE		626 GARNET STREET		4367 JAMES HILL ROAD
6400 DEWDNEY AVENUE		727 GARNET STREET		4369 JAMES HILL ROAD
304-2206 DEWDNEY AVENUE		740 GARNET STREET		4371 JAMES HILL ROAD
706-3806 E DEWDNEY AVENUE		760 GARNET STREET		4373 JAMES HILL ROAD
302-3822 E DEWDNEY AVENUE		802 GARNET STREET		4375 JAMES HILL ROAD
7 DIAMOND STREET		812 GARNET STREET		4377 JAMES HILL ROAD
72 DOLPHIN BAY		1571 GARNET STREET		4379 JAMES HILL ROAD
1369 DONALD STREET		4715 GLASS STREET		64-5004 JAMES HILL ROAD
1302 DOVER AVENUE		5703 GLIDE CRESCENT		2-5011 JAMES HILL ROAD
12 DOWIE BAY		5707 GLIDE CRESCENT		10 JORDAN BAY
914 DOWNEY CRESCENT		5711 GLIDE CRESCENT		1313 JUBILEE AVENUE
955 DOWNEY CRESCENT		5719 GLIDE CRESCENT		4806 JUNOR PLACE
42 DROPE STREET		3304 GLOUCESTER BAY		610 N KELSEY STREET
1800 DUFFERIN ROAD		2202 GOLDMAN CRESCENT		3482 KEOHAN CRESCENT
14 DUNCAN CRESCENT		3341 GORDON ROAD		107 KILLARNEY WAY
115 DUNSMORE DRIVE		30-5722 GORDON ROAD		561 KING STREET
35 EDENWOLD CRESCENT	7918 GORDON STASESON BOULEVARD			565 KING STREET
900 EDGAR STREET		1021 GRACE STREET		599 KING STREET
1231 EDGAR STREET		1201 GRACE STREET		1411 KING STREET
1263 EDGAR STREET		1110 GRAHAM ROAD		50 LE JEUNE PLACE
1920 EDGAR STREET		1620 GRANT DRIVE		6311 LEGER BAY
2030 EDGAR STREET		3652 GREEN BANK ROAD		6339 LEGER BAY
2116 EDGAR STREET		3741 GREEN MOSS LANE		54 LEVENE CRESCENT
2310 EDGAR STREET		3742 GREEN MOSS LANE		182 LINCOLN DRIVE
2508 EDGAR STREET		4501 E GREEN OLIVE WAY		2442 LINDSAY STREET
1455 EDWARD STREET		604 GREY STREET		22 LITTLE BAY
1459 EDWARD STREET		609 GREY STREET		372 LOCKWOOD ROAD
2159 EDWARD STREET		612 GREY STREET		211 LORNE STREET
4608 ELGIN ROAD		1429 GROSVENOR STREET		291 N LORNE STREET
909 ELLIOTT STREET		1518 GROSVENOR STREET		305 LORNE STREET
1109 ELLIOTT STREET		302-1002 GRYPHONS WALK		343 LORNE STREET
2 ELLISON CRESCENT		428 HABKIRK DRIVE		350 LORNE STREET
757 ELPHINSTONE STREET		150 HALIFAX STREET		2150 MACKAY STREET
1135 ELPHINSTONE STREET		258 N HALIFAX STREET		2545 MACKAY STREET
19 EMPRESS DRIVE		535 HALIFAX STREET		71 MAGEE CRESCENT
31 EMPRESS DRIVE		2250 HALIFAX STREET		6619 MAPLE PLACE
1356 EMPRESS STREET		242 N HAMILTON STREET		6821 MAPLE VISTA DRIVE
1442 EMPRESS STREET		345 HAMILTON STREET		7087 MAPLE RIDGE DRIVE
1457 EMPRESS STREET		2922 HARDING STREET		7103 MAPLE VISTA DRIVE
41 FALCON BAY		2815 E HARTMANN CRESCENT		7211 MAPLE VISTA DRIVE
33 FLAMINGO CRESCENT		2224 HARVEY STREET		35 MARSH CRESCENT
1727 FLEET STREET		2813 HARVEY STREET		11 MARSHALL CRESCENT
600 FLEMING ROAD		11 HAYES CRESCENT		19 MATHESON CRESCENT
2733 FLEURY STREET		3592 HAZEL GROVE		75 MAYFAIR CRESCENT
2808 FLEURY STREET		2742 HIGHGROVE COURT		125 MCCANNEL STREET
55 FORSYTH CRESCENT		507-3520 HILLSDALE STREET		1416 MCCARTHY BOULEVARD
1167 FORT STREET		1029 HORACE STREET		34 MCCORMICK CRESCENT
2079 FRANCIS STREET		1321 HORACE STREET		1849 MCDONALD STREET
2148 FRANCIS STREET		2515 HOSIE PLACE		2055 MCDONALD STREET
2205 FRANCIS STREET		6 HUNT CRESCENT		5361 MCKENNA CRESCENT
5233 MCKINLEY AVENUE		167 POPLAR BLUFF CRESCENT		627 ROBINSON STREET
1107 MCNEILL CRESCENT		46 POWERS BAY		719 ROBINSON STREET

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730 MCTAVISH STREET		4322 PRESTON CRESCENT		848 ROBINSON STREET
1141 MCTAVISH STREET		636 PRINCESS STREET		919 ROBINSON STREET
1228 MCTAVISH STREET		670 PRINCESS STREET		949 ROBINSON STREET
1267 MCTAVISH STREET		717 PRINCESS STREET		957 ROBINSON STREET
1375 MCTAVISH STREET		750 PRINCESS STREET		1036 ROBINSON STREET
2071 MCTAVISH STREET		807 PRINCESS STREET		2627 ROBINSON STREET
2240 MCTAVISH STREET		1025 PRINCESS STREET		328 ROYAL STREET
2875 MCTAVISH STREET		1354 PRINCESS STREET		340 ROYAL STREET
4120 MCTAVISH STREET		3908 PRINCESS DRIVE		749 ROYAL STREET
66 MERLIN CRESCENT		3932 QU'APPELLE DRIVE		1243 ROYAL STREET
38 MILFORD CRESCENT		470 QUEBEC STREET		1541 RUPERT STREET
1112 MINTO STREET		2335 QUEBEC STREET		201-4002 SANDHILL CRESCENT
69 MITCHELL CRESCENT		200 QUEEN STREET		114 SANGSTER BOULEVARD
77 MITCHELL CRESCENT		695 QUEEN STREET		546 SCARTH STREET
691 MONTAGUE STREET		779 QUEEN STREET		99 SCHNEIDER CRESCENT
731 MONTAGUE STREET		833 QUEEN STREET		22 SCRIVENER CRESCENT
767 MONTAGUE STREET		977 QUEEN STREET		825 SHANNON ROAD
770 MONTAGUE STREET		1064 QUEEN STREET		1627 N SHATTUCK BAY
1365 MONTAGUE STREET		1301 QUEEN STREET		4418 SHERIDAN STREET
1551 MONTAGUE STREET		2129 QUEEN STREET		8814 SHERWOOD DRIVE
1600 MONTREAL STREET		2816 QUEEN STREET		15 SIBBALD CRESCENT
1909 MONTREAL STREET		2832 QUINN DRIVE		4218 SKINNER COURT
1943 MONTREAL STREET		2939 QUINN DRIVE		4609 SKINNER CRESCENT
2158 MONTREAL STREET		850 RAE STREET		211 SMITH STREET
2160 MONTREAL STREET		1275 RAE STREET		371 SMITH STREET
2325 MONTREAL STREET		1354 RAE STREET		494 SMITH STREET
2820 NARCISSE DRIVE		1459 RAE STREET		2156 SMITH STREET
2951 E NEFF ROAD		609-4045 RAE STREET		2160 SMITH STREET
1680 NEVILLE DRIVE		304-4545 RAE STREET		15 SNEATH CRESCENT
1705 NEVILLE DRIVE		406-4545 RAE STREET		1175 SOUTH RAILWAY STREET
10 NORWOOD CRESCENT		75 RAWLINSON CRESCENT		1185 SOUTH RAILWAY STREET
46 NORWOOD CRESCENT		1346 N REED PLACE		65 SPRUCEVIEW ROAD
236 ORCHARD CRESCENT		1524 REGENT STREET		2032 ST JOHN STREET
1837 OSLER STREET		1582 REGENT STREET		109E-1300 N STOCKTON STREET
2077 OSLER STREET		19 RENDEK CRESCENT		3325 E TANAGER CRESCENT
166 N OTTAWA STREET		307 RETALLACK STREET		19 TATE STREET
7520 OXBOW WAY		767 RETALLACK STREET		209 N THAUBERGER ROAD
1502 OXFORD STREET		909 RETALLACK STREET		2810 THORNTON AVENUE
4521 PADWICK CRESCENT		1554 RETALLACK STREET		8636 THURSTON CRESCENT
206 N PAR PLACE		2522 RETALLACK STREET		620 TOOTHILL STREET
220 E PARK AVENUE		2721 RETALLACK STREET		638 TOOTHILL STREET
3115 PARK STREET		3105 RETALLACK STREET		307 TORONTO STREET
3419 E PARKLAND DRIVE		2054 REYNOLDS STREET		1857 TORONTO STREET
825 PASQUA STREET		2423 REYNOLDS STREET		1925 TORONTO STREET
901 PASQUA STREET		679 RINK AVENUE		50-3101 E TREGARVA DRIVE
1457 PASQUA STREET		727 RINK AVENUE		176 TREMAINE AVENUE
2267 PASQUA STREET		2311 RIVERBEND CRESCENT		254 TRUELLE CRESCENT
3412 PERRY AVENUE		106 ROBINSON CRESCENT		2112 E TURVEY ROAD
14 PETERSMEYER STREET		334 ROBINSON STREET		4826 UPSON ROAD
150 PETERSMEYER STREET		400 ROBINSON STREET		25 USHER STREET
710 N VANIER DRIVE		1060 WALLACE STREET		1416 WASCANA STREET
163 VERNON CRESCENT		1115 WALLACE STREET		1526 WASCANA HIGHLANDS
410 VICTORIA AVENUE		1244 WALLACE STREET		2119 WASCANA STREET

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438 VICTORIA AVENUE		1922 WALLACE STREET		2230 WASCANA GREENS
205-1901 VICTORIA AVENUE		2300 WALLACE STREET		12083 WASCANA HEIGHTS
305-1901 VICTORIA AVENUE		2313 WALLACE STREET		4846 WEBSTER CRESCENT
405-1901 VICTORIA AVENUE		2622 WALLACE STREET		6266 WELLBAND DRIVE
1001-1901 VICTORIA AVENUE		421 WASCANA STREET		3631 WETMORE CRESCENT
14-2935 VICTORIA AVENUE		500 WASCANA STREET		3231 WINDSOR PARK PLACE
931 VICTORY CRESCENT		506 WASCANA STREET		1630 N WINGERT DRIVE
31 WAKEFIELD CRESCENT		650 WASCANA STREET		180 N WINNIPEG STREET
4 WALDEN CRESCENT		654 WASCANA STREET		1800 WINNIPEG STREET
923 WALLACE STREET		776 WASCANA STREET		2312 WINNIPEG STREET
960 WALLACE STREET		1009 WASCANA STREET		2579 WINNIPEG STREET

September 6, 2016

To: Members,
Finance and Administration Committee

Re: Heritage Building Rehabilitation Program
Application for Tax Exemption - Frontenac Apartments
2022 Lorne Street

RECOMMENDATION

1. That a Tax Exemption for the property known as the Frontenac Apartments, located on Lot 42, Block 369, Plan No. 98RA28309, Ext. 101, addressed at 2022 Lorne Street be APPROVED in an amount equal to the lesser of:
 - a) 50 per cent of eligible costs for the work described in Appendix D; or
 - b) An amount equal to the total property taxes payable for 10 years.
2. That the provision of the property tax exemption be subject to the following conditions:
 - a) Eligibility for the property tax exemption includes the requirement that the property possesses and retains its formal designation as a Municipal Heritage Property in accordance with *The Heritage Property Act*.
 - b) The property owner shall submit detailed written documentation of payments made for the actual costs incurred (i.e. itemized invoices and receipts) in the completion of the identified conservation work as described in Appendix D. In the event the actual costs exceed the corresponding estimates by more than 10 per cent the property owner shall provide full particulars as to the reason(s) for any cost overrun. It is understood that the City may decline to approve any cost overrun, or portion thereof, if considered not to be reasonably or necessarily incurred for eligible work.
 - c) The work that is completed and invoices submitted by September 30 each year would be eligible for an exemption the following year for up to 50 per cent of the cost of approved work.
3. That the City Solicitor be instructed to prepare the necessary agreement and authorizing bylaw for the property tax exemption as detailed in this report.
4. That the Executive Director of City Planning & Development or designate be authorized under the tax exemption agreement to make all determinations regarding reimbursements of the costs incurred for work done to the property based on the City's Heritage Building Rehabilitation Program and the Conservation Plan for the property (Appendix D to this report).
5. That this report be forwarded to the September 26, 2016 meeting of City Council for approval.

CONCLUSION

The owner of the Municipal Heritage Property known as the Frontenac Apartments at 2022 Lorne Street has requested a property tax exemption under the Heritage Building Rehabilitation Program to assist in recovering costs associated with conserving the building.

The proposed conservation work will ensure the continued existence of a Municipal Designated Heritage Property. The tax exemption provided for in the policy has made it feasible for the property owner to conserve this heritage building.

The Administration has determined that the conservation work proposed is eligible for assistance under the Heritage Building Rehabilitation Program. A property tax agreement between the property owner and the City will be prepared to secure the City's interests in ensuring the building is properly conserved and maintained.

BACKGROUND

City Council approved *Bylaw No. 2016-30* (Appendix B) which designated the property at 2022 Lorne Street as a Municipal Heritage Property on May 30, 2016.

The Heritage Incentive Policy was approved by City Council on August 24, 2014. It replaced the Municipal Incentive Policy for the Preservation of Heritage Properties, which was initially adopted in 1991 and amended in 2001.

The types of work that may be eligible for assistance are:

- a) Professional architectural or engineering services.
- b) Façade improvements including conservation of original building elements, cleaning of surfaces and removal of unsympathetic materials.
- c) Structural stabilization.
- d) Improvements required to meet the *National Building Code of Canada* or City of Regina bylaw requirements, including the repair or upgrading of mechanical and electrical systems.
- e) Improvements to energy efficiency (i.e. windows, insulation).
- f) Conservation of significant or rare character-defining interiors or interior elements.

Financial assistance can be provided equivalent to the lesser of:

- a) 50 per cent of eligible work costs, that is, expenses incurred to restore or preserve architecturally significant elements of the building or structure, to extend its effective life, and/or to ensure its structural integrity; or
- b) The total property taxes that would otherwise be payable in the 10 years immediately following the approval of the tax exemption by City Council.

Cosmetic improvements, regular maintenance and new additions are not eligible for assistance.

The amount of the property tax exemption, including calculation of any percentage or portion, is determined by the City Assessor. The amount will only apply to the portion of the property containing the building structure or landscape with heritage value pursuant to Section 11(1) of *The Heritage Property Act*.

In general, property tax exemptions are initiated in the fiscal year following City Council's approval and are based on the actual value of the completed approved work items. It is noted that no abatement of outstanding or current taxes are eligible for the tax exemption.

DISCUSSION

The property known as the Frontenac Apartments was built in 1929 and is an excellent example of an apartment block designed in a combination of the Spanish Revival and Italianate architectural styles.

The building is valued as a high quality apartment block built during the city's building boom of 1926-1929, partially as a response to a housing shortage caused by the influx of auto plant workers transferring from eastern Canada. It was designed by the distinguished early Regina architectural firm of Van Egmond and Storey and constructed according to an H-shaped plan. It features typical Spanish Revival elements such as tower elements, ornamental gable ends, ornamental wrought iron railings, expressive timber eave and roof brackets, stone trim and an ornamental tile frieze at the tower elements. Most of the original elements survived and are in good condition.

Conservation Work

The owner plans to undertake specific conservation work on the building as detailed in the Conservation Plan attached as Appendix D. The proposed conservation work includes:

- Remediation of the northeast corner differential settlement. The settlement has resulted in diagonal shear cracking at the northeast corner at the lane, at some window sill and headers on the east elevation and below the balcony on the interior courtyard elevation.
- Repointing the north-east corner and brick repair.
- Remediation of minor rust jacking of window steel shelf angle lintels, as evidenced by the slightly expanded shelf angle bedding joint.
- Rehabilitation/replacement of existing, original wood window frame and sash with replacements shown on drawing "PR-A5-00" in the Conservation Plan.
- Replace contemporary windows with replacements shown on drawing "PR-A5-00."
- Remediation of balcony deck and curb to prevent further water ingress at balconies.
- Metal element preparation and painting, and wood window and trim painting.
- Installation of an accessible entry.

The Administration has determined that all of the above proposed work is eligible for assistance under the policy as this work is required to conserve the character-defining elements of the building's exterior.

Tax Exemption

According to the Heritage Incentive Policy, the application must include financial evidence indicating why the tax exemption is required. The Conservation Plan (Appendix D) details the work to be done and provides approximate costs associated with the required conservation work.

The Program provides a tax exemption equal to 50 per cent of the eligible costs for the work described in Appendix D or an amount equal to 10 years of property taxes whichever is the lesser. The actual value of the tax exemption will be based on the invoices submitted for the work done.

The Administration estimates that 10 years of property tax exemption based on a five per cent increase year over year would be approximately \$395,000. The estimated cost of the work as stated in the Conservation Plan is \$2,182,530. Fifty per cent of the estimated cost of the work would be \$1,091,265. Based on the cost estimates and financial assistance criteria in Heritage Building Rehabilitation Program, the Administration has determined the owners of the Frontenac Apartments are eligible for an exemption of 10 years of property tax.

RECOMMENDATION IMPLICATIONS

Financial Implications

Section 262(4) of *The Cities Act* limits the term of a tax exemption agreement to not more than five years. However, Section 28(a) of *The Heritage Property Act* enables City Council to provide tax relief to any person, organization, agency, association or institution with respect to heritage property notwithstanding any provisions of *The Cities Act*. The Heritage Incentive Policy approved by City Council in August 2014 established a tax exemption for a maximum of 10 years.

The value of the work to be done will qualify for a tax exemption equal to 50 per cent of the value of the approved work. The Administration estimates that 10 years of property tax exemption based on a five per cent increase year over year would be approximately \$395,000. This adheres to the Heritage Building Rehabilitation Program approved by City Council on August 24, 2014.

The annual property exemption based on estimated 2016 figures is estimated to be \$29,867 which is distributed as follows:

- Municipal portion: \$10,504.
- Education portion: \$17,603.
- Library portion: \$1,760.

The final value of the tax exemption provided by the City will be based on receipt submissions for actual work completed and annual property tax increases.

Environmental Implications

The conservation work proposed will ensure the building continues to be used and maintained. The work will protect the character defining elements of the building and improve the structural integrity of the building.

Policy and/or Strategic Implications

Conservation of the Frontenac Apartments meets the following policies of *Design Regina: The Official Community Plan Bylaw No. 2013-48*:

- Protect, conserve and maintain Historic Places in accordance with the “Standards and Guidelines for Historic Places in Canada” and any other guidelines adopted by City Council.
- Encourage owners to protect Historic Places through good stewardship.
- Leverage and expand funding, financial incentive programs and other means of support to advance cultural development, cultural resources and conservation of Historic Places.

Other Implications

None with respect to this report.

Accessibility Implications

None with respect to this report.

COMMUNICATIONS

The Regina Public School Board, the Regina Catholic School Division and the Regina Public Library Board will be provided with a copy of this report and will be advised of City Council’s decision.

Heritage Regina and the Architectural Heritage Society of Saskatchewan will receive a copy of this report for information.

DELEGATED AUTHORITY

Applications for assistance under the Heritage Building Rehabilitation Program must be approved by City Council.

Respectfully submitted,

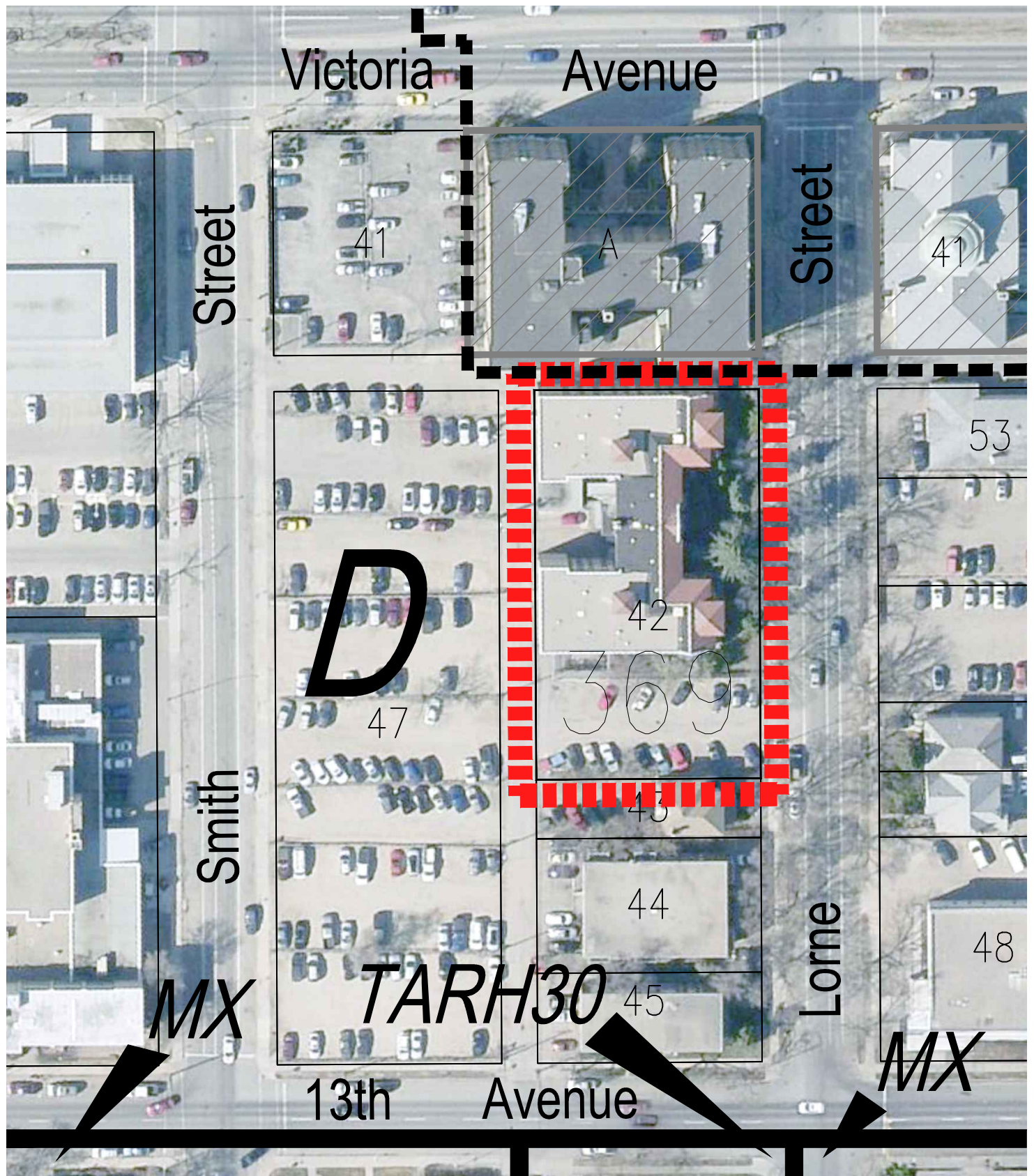


Fred Searle, Acting Director
Development Services

Respectfully submitted,



Louise Folk, Acting Executive Director
City Planning & Development



Subject Property

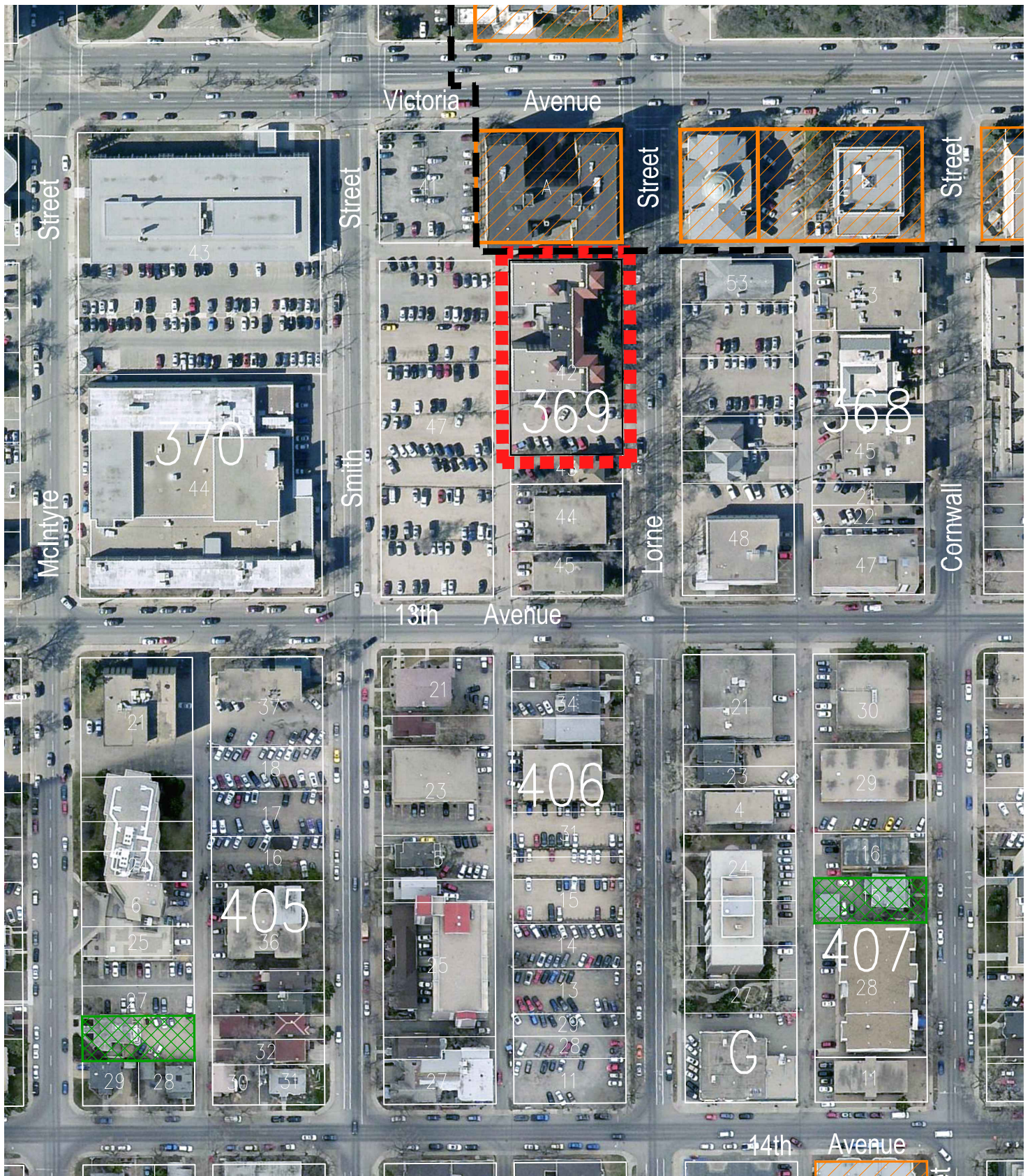


Municipal Heritage Property



Heritage Conservation District





Date of Photography: 2014



Subject Property



Municipal Heritage Property



Heritage Holding Bylaw listed

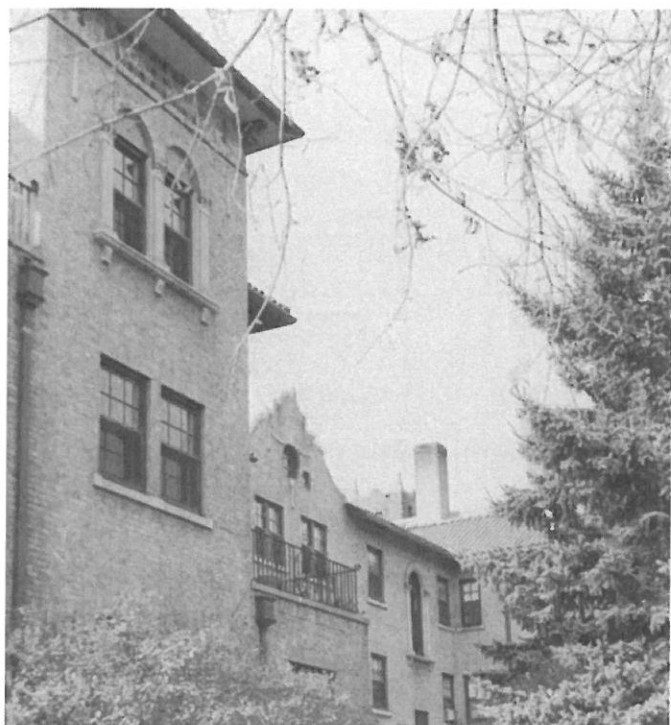


Heritage Conservation District





Frontenac Apartments (1977) Image CORA-RPL A-816 Credit: City of Regina Archives



Frontenac Apartments (1970) Image CORA-A-1359 Credit: City of Regina Archives

Planning Department		2022 Lorne Street
Project <u>16-H-02</u>	Civic Address/Subdivision _____	Frontenac Apartments



Frontenac Apartments (1948) Image R78-84 Credit: Saskatchewan Archives Board



Frontenac Apartments (c. 1930) Image SAB R-A 33,690 Credit: Saskatchewan Archives Board

Planning Department

Project 16-H-02

Civic Address/Subdivision _____

2022 Lorne Street
Frontenac Apartments



Frontenac Apartments (2015)



Frontenac Apartments (1981) Image CORA-RPL A-076 Credit: City of Regina Archives

Planning Department

Project 16-H-02

Civic Address/Subdivision _____

2022 Lorne Street
Frontenac Apartments

BYLAW NO. 2016-30

BYLAW TO DESIGNATE
THE FRONTENAC APARTMENTS AT 2022 LORNE STREET
AS MUNICIPAL HERITAGE PROPERTY

THE COUNCIL OF THE CITY OF REGINA ENACTS AS FOLLOWS:

WHEREAS sections 11 and 12 of *The Heritage Property Act* authorize City Council to enact bylaws to designate real property, including all buildings, features and structures thereon, to be of heritage value and to establish guidelines and controls to conserve and develop the heritage characteristics of designated property; and

WHEREAS City Council has determined that the property known as “The Frontenac Apartments” and located at: 2202 Lorne Street, Regina, Saskatchewan is a site of architectural, historical, cultural and aesthetic value; and

WHEREAS not less than thirty (30) days prior to consideration of this bylaw, City Council has:

- a. Served a Notice of Intention on the Registrar of Heritage Property and all owners of property included in the proposed bylaw;
- b. Published a Notice of Intention in at least one issue of a newspaper in general circulation in the municipality; and
- c. Registered an interest in the Land Titles Registry against all titles for the parcels of land included in the proposed bylaw; and

WHEREAS no Notice of Objection to the proposed designation has been served on City Council;

THEREFORE, COUNCIL OF THE CITY OF REGINA ENACTS AS FOLLOWS:

1. **Designation.** The real property commonly known as “The Frontenac Apartments” located at 2202 Lorne Street, Regina, situate on lands legally described as:

Surface Parcel #111401974
Reference Land Description: Lot 42, Blk/Par 369, Plan No 98RA28309, Extension 101

is hereby designated as Municipal Heritage Property.
2. **Reasons for Designation.** The reasons for the designation as Municipal Heritage Property are as follows:
 - a. The Frontenac Apartments is an excellent example of the Spanish Colonial Revival architectural style;

Approved as to form this _____ day of _____, 20____.

City Solicitor

- b. Built in 1929, it is of value for its design by the prominent local architecture firm of Van Egmond and Storey;
 - c. It was constructed during one of Regina's boom periods being built for General Motors of Canada workers; and
 - d. It is of historic value for its association with many prominent tenants such as Stanley E. Storey of Van Egmond and Storey, the architectural firm that designed this building, the Hon. Howard McConnell, member of the Saskatchewan Legislative Assembly (1927-34), the Hon. J.H. Sturdy, member of the Saskatchewan Legislative Assembly (1944-1960) and Minister of Reconstruction and Rehabilitation in Tommy Douglas's first Cabinet, Dr. William Riddell, who made Officer of the Order of Canada in 1974, and George Porteous, Saskatchewan's Lieutenant Governor (1976-78).
3. **Character Defining Elements.** The designation set forth in section 1 shall apply to the property in its entirety and shall include the following character-defining elements which embody the heritage value of the building, such as:
- a. Elements related to the design and construction of this apartment block:
 - i. free-standing, four-storey building height and H-shaped massing, allowing for greater access to natural light in each suite;
 - ii. set-back from the street, with formal planting in the area between the two main entrances;
 - iii. steeply pitched, red tile roof;
 - iv. curvilinear false end gables;
 - v. central front gable with round vent and Tyndall stone accents and garlands;
 - vi. staggered balconies with large eave brackets and ornamental metal railings;
 - vii. rounded-arch doors;
 - viii. rounded-arch window openings with inset decorative tile patterns and pilaster-like carved window surrounds and stone sills with brackets;
 - ix. wide stucco band below the front eaves which is decorated with tile patterns;
 - x. tower-like projections which punctuate the north and south wings;
 - xi. single-hung sash windows with clear glazing; and

- xii. stylized flag pole.
- b. Elements which speak to the connection of the Frontenac Apartments with a significant period of construction activity in Regina:
 - i. continued use of the apartment block for its original purpose;
 - ii. proximity to the Balfour Apartments as part of an historic apartment block streetscape; and
 - iii. the “Frontenac” sign above the main Lorne Street entrance.

4. Guidelines and Controls.

- a. Subject to subsection 4b, no person shall alter, restore, repair, disturb, transport, add to, move in any way, in whole or part, or remove any fixtures from the designated property, without the written approval of the Council of the City of Regina.
 - b. The Council delegates to the Executive Director, City Planning and Development, or his/her delegate, the power to approve proposed alterations, repairs and restoral of the designated property, including as necessary replacement of building materials, in a fashion consistent with the existing architectural elements, appearance, colours and building materials, provided the same are consistent with the “Standards and Guidelines for the Conservation of Historic Places in Canada.”
5. This Bylaw comes into force on the day of passage.

READ A FIRST TIME THIS 30th DAY OF May 2016.

READ A SECOND TIME THIS 30th DAY OF May 2016.

READ A THIRD TIME AND PASSED THIS 30th DAY OF May 2016

M. FOUGERE
Mayor

J. NICOL
City Clerk (SEAL)

CERTIFIED A TRUE COPY

City Clerk

Statement of Significance Frontenac Apartments

Description of Historic Place

The Frontenac Apartments, located at 2022 Lorne Street, southwest of Regina's Victoria Park, is a four-storey, buff-coloured brick apartment building. The building is distinguished by its H-shaped plan, Spanish Colonial Revival Style architectural detailing and red tile roof.



Heritage Value

Designed by Van Egmond and Storey, this building was constructed in 1929 by Smith Bros. & Wilson. The aesthetic value of the building resides in its Spanish Colonial Revival style. This type of architecture was popular throughout North America from the 1910s to the 1940s. The Frontenac Apartments exhibits many of the stylistic influences that are often rich with detail, such as the red tile roof, curvilinear false end gables, central front gable with round vent and Tyndall stone accents and garlands, and staggered balconies with large eave brackets and ornamental metal railings. Other features include the rounded-arch doors and window openings with inset decorative tile pattern and pilaster-like carved window surrounds and stone sills with brackets. A wide stucco band which is decorated with tile patterns is prominent below the front eaves. In addition, the property has a stylized flag pole and tower-like projections which punctuate the north and south wings.

The historical value of the property also resides in its construction during one of Regina's boom periods. A significant feature of the 1926-29 construction boom was the completion of many modern apartment blocks in Regina, such as The Balfour, Frontenac, Mayfair and Qu'Appelle, which catered to middle and high-income tenants. Over 500 new suites were added to Regina's inventory between 1926 and 1929. A group of local businessmen formed a joint-stock company, Provincial Apartments Ltd., in the fall of

1928 to construct the Frontenac and Mayfair apartments specifically in response to the city's promise to General Motors of Canada to meet the expected housing needs of workers transferred from Oshawa and other cities to work in the new GM car manufacturing plant on 8th Avenue. The Frontenac has enjoyed high occupancy rates over the years, with many long-term tenants.

The Frontenac Apartments is also of historic value for its association with many prominent tenants such as Stanley E Storey of Van Egmond and Storey, the architectural firm that designed this building, the Hon. Howard McConnell, member of the Saskatchewan Legislative Assembly (1927-34), the Hon. J.H. Sturdy, member of the Saskatchewan Legislative Assembly (1944-1960 and Minister of Reconstruction and Rehabilitation in Tommy Douglas's first Cabinet), Dr. William Riddell, who made Officer of the Order of Canada in 1974, and George Porteous, Saskatchewan's Lieutenant Governor (1976-78).

Character-Defining Elements

Elements related to the design and construction of this apartment block, such as:

- Free-standing, four-storey building height and H-shaped massing, allowing for greater access to natural light in each suite.
- Set-back from the street, with formal planting in the area between the two main entrances.
- Steeply pitched, red tile roof.
- Curvilinear false end gables.
- Central front gable with round vent and Tyndall stone accents and garlands.
- Staggered balconies with large eave brackets and ornamental metal railings.
- Rounded-arch doors.
- Rounded-arch window openings with inset decorative tile pattern and pilaster-like carved window surrounds and stone sills with brackets.
- Wide stucco band below the front eaves which is decorated with tile patterns.
- Tower-like projections which punctuate the north and south wings.
- Single-hung sash windows with clear glazing.
- Stylized flag pole.

Elements which speak to the connection of the Frontenac with a significant period of construction activity in Regina, such as:

- Continued use of the apartment block for its original purpose.
- Proximity to the Balfour Apartments as part of an historic apartment block streetscape.
- The "Frontenac" sign above the main Lorne Street entrance.



conservation plan
FRONTENAC

2022 LORNE STREET, REGINA, SK



August 2016



McGinn Engineering &
Preservation Ltd.
Barry McGinn Architect.

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APPENDIX

A1.	CONDITION & REHABILITATION DRAWINGS
A2.	NORTHEAST WING UNDERPINNING DRAWINGS - BBK STRUCTURAL ENGINEERS
A3.	PROJECT SPECIFICATIONS
A4.	PRIORITY 1 – CRITICAL PRELIMINARY OPINION OF PROBABLE REHABILITATION COST
A5.	SUMMARY OF THE SEWER LINE REPLACEMENT & PLUMBING WORK AT THE FRONTENAC
A6.	ORIGINAL ARCHITECT'S DRAWINGS
A7.	CURRENT FLOOR PLANS
A8.	STATEMENT OF SIGNIFICANCE

1. HERITAGE VALUE ASSESSMENT

1.1 History/Description of the Frontenac, 2202 Lorne Street, Regina

As per the Statement of Significance prepared by Ross Erington and Margaret Hryniuk, and attached as Appendix 'C', the building's heritage value is embodied in its distinctive Spanish Revival Style, it's highly articulated front elevation massing featuring tower elements, ornamental gable ends, cut-back corner balconies with bracketed open roof elements and north and south entry vestibules within set-back landscaped forecourts, each within their own free-standing arched entry portico. The front facade is clad in buff-coloured brick with Tyndal Stone trim accents at sills, select window surrounds, balcony caps and the two distinctive north and south entry door surrounds. The base of the building and the entry vestibules are clad in red brick, creating a strong visual base for the buff brick upper walls. The red tile roof, large and expressive wood eave and roof brackets and the deep tiled frieze on the tower elements reinforce the Spanish Revival Style character. Distinctive metal elements include large ornamental roof drainage conductor heads and the original ornamental wrought iron railings on the balconies.

On the front facade, approximately half of the original muntined 6/6 or 4/4 wood double hung windows and muntined casement windows have been replaced with new contemporary non-muntined windows. A lower level of window change-out to contemporary windows has occurred on the other elevations. The original windows featured wood storm windows with the same muntin arrangement; occupant thermal comfort and the inconvenience of the seasonal storm window installation/removal have been the principal reason for the window change out to date.

The original front entry doors, vestibule tiling and wood trim, on both the north and south entry vestibule pavilions has survived and are in good condition. Original balcony French doors have been changed to contemporary sliding doors.

The interior common space trim and character have survived, largely, intact, including original doors with small stained glass grille lights, casings/baseboards, stair balustrades, corridor plaster piers with ornate capitals, and original corridor tiling. Original wood window casings have survived in residential units where window change-out has not occurred, and interior door casings, baseboard and other wood trim elements have largely survived. The original white oak varnished floor have survived through the residential floors, and have sufficient thickness to refinish.

The building's original boilers are in place and have been updated with new controls and replacement tubes over time. The rear fire escape has been replaced with a new exterior stair, with much of the open-frame character of the original wrought iron fire escape.

The building was designed by Van Egmond and Storey, a venerable early Regina architectural firm. Stanley E Storey of Van Egmond and Storey actually resided in the Frontenac from 1930 to 1935. Many other notable early Regina personages resided in the building and are listed in Margaret Hryniuk's research paper in Appendix 'C'.

The Frontenac takes its place with a number of other modern apartment blocks built in Regina during the building boom of 1926-29. The others include the Balfour, Mayfair and Qu'Appelle, all intended for middle to high income renters. As noted by Ross Erington, "A group of local businessmen formed a joint stock company, Provincial Apartments Ltd., in the fall of 1928 to construct the Frontenac and Mayfair apartments specifically in response to the city's promise to General Motors of Canada to meet the expected housing needs of workers transferred from Oshawa and other cities to work in the new GM car manufacturing plant on 8th Avenue."

1.2 Summary of Heritage Value

The Frontenac's Building heritage value can be summarized as follows:

- Built in 1929 as high quality apartment block during the city's building boom of 1926-1929, partially as a response to a housing shortage caused by the influx of auto plant workers transferring in from eastern Canada.
- Designed by the distinguished early Regina architectural firm of Van Egmond and Storey.
- Constructed in a distinctive Spanish Revival style in an H-plan and featuring typical Spanish Revival elements such as tower elements, ornamental gable ends, ornamental wrought iron railings, expressive timber eave and roof brackets, stone trim and an ornamental tile frieze at the tower elements.
- One of four early modern apartment buildings constructed in the city's building boom of 1926-29 and intended for the higher rent market.
- No additions and with most of the building's heritage features surviving and in good condition.



Early photographs of the Frontenac





1.3 Character-Defining Elements

As per the Statement of Significance prepared by Ross Erington the Frontenac's Character-Defining Elements include:

- Free standing, four storey building height and H-shaped massing, allowing for greater access to natural light in each suite,
- Set back from the street, with formal planting in the area between the two entrances;
- Steeply pitched, red tile roof;
- Curvilinear false end gables,
- Central front gable with round vent and Tyndal stone accents and garlands,
- Staggered balconies with large eave brackets and ornamental metal railings,
- Rounded-arch doors,
- Rounded arch window openings with inset decorative tile pattern and pilaster-like carved window surrounds and stone sills with brackets,
- Wide stucco band below the front eaves which is decorated with tile patterns,
- Tower like projections which punctuate the north and south wings,
- A combination of original wood muntined double hung and casement windows and newer contemporary windows,
- Stylized flag pole.

2. POLICY FRAMEWORK

2.1 Heritage Designation

An application for the building designation has been made, as part of a City of Regina heritage incentive tax relief incentive, and is pending.

2.2 Zoning and Design Guidelines

The Frontenac, located at 2202 Lorne Street, is situated within the Victoria Park Heritage Conservation District

2.3 Regulatory and Approval Process


An application for the heritage incentive and designation of the property is to be made, and this has occurred on this project. This is followed with a Conservation Plan clearly outlining the eligible conservation measures,

and cost estimates for the work from professional architects or engineers with a familiarity and understanding of the proposed work. Once the application for the heritage incentive is made, an application for a heritage alteration permit, development permit or building permit can be made. Upon completion of the Administration's review, the application for an incentive will be considered by the City's Finance and Administration Committee which, in turn, will make a recommendation to City Council.

The additional regulatory and approval issue pertinent to this project is the critical and pressing need to undertake renewal/replacement of sanitary sewer lines below the basement slab in the building. With reference to the 5.4 Eligible Work criteria in "Appendix C – Heritage Incentive Policy", renewal of building sanitary drain lines that have reached their full service life, is eligible work under this incentive program. The City's engineering department has expressed a desire for this work to commence at the earliest opportunity, and the owner is interested in proceeding with this work as soon as possible. The owner is poised to undertake the sanitary line renewal immediately. Major improvements to the basement suites will be made as soon as possible and the owner will be requesting that the sanitary line renewal work be included as part of eligible costs for the incentive, even though this work is likely to be complete before the proposed heritage incentive is approved by the City.

3. CONSERVATION ASSESSMENT

3.1 Condition Assessment

Condition Assessment		
Form, Scale & Massing	No significant alterations or additions have affected the building's form scale and massing and these aspects of the building are essentially original.	

A low, flat-roofed two bay garage has been set within the north portion of the rear setback and is constructed of painted concrete masonry unit block. The base of the rear exit stair has been enclosed as a utility shed. These additions have not impacted the original building and could be removed in the future.



Front Façade Masonry



The original buff brick upper walls and red brick base masonry is in generally good condition, with some inappropriate tooling of joints evident in a few areas of past selective repointing.



Very minor rust jacking of some window steel shelf angle lintels is evident in the slightly expanded shelf angle bedding joint.








The major masonry issue is the foundation differential settlement which is or has occurred at the north projecting block, resulting in diagonal shear cracking at the northeast corner at the lane, at some window sill and headers on the east elevation and below the balcony on the interior courtyard elevation. The diagonal cracking is wide and suggests the foundation settlement is active. This structural instability will need to be remediated in the near future.







	<p>The Tyndal Stone trim at doorways, window surrounds and sills is in good condition.</p> <p>There is evidence of some water ingress at the balconies; a new membrane surface at the balcony deck is required to address this.</p> <p>The buff brick masonry is not soiled in areas of high water run-off, below sills for instance, and is acceptably clean in its current state.</p>	 
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<p>Sheet Metal/ Ornamental Iron Work</p>	<p>The roof drainage system, consisting of gutters, spigots, ornamental/functional conductor boxes, and downpipes have been kept in excellent working order with no leakage or blockages evident now or in the past. Past roof drainage failure is indicated by staining, efflorescence, and brick mortar joint deterioration at the area of a leak or blocked conductor box/down pipe. Some of the conductor heads require a preparation and painting.</p> <p>The original ornamental wrought iron railings on the upper and lower balconies are in good condition. One has been sheeted in with wood, but this detracting condition is easy to remedy through removal.</p>	 
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Red Tile Roof	The red clay tile roof surface is a distinctive feature of the building and in excellent condition.	
Wood Elements	The exterior wood elements include the wood roof soffit and associated wood soffit brackets, the upper balcony exposed wood framed roof and the expressive outboard exposed roof bracket and the sloped roof fascia boards. All of these elements have good weather-coats of paint and are in good condition.	



Front Façade Windows	Approximately half of the original wood muntined double hung and casement windows are intact and in fair condition. The sash joints in some sash have deteriorated over time from water ingress and exposure to the elements, resulting in loose joints and warping sash, but a most are in fair condition with some service life remaining. All of the original sash are protected with winter storm sash which have served to extend their service life and provide a higher level of winter season occupant comfort. Approximately 40% of the existing original wood sash will require replacement in the medium term. The existing wood frames are robust, painted and in good condition.	  
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	<p>Approximately 50% of the original wood windows on the front elevation, principally at the end blocks, have been changed out to new contemporary wood windows with double glazing. The window change-out has occurred within the last five years. They provide a higher level of occupant comfort and energy performance, but lack the heritage character of the muntined original wood windows. They are a blend of single-hung or lower slider operation.</p>	
<p>South/North Windows</p>	<p>Approximately 50% of the south and north elevation windows are original wood muntined double hung or casement windows have been replaced with contemporary new windows, similar to the front elevation. The existing wood south elevation windows take more summer exposure and are in worse condition than the north elevation original windows. Approximately 55% of the south original window sash require replacement in the medium term and 30% of the north original windows require replacement in the medium term.</p>	




<p>Rear (west elevation) Windows</p>	<p>Approximately 30% of the rear elevation windows are original wood muntined double hung or casement windows have been replaced with contemporary new windows, similar to the front elevation. Approximately 35% of the rear elevation original window sash require replacement in the medium term.</p>	 
---	--	---



Rear Exit	The original wrought iron fire escape has been replaced with a newer vintage steel exit stair with a roof cover.	
Entrances	The original residential entry vestibule pavilions set within the entry forecourts, clad in red brick and red roof tiles and trimmed in cut Tyndal Stone, are in good condition. The original varnished white oak round-arched exterior and interior doors with original hardware (pulls, kick-plate, hinges) are in good condition. A contemporary guardrail along one side of the entry landing is not strictly required by code, but is useful, especially for some of the aging residents.	



Entrances (cont'd)	Original tiled vestibule floor surfaces have survived in excellent condition. Small arched wood windows with original leaded lights and a vaulted plaster ceiling provide an interesting welcome to building visitors.	
Common Space Finishes	The common spaces are largely intact, although original light fixtures have been changed to contemporary fixtures and colour scheme has changed from the original.	


	<p>Corridor arched bulkheads are supported by ornamental pilasters with Corinthian influenced capitals. The piers have been marbelized and the pier colour scheme suggests that the capitals may well be the original colour scheme.</p>	
	<p>The original heavy panel suite entry doors featuring diamond leaded glass lights have survived, as have all of the milk delivery closets, albeit built-in.</p> <p>The original unglazed tile corridor floor surfaces have survived in good condition.</p>	

	<p>The original wood and decorative wrought iron stairs have survived at both the north and south residential entries in excellent condition.</p>	
	<p>The secondary extd stairs have also survived in good condition.</p>	

	The original brass mailbox bank is intact and still in use.	
	The basement laundry room still has its original cast iron laundry sink and an early, if not original, washing machine roll ringer attachment.	
	Typical suite finishes include varnished white oak floors with enough thickness over the tongue for more refinishing and, in many cases, original baseboard, door and window casings	

	Interior view of an original wood muntined 6 over 6 double hung window with exterior wood storm sash with the same muntin pattern. Note the original widow casings and stool.	
	Interior view of a new contemporary wood window replacement set at the plane of the storm sash. This provides a useful deep stool at the interior, but results in a shallower rough opening at the exterior.	

	Some residential units still retain original interior features, such as this grilled opening separating the kitchen from the Dining/ Living Room.	
	Some original fireplace mantle and molded baseboards survive and are interesting interior features.	

Typical Suite Finishes	Many residential unit kitchens have been modernized over time and are of good quality.	
Building Service Systems	<p>The building's original fire tube boilers have been well-maintained upgraded with improved controls over time. The existing cast iron radiators and heating system function well. The cast iron drainage lines throughout the building are in reasonable condition, except the lines at the basement, which serve the basement plumbing fixtures, but also gather up sanitary sewer load from the upper stories. These lines have corroded in their buried condition, constricting flow and resulting in serious blockages and back-ups. All of the existing cast iron sewer line in and below the basement slab requires replacement. The hot and cold water supply system is functional and in good condition.</p> <p>The electrical service is largely original equipment, near the end of its useful service life, and under-sized for the building's current electrical load. Room electrical distribution, although minimal for use, is adequate.</p>	

4. REHABILITATION PLAN

4.1 Proposed Conservation Strategies

The Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada* (2004) has been adopted by the City of Regina, the Government of Saskatchewan and most Federal agencies, for the assessment of the treatment of historic places. Under the Standards and Guidelines, the conservation strategies proposed for the proposed façade restoration of the Frontenac, at 2202 Lorne Street, may include aspects of preservation, restoration and rehabilitation, as defined below:

Preservation: The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering, or representing the state of a historic place, or of an individual component, as it appeared in a particular period in its history, while protecting its heritage value.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of an historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

In reality, all three of these conservation approaches will come into play in the proposed rehabilitation measures proposed for the Frontenac. While no change of use is being considered, structural stabilization of the northeast corner and renewal of sanitary lines at the basement floor are proposed as part of a phased and prioritized upgrade plan, all in keeping with the building's heritage character and intended to maintain and enhance the building's heritage value.

In conservation terms, the project will be considered a rehabilitation, which will include aspects of restoration and preservation. This provides some flexibility to accommodate user needs and the function of the building, while respecting heritage values.

4.2 General Rehabilitation Approach

The Rehabilitation Plan has been organized under the following categories, based on current condition and performance, owner priorities, code compliance and safety considerations, maintenance of envelope and heritage character integrity, improvements to occupant use and comfort and costs:

Priority 1: Currently Critical

Should be addressed within a 1 year time frame

Priority 2: Potentially Critical

Should be addressed within a 2 year time frame

Priority 3: Necessary – Not Critical Yet

Should be addressed within a 2 to 4 year time frame

Priority 4: Recommended

Should be addressed within a 3 to 6 year time frame

4.2.1 Priority 1: Currently Critical

4.2.1.1 Basement Sewer Line Replacement

Based on sewer back-up history at the basement and confirmed through extensive video investigation, the sanitary sewer lines beneath the basement slab have experienced extensive delaminating interior corrosion, reducing the interior cross sectional areas available to sewer flow, and resulting in the frequent sewer back-ups and blockages in the basement. The stacks are in reasonable condition, given their age, but as the lines transition to sloped horizontal flow beneath the basement slab, it is clear the lines are no longer functional and have reached the end of their service life.

The cast iron sewer lines beneath the basement concrete slab require replacement to restore full functionality and code compliance.

4.2.1.2 Northeast Corner Differential Settlement Remediation

The projecting salient at the northeast corner of the building has differentially settled, resulting in significant and active shear cracks at stress concentration points, typically at corners of windows and top corners of the block. The structural engineers overseeing this aspect of the rehabilitation feel that this unstable foundation condition will continue if not remediated through a system of foundation underpinning. The diagonal shear cracks in the exterior wall will eventually undermine the structural integrity of the wall. The diagonal shear cracking in the exterior wall is obviously problematic from a water ingress perspective.

J.C. Kenyon Engineering Inc. have undertaken an assessment and remediation design (Appendix 1) and planned for a system of mini-piles beneath the existing northeast salient to arrest any further settlement. The diagonal cracking will then be repointed.

4.2.1.3 Electrical Service Upgrade

A new electrical service upgrade is proposed to bring the building up to current standards, replace antiquated electrical switchgear at the end of its service life, increase electrical capacity, and improve fire/life safety and energy efficiency.

This substantial upgrade would involve a new SaskPower 800 Amp service to the building within a new trenched conduit, an electrical grounding system, a dry-type pad-mounted transformer, new service equipment, and new distribution switchgear, complete with breakers.

4.2.2 Priority 2: Potentially Critical

4.2.2.1 Balcony Deck and Curb Remediation

The balcony decks are showing signs of water ingress. The attachment points of the wrought iron railing on the curb have opened up due to rust jacking of the wrought iron guard verticals and anchorage and the caulked joints are past their service life. The deck membranes are near the end of their useful service life.

New balcony deck membranes, tied into the deck drains, and a vinyl or two-ply SBS membrane installed and wrapped up the inside curb to a reglet on the underside of the masonry cap, will be installed on each balcony. The wrought iron guard rail attachments will be replaced with new attachments to ensure a water-tight anchorage condition.

4.2.3 Priority 3: Necessary, Not Critical Yet

4.2.3.1 Exterior Wood Window & Trim Painting

All fascia, soffit, soffit brackets, balcony roof underside & brackets and wood window frames/sash should be prepared and painted every approximately 8 years. They have recently been painted so, repainting should be considered by 2022.

4.2.3.2 Wood Window Frame and Sash Remediation

Many existing wood window frames and sash are deteriorated and in need of remediation. Most of the frames can be rehabilitated through the selective surface honing of sill tops or the selective scarf joint jamb bottom Dutchman patches. Deteriorated existing single glazed double hung or casement wood sash will be replaced with new wood sash utilizing salvaged original glass where possible. Refer to drawing PR-A5-00 in the appendix.

4.2.3.3 Metal Element Preparation & Painting

Metal elements, including wrought iron balcony railings, conductor heads and downpipe, and gutter will be prepared and painted.

4.2.4 Priority 4: Recommended

4.2.4.1 Accessible Entry

The building is currently not wheelchair accessible. An opportunity exists for a discreetly located and designed ramp ramping around the south edge of the building and across the east elevation at the south edge, to provide wheelchair access to the ground floor level. This would be a desirable improvement and should be investigated as a possibility.

4.2.4.2 Elevator Installation

Although an elevator rough-in was provided for the building, an elevator was never installed. In conjunction with the Accessible Entry upgrade, an elevator will be investigated as a possibility in the original rough-in space on each floor, which is current utilized as storage.

4.2.4.3 Replace Contemporary Windows

The contemporary windows that have been installed on all elevations, consisting of sealed double glazed units, likely have another 25 years of service life remaining before the glazed units start to fail. These windows will be replaced in new wood single glazed units of the same configuration, operation, profile and wood species as the original wood windows. This will be done on a unit-by-unit basis as the these contemporary windows require re-glazing for the failed sealed double glazed units.

4.2.4.4 Interior Feature Preservation

All of the original common area interior heritage features identified in the condition assessment will be retained and enhanced, from a heritage perspective. A colour analysis will be conducted in common areas to inform the new colour scheme. New reproduction light fixtures will be installed in common areas, modelled on the originals or fixtures sympathetic to the historic interiors. Existing stair balustrades, ornamental plaster features, original flooring and trim elements will be preserved. Heritage features inside the apartments will not necessarily be retained and will be reviewed on a suite by suite basis to determine what is practical.

5. CONSERVATION STANDARDS ASSESSMENT

The following are the Standards that define the principles of good conservation practice, and an assessment of how they relate to the proposed interventions for the Frontenac at 2202 Lorne Street, Regina, SK.

Conservation Standard	Conservation Strategy
General Standards for all Projects	
1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.	The building is remaining in place and will be sensitively restored, rehabilitated and preserved in a manner that maintains and enhances its heritage character.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.	The contemporary wood windows have considerable service life remaining, and although do detract from the original heritage character, not on a debilitating level. Their eventual replacement with muntined wood windows of the original configuration, profile and operation is planned when these contemporary windows fail. The rear exit stair is a replacement of the original, but has some of the same raw steel character of the original fire escape and its retention is planned. The two car garage in the rear courtyard, although not original, does not substantially detract from the building's character and offers considerable utility to two tenants.
3. Conserve heritage value by adopting an approach calling for minimal intervention.	The proposed interventions will restore the building to its original appearance or allow sensitive rehabilitation in keeping with the buildings heritage value.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historic development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.	Proposed interventions will comply with this standard, but also allow respectful rehabilitation to meet modern standards, if deemed necessary.

5. Find a use for a historic place that requires minimal or not change to its character-defining elements.	The proposed continued residential use will allow minimal change to the building's character-defining elements.
6. Protect, and if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.	The building is generally secure at this time.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.	This report identifies deficiencies and proposed interventions which retain or restore character-defining elements, or allow respectful rehabilitation to allow continuing use.
8. Maintain character-defining on an on-going basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.	A maintenance plan in compliance with the Standards will be implemented.
9. Make any intervention needed to preserve character defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.	This conservation plan will provide guidance on future interventions to ensure maintenance of the building's heritage character-defining elements. Implementation measures will allow for the oversight of an independent heritage consultant where required.
Additional Standards Relating to Rehabilitation	
10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.	Almost all of the building's character defining elements have survived and will be preserved. Historic photography, standard period detailing, and 'ghosts' of removed elements will allow restoration of any missing elements.

11. Conserve the heritage value and character defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.	Rehabilitation which deviates from the original will be discernible as new construction, but be compatible with the heritage character.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.	No additions are being contemplated.
Additional Standards Relating to Restoration	
13. Repair rather than replace character-defining elements from the restoration period. Where character defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements.	The proposed intervention approach will comply with this Standard.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.	Good surviving examples of wood windows, wrought iron railings and other elements will provide accurate models for restoration work.

6. CONSERVATION GUIDELINE ASSESSMENT

The Frontenac rehabilitation falls under categories in the Guidelines: **Building and Materials**.

6.1 BUILDINGS

Generally, the proposed interventions should meet the intent of this Section of the Guidelines. Particular attention should be paid to the following points:

- As outlined in this conservation plan, understand the building's heritage value, respect the building's original designer's intent, document and assess the building's condition and upgrade/stabilization requirements at the planning stage,
- Working with code specialists to determine the most appropriate fire, life safety and security requirements with least impact on the building's character-defining elements,
- Working with sustainability and conservation specialists to determine the most appropriate solution to sustainability requirements and energy-efficient objectives, with the least impact on character-defining elements,
- Reinstating the building's exterior form from the restoration period, based on documentary and physical evidence,
- Recreating missing elements that existed during the restoration period, based on documentary and physical evidence.

6.2 MATERIALS

Generally, the proposed interventions should meet the intent of this Section of the Guidelines. Particular attention should be paid to the following points:

- As laid out in the conservation plan, understand the materials that comprise the historic place and how they contribute to the historic place,
- Document all interventions and exposed material condition,
- Determine the necessity for additional testing or investigation to fully understand any failure mechanisms as they play,
- Design interventions to be minimally invasive, retaining as much original fabric in good condition as possible, and striving to replace any materials in kind, and based on original material as a model, or other documentation.

7. PRELIMINARY OPINION OF PROBABLE REHABILITATION COSTS

7.1. Priority 1: Currently Critical

- 7.1.1. Basement Sewer Line Replacement
- 7.1.2. Northeast Corner Differential Settlement Remediation
- 7.1.3. New Electrical Service

These three significant upgrade projects have been grouped into a combined construction cost estimate, found in Appendix A. As these projects are likely to be undertaken in a phased manner to allow the substantial on-going occupancy of the building, the elemental cost estimate tracks the construction costs separately, although combines the soft costs (permit fees, insurance, consulting, project management,...) Estimates are net of GST.

7.1. Priority 1: Currently Critical		
7.1.1.	Basement Sewer Line Replacement	
7.1.2.	Northeast Corner Differential Settlement Remediation	
7.1.3.	New Electrical Service	
TOTAL		\$781,943.00

7.2. Priority 2: Potentially Critical		
7.2.1.	Balcony Deck & Curb Remediation – 5 balconies at \$6500/ea.	\$32,500.00
TOTAL		\$32,560.00

7.3 Priority 3: Necessary – Not Critical Yet		
7.3.1.	Exterior Wood Window and Trim Painting	\$23,000.00
7.3.2.	Wood Window Frame and Sash Remediation – 28 Front Façade Window Rehabilitations(sill re-surfacing, lower sash replacement, jamb patch repair), 35 North and South Elevation Window Rehabilitations, 47 Rear Façade Rehabilitations – 110 window rehabilitations at an average cost of \$600/window	\$449,460.00
7.3.3.	Metal Elements Preparation and Painting – wrought iron railings, rear exit stair	\$23,000.00
TOTAL		\$495,460.00

7.4 Priority 4: Recommended		
7.4.1.	Accessible Entry – side ramp wrapping around south projecting salient to meet south entry, door opener with int/ext push button operator for exterior and vestibule doors	\$48,000.00
7.4.2.	Elevator Installation – Installation of a new elevator in the original hoistway, including fire separation of hoistway, custom cab for under-sized hoistway dimensions, pit and hydraulic elevator mechanical, electrical supply and fire alarm tie-in.	\$250,000.00
7.4.3.	New Fire Alarm – New single stage fire alarm system with main panel, annunciator, flow switches, pull stations, smoke and fire detectors and horns/bells, throughout building	\$39,000.00
7.4.4.	Sprinkler System – New sprinkler system to NFPA 13, exposed piping and heads, new water service for higher water flows (concealing piping heads is too invasive in the existing heritage interiors) – \$5.42/sq.ft. X 37,736 sq.ft.	\$204,567.00
7.4.5.	Replace Contemporary Windows – 110 Windows @ \$2500.00/ea. Average price	\$275,000.00
7.4.6.	Interior Features Restore approximately 20 doors to original heavy panel door, new period fixtures in hallways, new common area finishes to original colour scheme	\$56,000.00
TOTAL		\$872,567.00

8. MAINTENANCE PLAN

Maintenance Plan		
Activity	Description	Frequency
Masonry Cleaning	Pre-soak masonry and scrub with non-ionic detergents, low pressure wash rinse	Every five years
Repointing	Rake-out mortar joints and repoint with a lime mortar	Every 20 years
Wood Windows & Trim Elements	Prepare and paint wood windows, brick molding, sash, storefront base and frame elements, storefront soffit	Every 5 – 8 years, depending on exposure & condition
Metal Clad Windows	Rout-out existing rough opening caulking and re-caulk widow rough openings	Every 5 – 6 years
Metal Elements	Prepare and paint sheet metal when wood elements are re-painted. Remove old caulking in regletted joints and install new caulking.	Every 5 – 8 years, depending on exposure & condition



FRONTENAC

2022 LORNE STREET, REGINA, SK

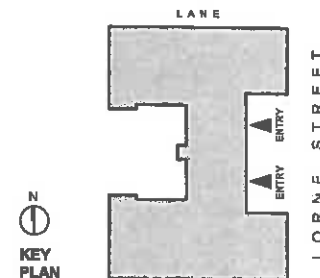
APPENDICES

- A1 CONDITION & REHABILITATION DRAWINGS
- A2 NORTHEAST WING UNDERPINNING DRAWINGS
BBK STRUCTURAL ENGINEERS
- A3 PROJECT SPECIFICATIONS
- A4 PRIORITY 1 – CRITICAL PRELIMINARY OPINION
OF PROBABLE REHABILITATION COST
- A5 SUMMARY OF THE SEWER LINE REPLACEMENT &
PLUMBING WORK AT THE FRONTENAC
- A6 ORIGINAL ARCHITECT'S DRAWINGS
- A7 CURRENT FLOOR PLANS
- A8 STATEMENT OF SIGNIFICANCE



McGinn Engineering &
Preservation Ltd.
Barry McGinn Architect.

FRONTENAC CONSERVATION DRAWINGS



CIVIC ADDRESS
FRONTENAC
 2022 LORNE STREET
 REGINA, SK, S4P 2M3

LEGAL DESCRIPTION
 LOT 42, BLOCK 369,
 PLAN 98RA28309

DRAWING LIST

A1-00	ORIGINAL BASEMENT FLOOR PLAN
A1-01	ORIGINAL MAIN FLOOR PLAN
A1-02	ORIGINAL 1st FLOOR PLAN
A1-03	ORIGINAL 2nd FLOOR PLAN
EX-A1-04	EXISTING ROOF PLAN
EX-A2-00	EXISTING EAST ELEVATION
EX-A2-01	EXISTING SOUTH ELEVATION
EX-A2-02	EXISTING WEST ELEVATION
EX-A2-03	EXISTING NORTH ELEVATION
EX-A2-04	EXISTING RETURN ELEV'S (NORTH)
EX-A2-04	EXISTING RETURN ELEV'S (SOUTH)
PR-A1-04	PROPOSED ROOF PLAN
PR-A2-00	PROPOSED EAST ELEVATION
PR-A2-01	PROPOSED SOUTH ELEVATION
PR-A2-02	PROPOSED WEST ELEVATION
PR-A2-03	PROPOSED NORTH ELEVATION
PR-A2-04	PROPOSED RETURN ELEV'S (NORTH)
PR-A2-04	PROPOSED RETURN ELEV'S (SOUTH)
PR-A5-00	EXISTING/PROPOSED WOOD WINDOW DETAIL
PR-A5-00	WINDOW/DOOR SCHEDULE

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FRONTENAC
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COVER SHEET

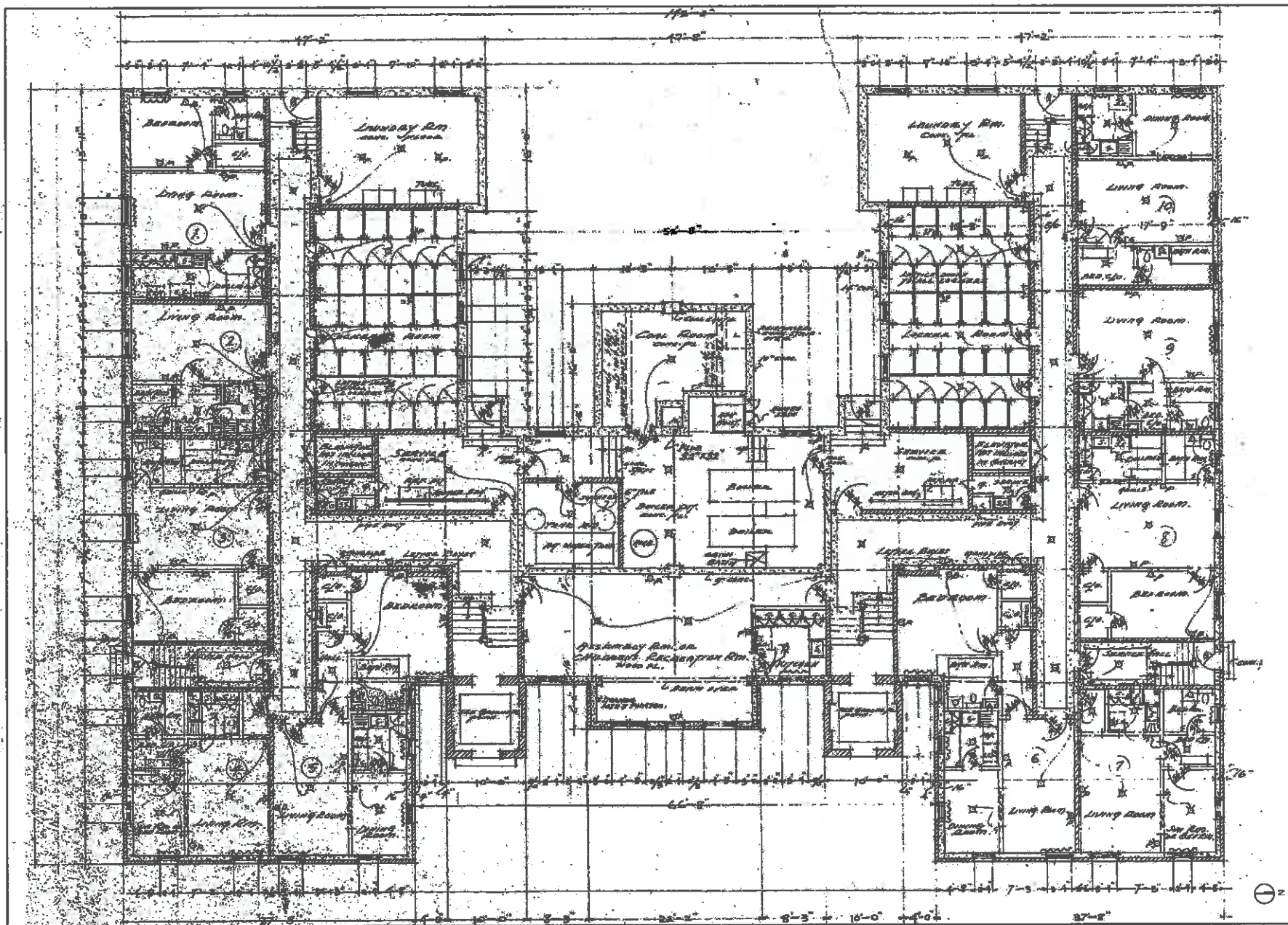
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DATE: 01.30.2018

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OWNER:

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REV.	DESCRIPTION	DATE

PROJECT:

FRONTENAC
2022 LORNE STREET, REGINA, SK

TITLE:
ORIGINAL BASEMENT FLOOR PLAN

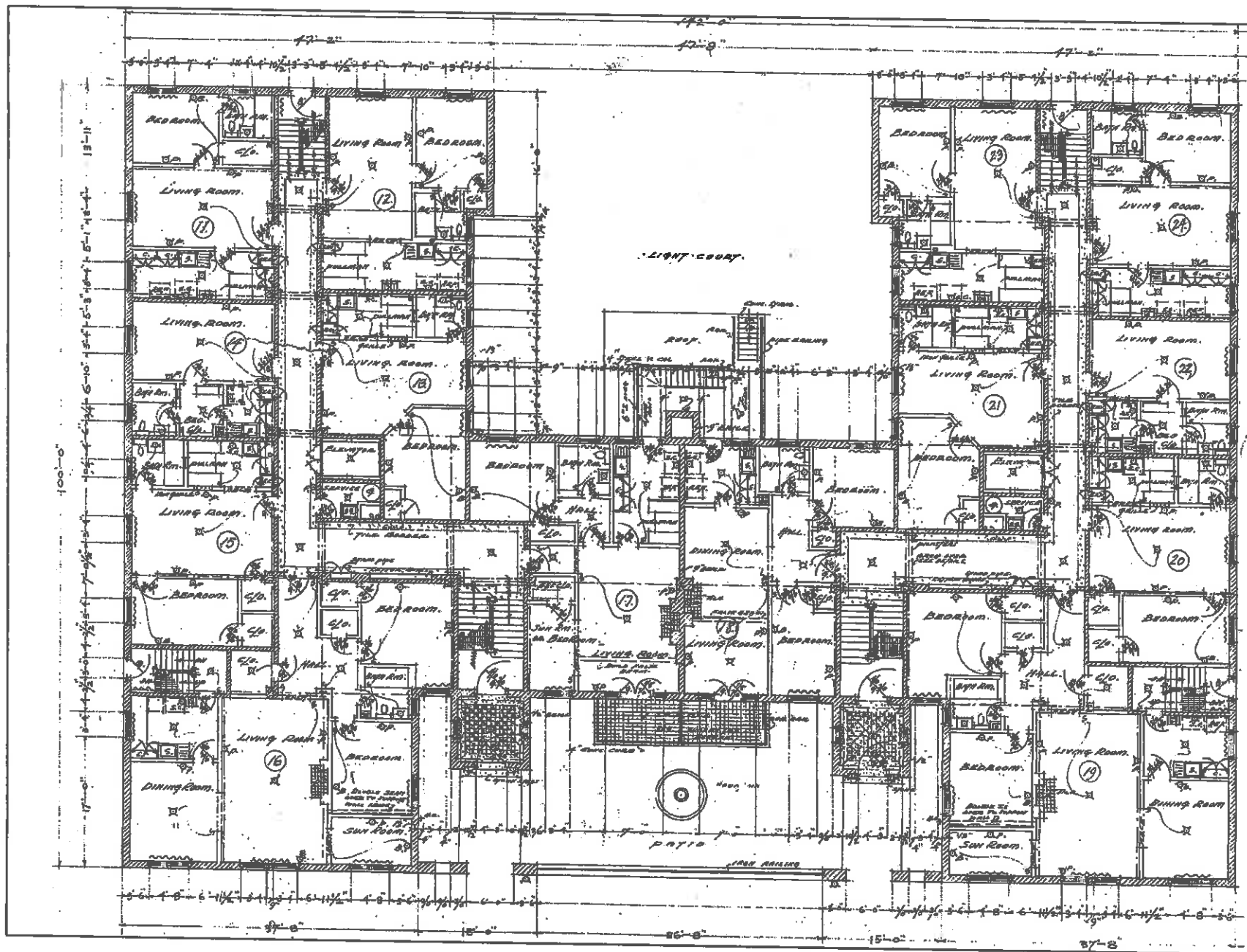
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DATE: 1928

SCALE: 3/16" = 1'-0"

DWG:

A1-00



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REV.	DESCRIPTION	DATE

PROJECT:

FRONTENAC

2022 LORRAINE STREET, VANCOUVER, BC

TITLE:

**ORIGINAL MAIN
FLOOR PLAN**

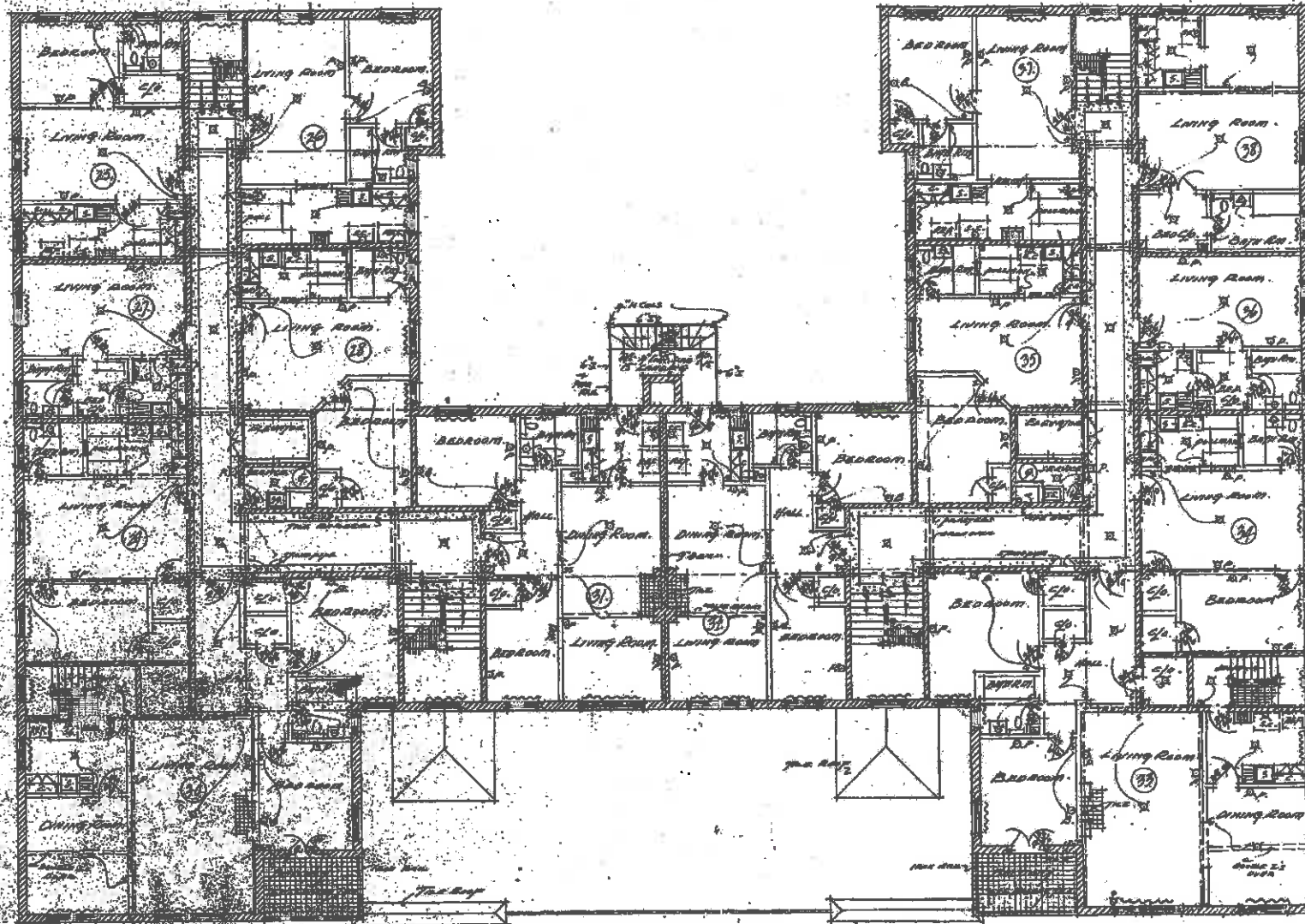
DRAWN BY: VAN BOWEN & STUBBS ARCHITECTS

DATE: 1998

SCALE: 3/16" = 1'-0"

OWNER:

A1-01



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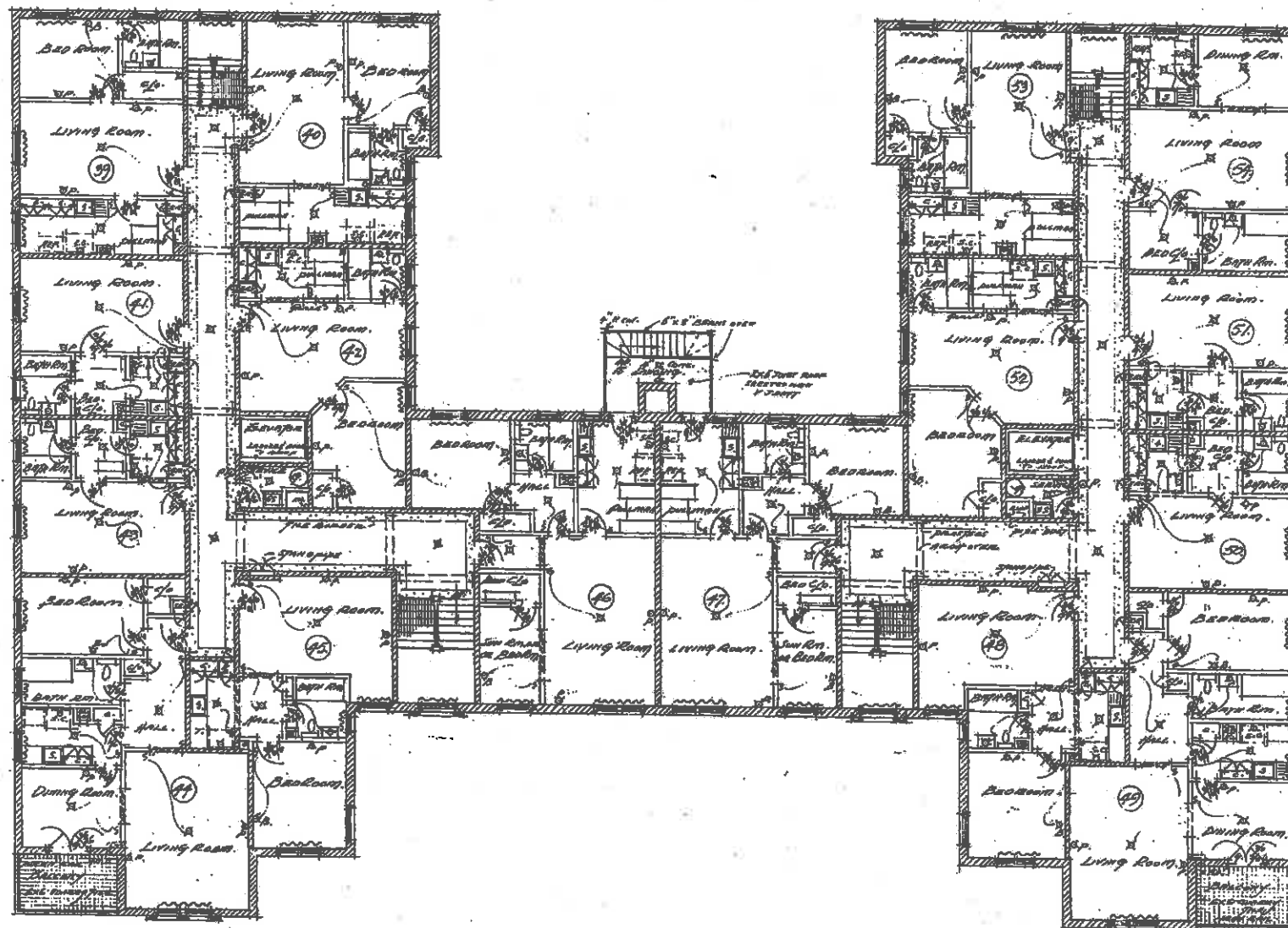
PROJECT:
FRONTENAC
3023 LORNE STREET, VICTORIA, BC

TITLE:
**ORIGINAL
1st FLOOR PLAN**

DRAWING BY: VAN ZANDER & STODOLY ARCHITECTS
DATE: 1998
SCALE: 3/16" = 1'-0"

UNION
A1-02





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REV.	DESCRIPTION	DATE

PROJECT:

FRONTENAC
2025 LORRAINE STREET, REDOUBT, BC

TITLE:
**ORIGINAL
2nd FLOOR PLAN**

DRAWN BY: VAN MCKIN & STODOLY ARCHITECTS

DATE: 1999

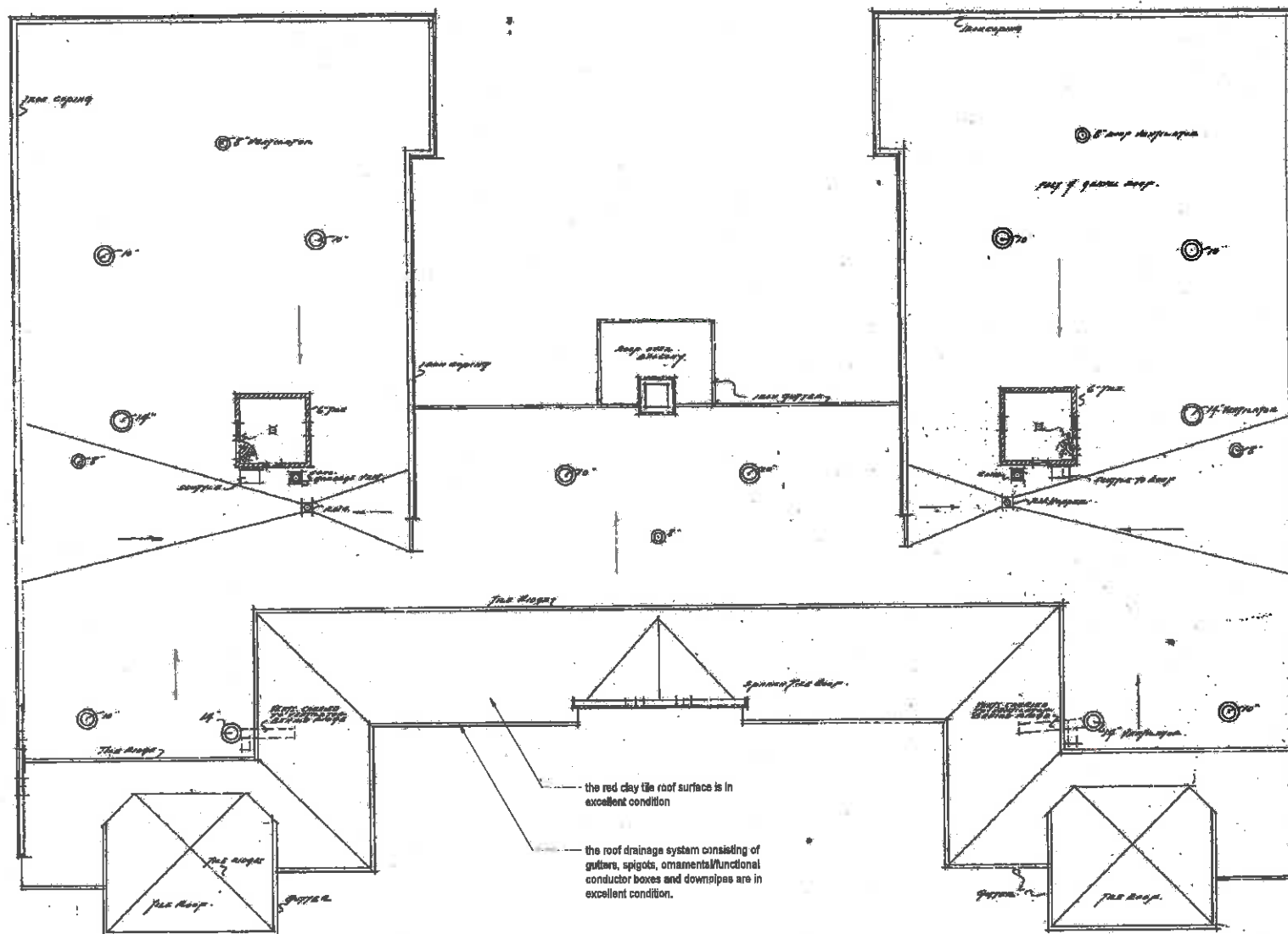
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DWG#



A1-03

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 \ominus

TITLE: **EXISTING
ROOF PLAN**

DRAWN BY:	WAB DIMOND & STOREY/ HW
DATE:	01.28.2018
SCALE:	2"=1'-0"

EX-A1-04

REV.	DESCRIPTION	DATE
PROJECT:		
FRONTENAC 2022 LONNE STREET, MEDINA, NJ		
TITLE: EXISTING EAST ELEVATION		
DRAWING BY:	REV	
DATE:	08/09/2016	
SCALE: 3/16" = 1'-0"		
OWNER:		
EX-A2-00		

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The south facade original windows that remain are intact and in fair condition - the frames/sash require rehabilitation and some lower sash have reached the end of their service life and require replacement.

The contemporary wood windows that have replaced original single-glazed wood windows lack heritage character but provide higher level of occupant comfort.

Refer to rehab drawings/schedules for window conservation actions.

upper wall butt masonry in good condition with approximately 10% inappropriately repointed w/ a hard portland cement mortar.

roof drainage system, consisting of gutters, spigots, ornamental/functional conductor boxes, & downpipes are in excellent condition.

the red clay tile roof is in excellent condition

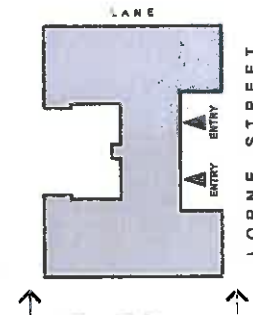
exterior wood elements including the wood roof soffit brackets, the upper balcony exposed roof, roof brackets and fascia are in good condition

brick soldier course has been repointed w/ hard portland cement mortar

minor rust jacking of some window steel shelf angle lintels is evident.



N
KEY PLAN



REV.	DESCRIPTION	DATE
1	EXISTING SOUTH ELEVATION	2010-03-01
2	EXISTING SOUTH ELEVATION	2010-03-01
3	EXISTING SOUTH ELEVATION	2010-03-01
4	EXISTING SOUTH ELEVATION	2010-03-01
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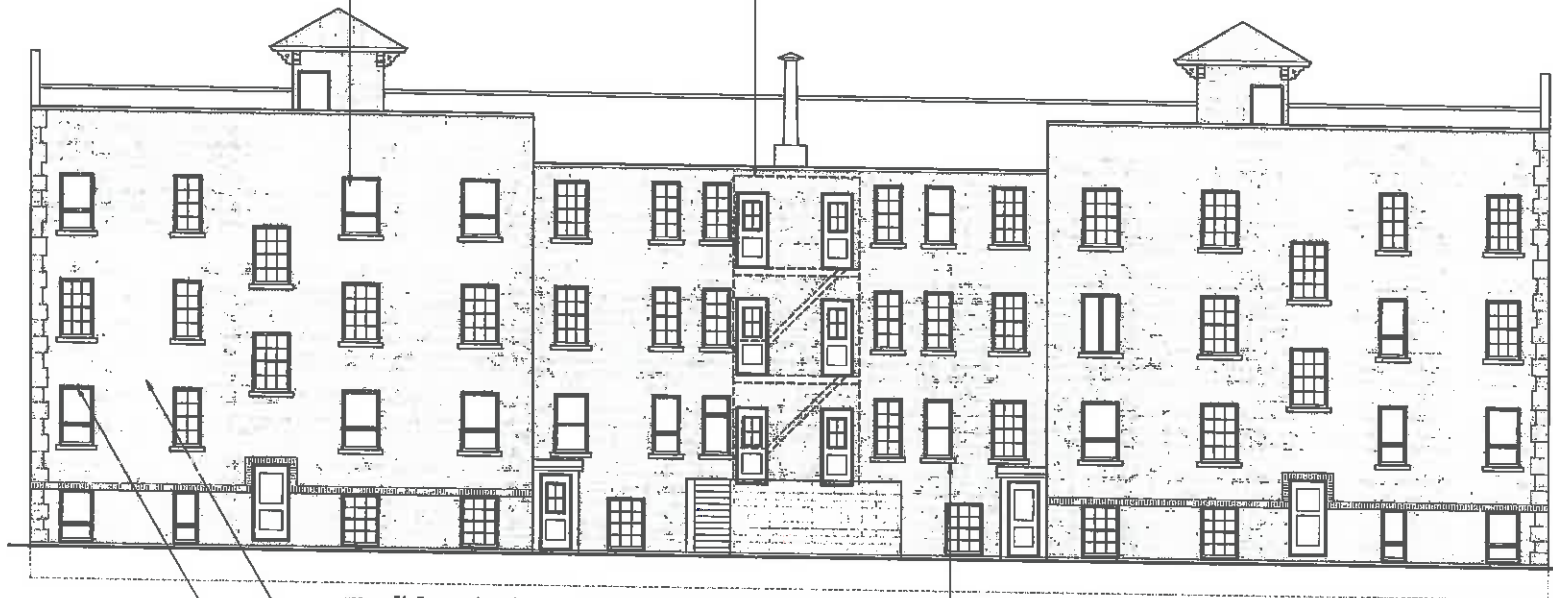
EX-A2-01

The west facade original windows that remain are intact and in fair condition - the frames/sash require rehabilitation and some lower sash have reached the end of their service life and require replacement.

The contemporary wood windows that have replaced original single-glazed wood windows lack heritage character, but provide higher level of occupant comfort.

Refer to rehab drawings/schedules for window conservation actions.

the original wrought iron fire escape has been replaced with a newer steel exit stair with a roof cover



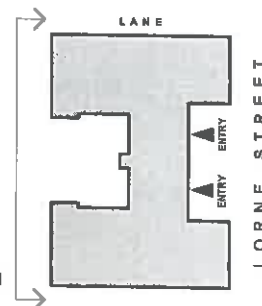
upper wall buff masonry in good condition with some inappropriate tooling of joints in past repointing

brick sills are in good condition

minor rust jacking of some window steel shelf angle lintels is evident.



N
KEY PLAN



McGinn Engineering & Preservation Ltd.
Barry McGinn Architect

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REV.	DESCRIPTION	DATE

PROJECT:

FRONTENAC
2023 LORNE STREET, REGINA, SK

TITLE:
**EXISTING
WEST ELEVATION**

DRAWN BY: RUV

DATE: 08/02/2019

SCALE: 3/8" = 1'-0"

DWG:

EX-A2-02

McGinn Engineering & Preservation Ltd.
Barry McGinn Architect.

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the red clay tile roof is in excellent condition

exterior wood elements including the wood
 roof soffit brackets, the upper balcony
 exposed roof, roof brackets, and fascia are
 in good condition

evidence of water ingress at balconies

The north facade original windows that remain are intact
 and in fair condition - the frames/sash require rehabilitation
 and some lower sash have reached the end of their service
 life and require replacement.

The contemporary wood windows that have replaced
 original single-glazed wood windows lack heritage
 character, but provide higher level of occupant comfort

Refer to rehab drawings/schedules for window conservation
 actions.

the tyndall stone doorways, window
 surrounds and sills is in good condition

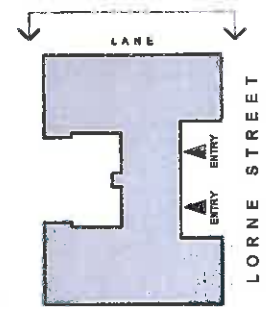
minor rust jacking of some window
 steel shelf angle lintels is evident.

foundation differential settlement of the north
 projecting block resulting in diagonal shear
 cracking at the northeast corner

upper wall buff masonry in good
 condition with some inappropriate
 tooling of joints in past repointing



N
 KEY
 PLAN



NO.	DESCRIPTION	DATE
1	FRONTENAC	
2	EXISTING NORTH ELEVATION	
3	EX-A2-03	

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Barry McGinn Architect

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The return elevations original windows that remain intact
and in fair condition - the frames/sash require rehabilitation and
some lower sash have reached the end of their service life and
require replacement.

The contemporary wood windows that have replaced original
single-glazed wood windows lack heritage character, but
provide higher level of occupant comfort.

Refer to rehab drawings/schedules for window conservation
actions.

the red clay tile roof is in excellent condition

exterior wood elements including the wood
roof soffit brackets, the upper balcony
exposed roof, roof brackets, and fascia are
in good condition

step cracking due to differential settlement,
inappropriately repointed with hard portland
cement mortar.

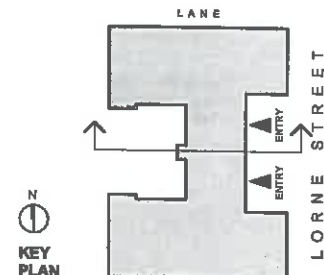
evidence of water ingress at balconies

approx. half the front facade windows are
intact and in fair condition, approx. 40% of
existing original window sash require
replacement; the windows that have been
changed out lack heritage character, but
provide higher level of occupant comfort.

upper wall butt masonry in good
condition with some inappropriate
tooling of joints in past repointing

minor rust jacking of some window
steel shelf angle lintels is evident.

the tyndall stone sills are in good condition



REV.	DESCRIPTION	DATE

PROJECT:
FRONTENAC
2822 LORNE STREET, VICTORIA, BC

TITLE:
**EXISTING NORTH
RETURNS ELEVATIONS**

DRAWN BY: BW
DATE: 06/02/2018
SCALE: 3/8" = 1'-0"
DWG:

EX-A2-04

exterior wood elements including the wood roof soffit brackets, the upper balcony exposed roof, roof brackets, and fascia are in good condition

the red clay tile roof is in excellent condition

The return elevations original windows that remain are intact and in fair condition - the frames/sash require rehabilitation and some lower sash have reached the end of their service life and require replacement.

The contemporary wood windows that have replaced original single-glazed wood windows lack heritage character, but provide higher level of occupant comfort.

Refer to rehab drawings/schedules for window conservation actions.

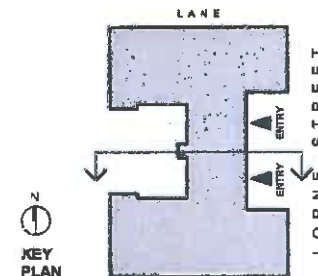
evidence of water ingress at balconies

approx. half the front facade windows are intact and in fair condition. approx. 40% of existing original window sash require replacement: the windows that have been changed out lack heritage character, but provide higher level of occupant comfort.

upper wall buff masonry in good condition with some inappropriate tooling of joints in past repointing

the tyndall stone coorways, window surrounds and .ills is in good condition

minor rust jacking of some window steel shell angle: Entels is evident.



REV.	DESCRIPTION	DATE

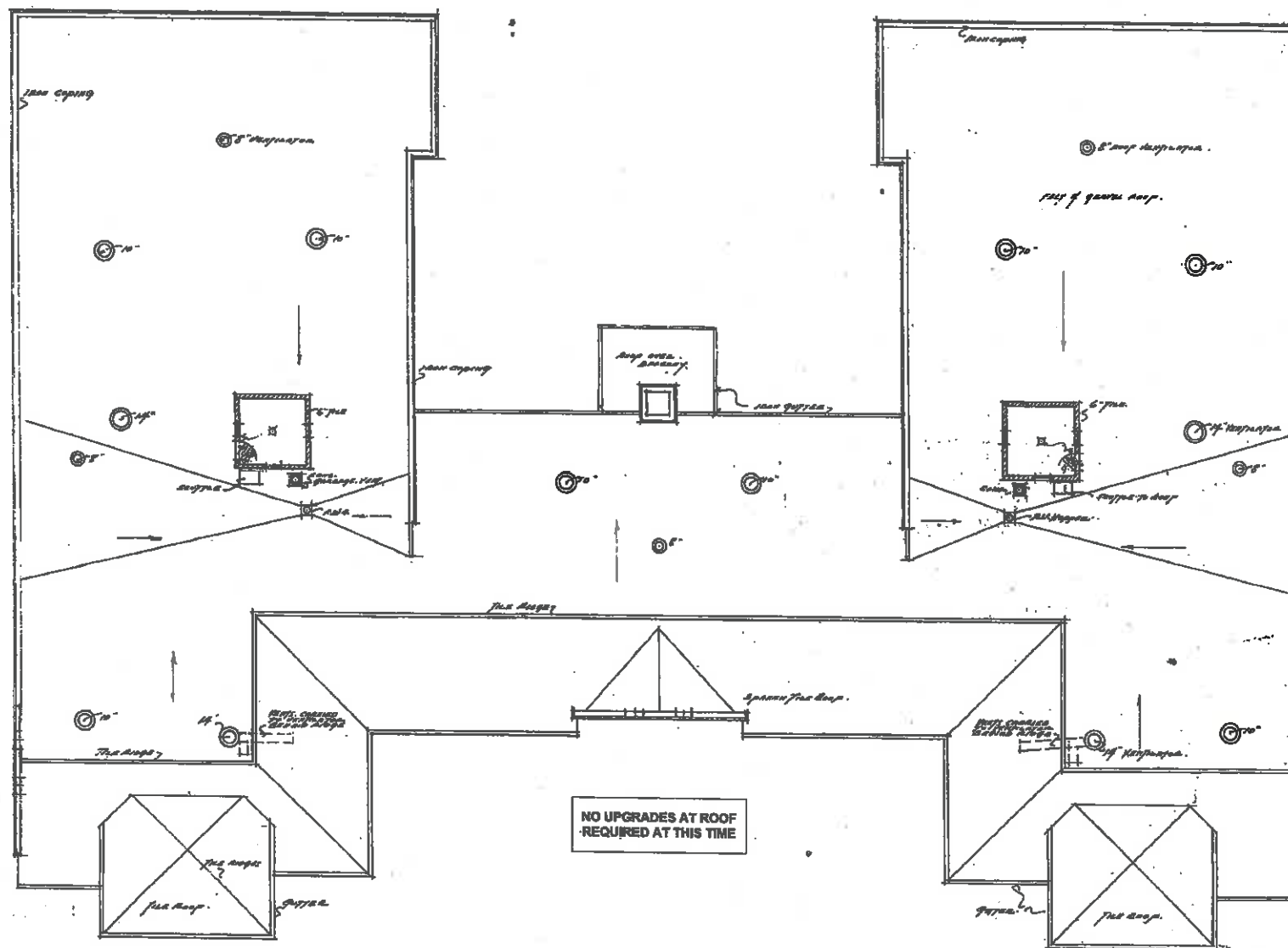
PROJECT:
FRONTENAC
200 LORNE STREET, VICTORIA, BC

EXISTING SOUTH
RETURNS ELEVATIONS

DESIGNED BY: JMW
DATE: 08/08/2015
SCALE: 1/8" = 1'-0"

EX-A2-05

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**NO UPGRADES AT ROOF
REQUIRED AT THIS TIME**

- PRIORITY 1**
Currently Critical
- PRIORITY 2**
Potentially Critical
- PRIORITY 3**
Not Yet Critical
- PRIORITY 4**
Recommended

[illegible]

PROJECT:

FRONTENAC
2022 LORNE STREET, REGINA, SK

PROPOSED
ROOF PLAN

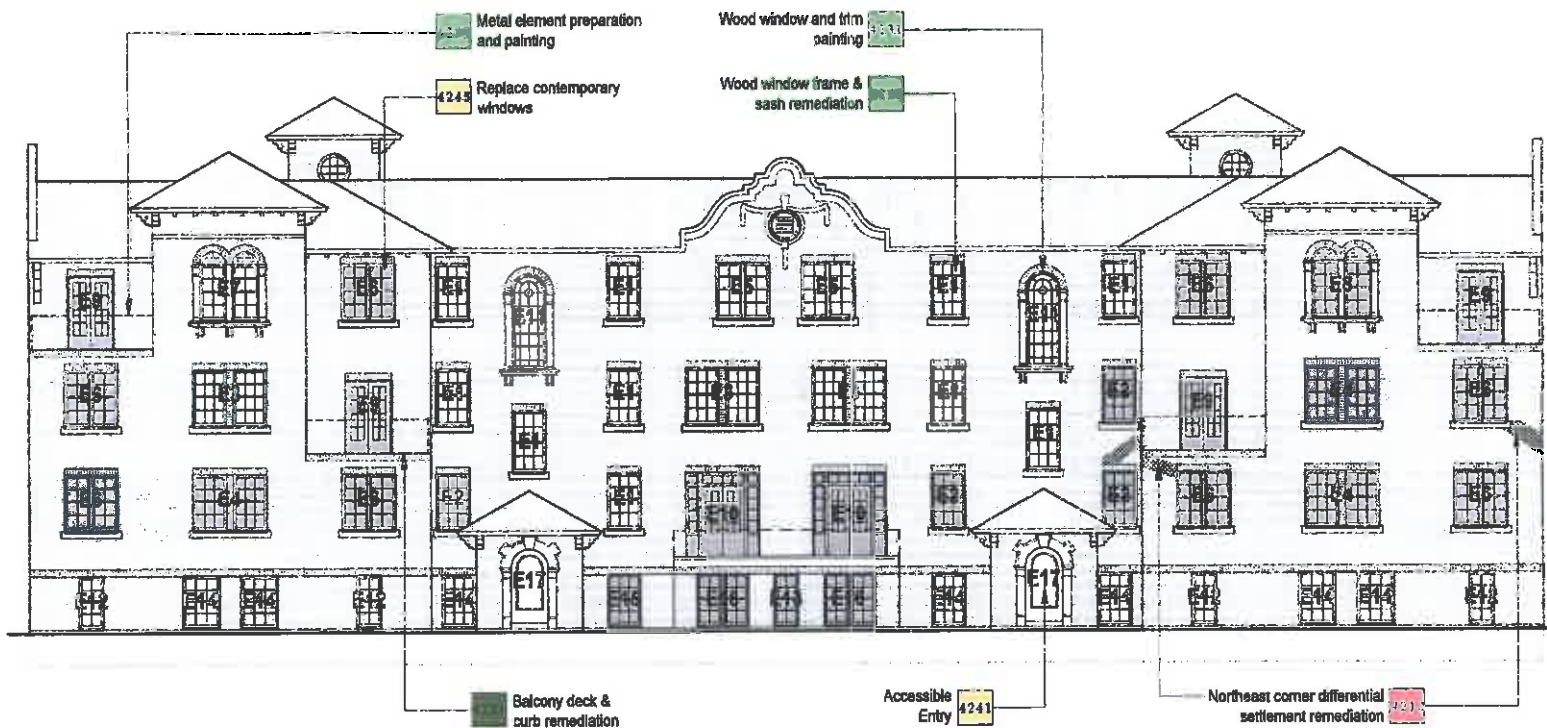
DRAWN BY:	WAL SHAWEN R 8708 EY / JCV
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DATE:	01.28.2019
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SCALE:	5/16" = 1'-0"
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PR-A1-04





McGinn Engineering & Preservation Ltd.
Barry McGinn Architect

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KEY	
	PRIORITY 1 Currently Critical
	PRIORITY 2 Potentially Critical
	PRIORITY 3 Not Yet Critical
	PRIORITY 4 Recommended

REV	DESCRIPTION	DATE

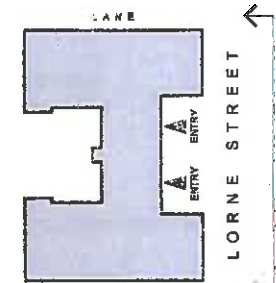
PROJECT: **FRONTENAC**
2001 LORNE STREET, REGINA, SK

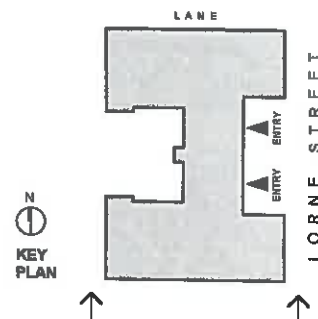
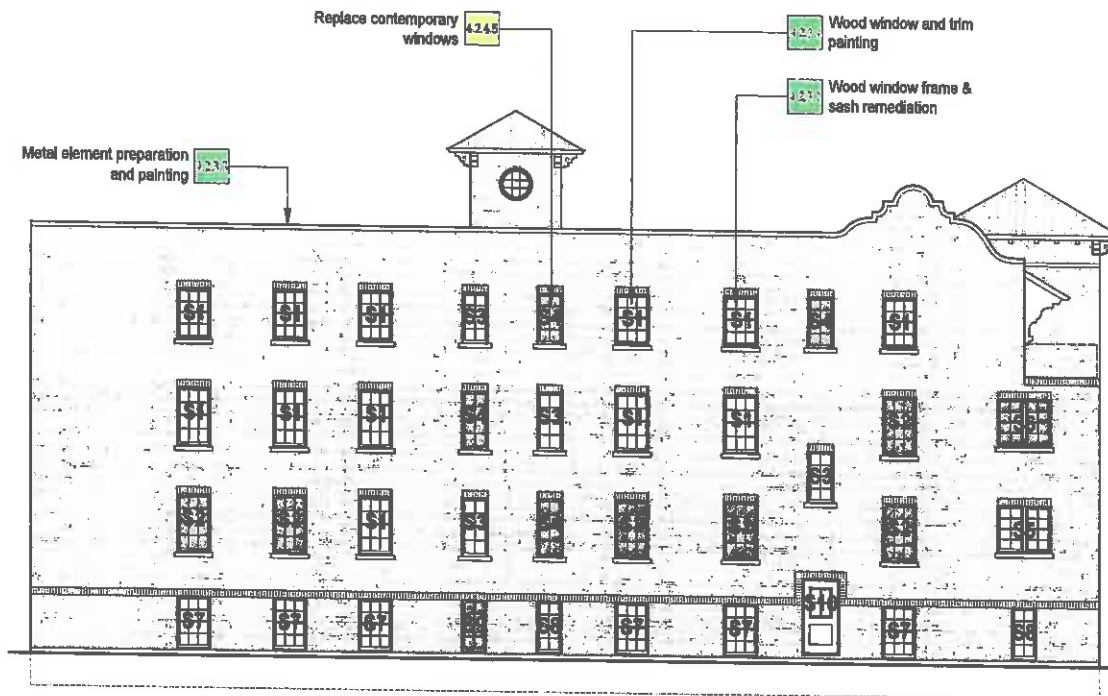
TITLE: **PROPOSED EAST ELEVATION**

DESIGNED BY: **BM**
DRAWN BY: **BM**
SCALE: **3/16" = 1'-0"**

Drawn: **PR-A2-00**

N
KEY PLAN





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Barry McGinn Architect.

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REV.	DESCRIPTION	DATE

PROJECT:

FRONTENAC
2022 LORNE STREET, REBORN, BC

TITLE:
**EXISTING SOUTH
ELEVATION**

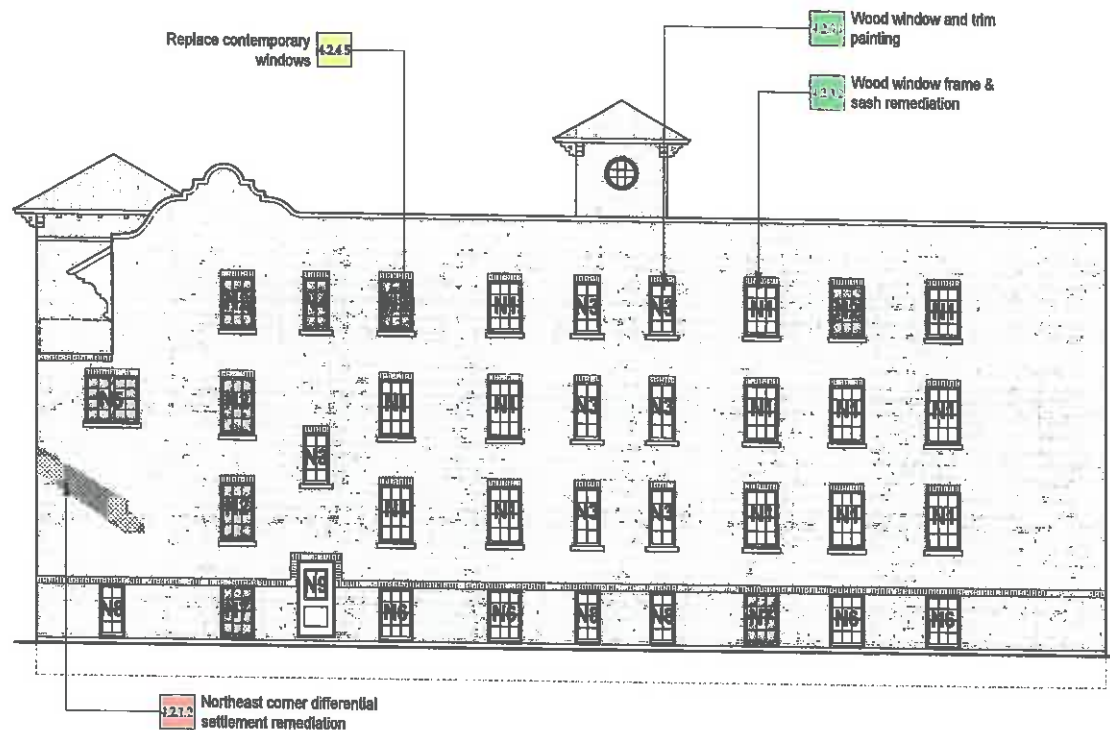
DRAWN BY: RM

DATE: 08/08/2016

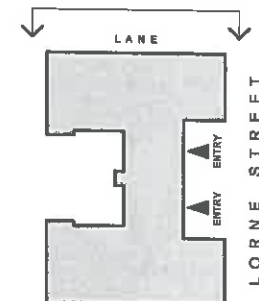
SCALE: 3/8" = 1'-0"

DWG#

PR-A2-01



N
KEY
PLAN



McGinn Engineering &
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Barry McGinn Architect
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REV.	DESCRIPTION	DATE

PROJECT:

FRONTENAC
2022 LORNE STREET, MEDINA, NC

TITLE:
**PROPOSED NORTH
ELEVATION**

DRAWN BY: RM

DATE: 08/08/2018

SCALE: 3/8" = 1'-0"

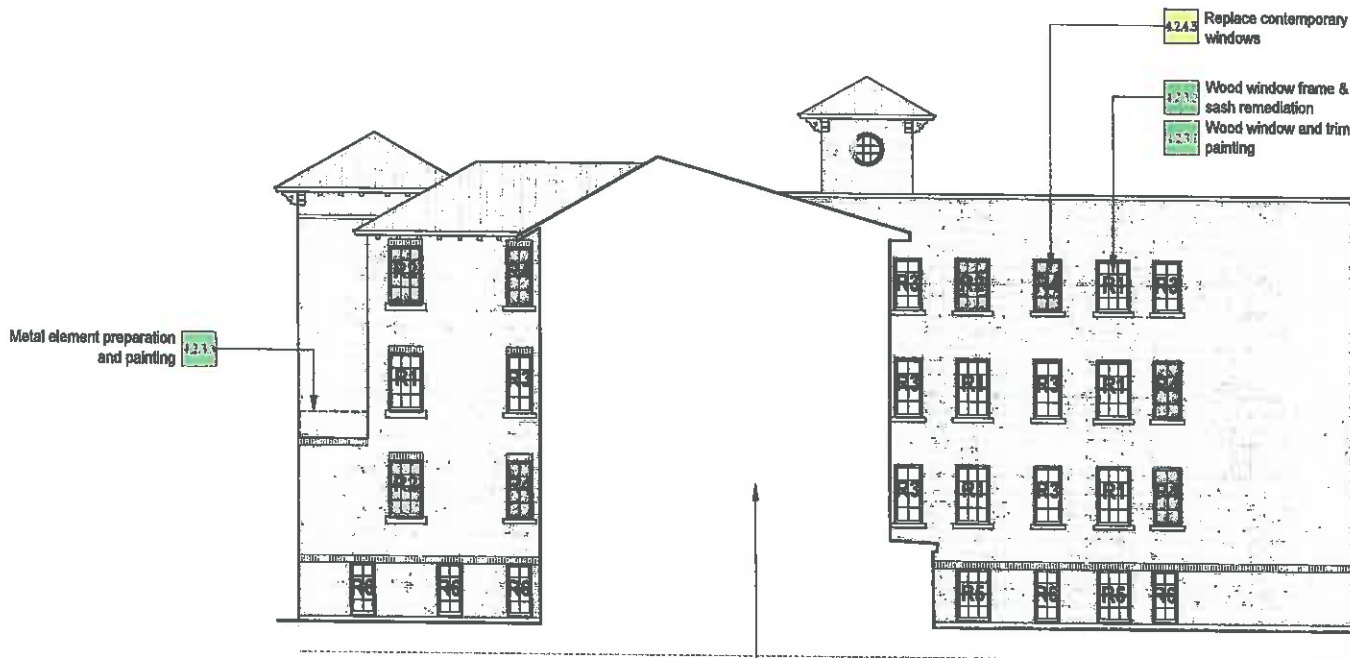
OWNER:

PR-A2-03

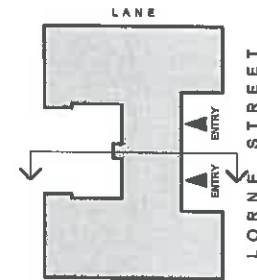
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- 4.2.1.2 Electrical service upgrade
- 4.2.4.2 Elevator installation
- 4.2.4.3 New fire alarm
- 4.2.4.4 Sprinkler system
- 4.2.4.6 Interior feature preservation



REV.	DESCRIPTION	DATE

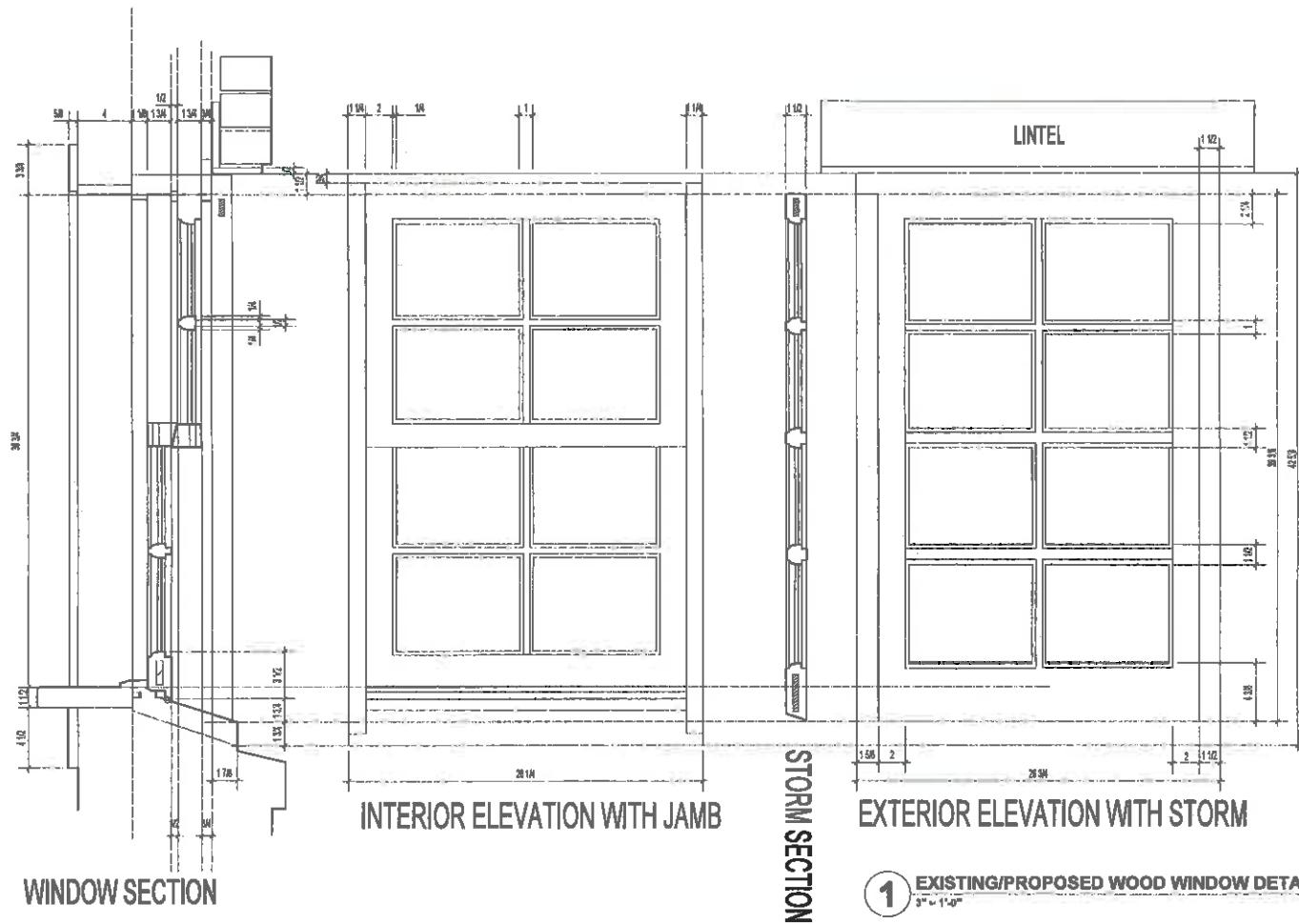
PROJECT:
FRONTENAC
303 LORNE STREET, REGINA, SK

TITLE:
PROPOSED SOUTH RETURNS ELEVATIONS

DESIGNED BY: JRM
DATE: 08/09/2018
SCALE: 3/16" = 1'-0"
OWNER:

PR-A2-05

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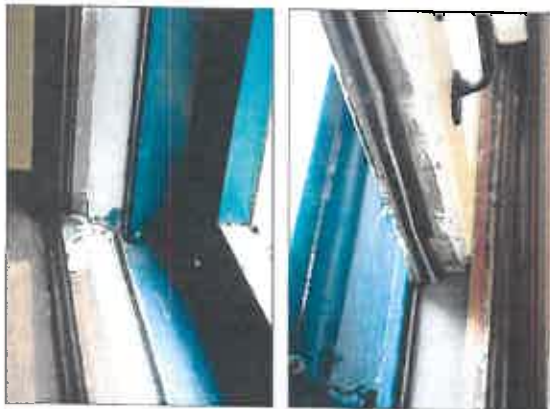
REV.	DESCRIPTION	DATE
PROJECT:		
FRONTENAC 2022 LAUREL STREET, REEDLAND, OK		
TITLE:		
EXISTING/PROPOSED WOOD WINDOW DETAIL		
DRAWN BY:	REV	
DATE:	06/08/2019	
SCALE:	3/4" = 1'-0"	
DWG NO.		
PR-A5-00		

WINDOW & DOOR SCHEDULE - EAST FACADE

#	QTY	ORIGINAL WINDOW / DOOR DESCRIPTION	ORIGINAL OR REPLACED	REHAB.	RESTORE	CONSERVATION ACTIONS
E1	10	DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E2	4	DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON E1
E3	3	TWINNED, DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E4	3	TWINNED, DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON E3
E5	2	TWINNED, DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E6	8	TWINNED, DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON E5
E7	1	TWINNED, DOUBLE-HUNG, 4-OVER-4, w/ ORNAMENTAL ARCHES ABOVE	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E8	1	TWINNED, DOUBLE-HUNG, 4-OVER-4 w/ ORNAMENTAL BRICK ARCHES ABOVE	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON E7
E9	4	DOUBLE FRENCH DOORS w/ 8 LITES	REPLACED		•	CONSTRUCT NEW WOOD FRAME & DOOR IN ROUGH OPENINGS
E10	2	DOUBLE FRENCH DOORS w/ 8 LITES, SIDE-LITES AND CLEARSTOREY LITES	REPLACED		•	CONSTRUCT NEW WOOD FRAME, DOOR, SIDE LITES AND CLEARSTOREY LITES IN ROUGH OPENINGS
E11	2	LARGE, FIXED, ARCHED	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E12	4	DOUBLE-HUNG, 4-OVER-4, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E13	1	DOUBLE-HUNG, 4-OVER-4, BASEMENT	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON E12
E14	7	DOUBLE-HUNG, 6-OVER-6, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - EAST FACADE" BELOW
E15	1	DOUBLE-HUNG, 6-OVER-6, BASEMENT	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON E14
E16	2	TWINNED, DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION SIMILAR TO E5
E17	2	ARCHED MAIN ENTRY DOORS w/ 3/4 LITES	ORIGINAL			PRESERVED IN EXCELLENT CONDITION, NO ACTION REQUIRED AT THIS TIME

TYPICAL REHAB. ACTION - EAST FACADE

- MINOR SANDING AND REFINISHING AT SILLS
- SELECTIVELY REGLAZE SASH w/NEW LINSEED OIL BASED GLAZING COMPOUND. REMOVE DRY, DELAMINATED EXISTING GLAZING COMPOUND WITH FINGER, DO NOT USE METAL TOOLS AS THIS CAN RESULT IN GLASS BREAKAGE
- PREPARE & PAINT FRAMES, SASH & STORM SASH
- ADJUST SPRING BALANCES FOR EACH OF OPERATION
- REPLACE BOTTOM SASH RAIL NEOPRENE BULB WEATHERSTRIPPING w/NEW. REPLACE PLASTIC SPRING VERTICAL WEATHERSTRIPPING AT LOWER SASH w/ BRASS SPRING WEATHERSTRIPPING
- LOWER SASH SHOWING OPEN & DETERIORATED LOWER RAIL JOINTS TO BE REPLACED WITH NEW WOOD, SINGLE GLAZED, MUNTINED SASH HAVING THE IDENTICAL PROFILE, WOOD SPECIES/ QUALITY, OPERATION. EXISTING SPRING BALANCE MECHANISM TO BE RETAINED, REFURBISHED & ADJUSTED FOR EASE OF OPERATION. NEW NEOPRENE BULB WEATHERSTRIPPING TO BE INSTALLED AT LOWER SASH TOP RAILS & BRASS SPRING WEATHERSTRIPPING TO BE INSTALLED AT LOWER STILES. (5 ORIGINAL WINDOWS REQUIRE LOWER SASH REPLACEMENT)



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REV. DESCRIPTION DATE

PROJECT:

FRONTENAC
2022 LORRAINE STREET, KENNEL COTTAGE

TITLE:
**WINDOW / DOOR
SCHEDULE - EAST ELEV**

DESIGNED BY: HW

DATE: 08/08/2018

SCALE: NO SCALE

CHECK:

PR-A6-00

WINDOW & DOOR SCHEDULE - SOUTH FACADE

#	QTY	ORIGINAL WINDOW / DOOR DESCRIPTION	ORIGINAL OR REPLACED	REHAB.	RESTORE	CONSERVATION ACTIONS
S1	12	DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - SOUTH FACADE" BELOW
S2	8	DOUBLE-HUNG, 8-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON S1
S3	4	DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - SOUTH FACADE" BELOW
S4	4	DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON S3
S5	1	TWINNED, DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - SOUTH FACADE" BELOW
S6	1	TWINNED, DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON S5
S7	8	DOUBLE-HUNG, 8-OVER-8, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - SOUTH FACADE" BELOW
S8	2	DOUBLE-HUNG, 4-OVER-4, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - SOUTH FACADE" BELOW
S9	1	DOUBLE-HUNG, 4-OVER-4, BASEMENT	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON S8
S10	1	WOOD PANELED DOOR w/HALF LITE	ORIGINAL	•		

TYPICAL REHAB. ACTION - SOUTH FACADE

- CHECK ORIGINAL SPRING BALANCE FOR OPERATION - REPLACE & BALANCE SPRING IF REQ'D
- REMOVE LOOSE PAINT ON SILL & SAND SMOOTH
- REMOVE LOOSE HARD GLAZING COMPOUND WITH FINGER, DO NOT USE METAL TOOLS TO LOOSEN ADHERED GLAZING COMPOUND
- SCRAPE ALL PAINT SMEARED ON GLASS PRIOR TO SASH PREPARATION AND REPAINTING
- SURFACE HONE SILL TO GOOD SUBSTRATE, PREPARE AND PAINT
- SOME SASH HAVE OPENED UP AT CORNER JOINTS, BUT MOST CAN BE PREPARED AND PAINTED
- OF 25 ORIGINAL WINDOWS ON SOUTH, 10 REQUIRE LOWER SASH REPLACEMENT
- REPLACE BOTTOM SASH RAIL NEOPRENE BULB WEATHERSTRIPPING w/NEW. REPLACE PLASTIC SPRING VERTICAL WEATHERSTRIPPING AT LOWER SASH w/ BRASS SPRING WEATHERSTRIPPING



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REV. DESCRIPTION DATE

PROJECT

FRONTENAC
202 LORNE STREET REGINA, SK

TITLE
WINDOW / DOOR
SCHEDULE - SOUTH

DESIGNED BY: BVP

DRAWN BY: BVP/2014

CHECKED BY: BVP/2014

SCALE: AS SHOWN

DATE: 2014

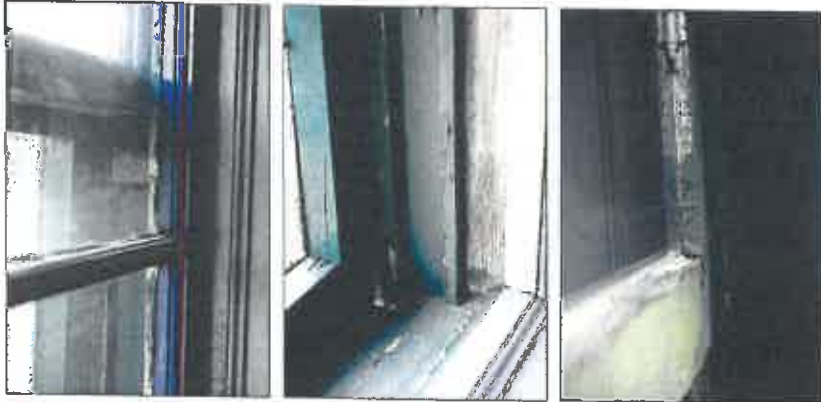
PR-A6-01

WINDOW & DOOR SCHEDULE - WEST FACADE

#	QTY	ORIGINAL WINDOW / DOOR DESCRIPTION	ORIGINAL OR REPLACED	REHAB.	RESTORE	CONSERVATION ACTIONS
W1	18	DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - WEST FACADE" BELOW
W2	10	DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON W1
W3	12	DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - WEST FACADE" BELOW
W4	6	DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON W3
W5	5	WOOD paneled DOOR w/HALF LITE	ORIGINAL	•		
W6	5	WOOD paneled DOOR w/HALF LITE	REPLACED		•	CONSTRUCT NEW WOOD FRAME & DOOR IN ROUGH OPENINGS
W7	6	DOUBLE-HUNG, 6-OVER-6, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - WEST FACADE" BELOW
W8	2	DOUBLE-HUNG, 6-OVER-6, BASEMENT	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON W7
W9	2	DOUBLE-HUNG, 4-OVER-4, BASEMENT	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON W8

TYPICAL REHAB. ACTION - WEST FACADE

- MINOR SANDING AND REFINISHING AT SILLS
- SELECTIVELY REGLAZE SASH w/NEW LINSEED OIL BASED GLAZING COMPOUND. REMOVE DRY, DELAMINATED EXISTING GLAZING COMPOUND WITH FINGER, DO NOT USE METAL TOOLS AS THIS CAN RESULT IN GLASS BREAKAGE
- PREPARE & PAINT FRAMES, SASH & STORM SASH
- ADJUST SPRING BALANCES FOR EACH OF OPERATION
- REPLACE BOTTOM SASH RAIL NEOPRENE BULB WEATHERSTRIPPING w/NEW. REPLACE PLASTIC SPRING VERTICAL WEATHERSTRIPPING AT LOWER SASH w/ BRASS SPRING WEATHERSTRIPPING
- LOWER SASH SHOWING OPEN & DETERIORATED LOWER RAIL JOINTS TO BE REPLACED WITH NEW WOOD, SINGLE GLAZED, MUNTINED SASH HAVING THE IDENTICAL PROFILE, WOOD SPECIES/ QUALITY, OPERATION. EXISTING SPRING BALANCE MECHANISM TO BE RETAINED, REFURBISHED & ADJUSTED FOR EASE OF OPERATION. NEW NEOPRENE BULB WEATHERSTRIPPING TO BE INSTALLED AT LOWER SASH TOP RAILS & BRASS SPRING WEATHERSTRIPPING TO BE INSTALLED AT LOWER STILES. (7 WINDOWS REQUIRE LOWER SASH REPLACEMENT)



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REV. DESCRIPTION DATE

PROJECT:

FRONTENAC
3002 LORNE STREET, ARLBORO, ON

TITLE:
**WINDOW / DOOR
SCHEDULE - WEST**

DRAWN BY: HW

DATE: 09/09/2018

SCALE: NO SCALE

DWG#

PR-A6-02

WINDOW & DOOR SCHEDULE - NORTH FACADE

#	QTY	ORIGINAL WINDOW / DOOR DESCRIPTION	ORIGINAL OR REPLACED	REHAB.	RESTORE	CONSERVATION ACTIONS
N1	13	DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - NORTH FACADE" BELOW
N2	5	DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON N1
N3	7	DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - NORTH FACADE" BELOW
N4	1	DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON N3
N5	1	TWINNED, DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION SIMILAR TO E5
N6	4	DOUBLE-HUNG, 6-OVER-6, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - NORTH FACADE" BELOW
N7	2	DOUBLE-HUNG, 6-OVER-6, BASEMENT	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON N6
N8	3	DOUBLE-HUNG, 4-OVER-4, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - NORTH FACADE" BELOW
N9	1	WOOD PANELED DOOR w/HALF LITE	ORIGINAL	•		

TYPICAL REHAB. ACTION - NORTH FACADE

- REPLACE BOTTOM SASH RAIL NEOPRENE BULB WEATHERSTRIPPING w/NEW. REPLACE PLASTIC SPRING VERTICAL WEATHERSTRIPPING AT LOWER SASH w/ BRASS SPRING WEATHERSTRIPPING
- LOWER SASH SHOWING OPEN & DETERIORATED LOWER RAIL JOINTS TO BE REPLACED WITH NEW WOOD, SINGLE GLAZED, MUNTINED SASH HAVING THE IDENTICAL PROFILE, WOOD SPECIES/ QUALITY, OPERATION. EXISTING SPRING BALANCE MECHANISM TO BE RETAINED, REFURBISHED & ADJUSTED FOR EASE OF OPERATION. NEW NEOPRENE BULB WEATHERSTRIPPING TO BE INSTALLED AT LOWER SASH TOP RAILS & BRASS SPRING WEATHERSTRIPPING TO BE INSTALLED AT LOWER STILES. (4 ORIGINAL WINDOWS REQUIRE LOWER SASH REPLACEMENT)



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REV. DESCRIPTION DATE

PROJECT:

FRONTENAC
2003 LOWRIE STREET, REGINA, SK

TITLE:
**WINDOW / DOOR
SCHEDULE - NORTH**

DESIGNED BY: HW

DRAWN BY: HW

SCALE: NO SCALE

DATE:

PR-A6-03

WINDOW & DOOR SCHEDULE - RETURNS NORTH

#	QTY	ORIGINAL WINDOW / DOOR DESCRIPTION	ORIGINAL OR REPLACED	REHAB.	RESTORE	CONSERVATION ACTIONS
R1	4	DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW
R2	5	DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON R1
R3	7	DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW
R4	5	DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON R3
R5	2	DOUBLE-HUNG, 6-OVER-6, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW
R6	5	DOUBLE-HUNG, 4-OVER-4, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW

WINDOW & DOOR SCHEDULE - RETURNS SOUTH

#	QTY	ORIGINAL WINDOW / DOOR DESCRIPTION	ORIGINAL OR REPLACED	REHAB.	RESTORE	CONSERVATION ACTIONS
R1	6	DOUBLE-HUNG, 6-OVER-6	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW
R2	3	DOUBLE-HUNG, 6-OVER-6	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON R1
R3	7	DOUBLE-HUNG, 4-OVER-4	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW
R4	5	DOUBLE-HUNG, 4-OVER-4	REPLACED		•	CONSTRUCT NEW WOOD FRAME & WINDOW IN ROUGH OPENINGS, CONFIGURATION BASED ON R3
R5	2	DOUBLE-HUNG, 6-OVER-6, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW
R6	5	DOUBLE-HUNG, 4-OVER-4, BASEMENT	ORIGINAL	•		REFER TO "TYPICAL REHAB. ACTION - RETURNS" BELOW

TYPICAL REHAB. ACTION - RETURNS

- MINOR SANDING AND REFINISHING AT SILLS
- SELECTIVELY REGLAZE SASH w/NEW LINSEED OIL BASED GLAZING COMPOUND. REMOVE DRY, DELAMINATED EXISTING GLAZING COMPOUND WITH FINGER, DO NOT USE METAL TOOLS AS THIS CAN RESULT IN GLASS BREAKAGE
- PREPARE & PAINT FRAMES, SASH & STORM SASH
- ADJUST SPRING BALANCES FOR EACH OF OPERATION
- REPLACE BOTTOM SASH RAIL NEOPRENE BULB WEATHERSTRIPPING w/NEW. REPLACE PLASTIC SPRING VERTICAL WEATHERSTRIPPING AT LOWER SASH w/ BRASS SPRING WEATHERSTRIPPING
- LOWER SASH SHOWING OPEN & DETERIORATED LOWER RAIL JOINTS TO BE REPLACED WITH NEW WOOD, SINGLE GLAZED, MUNTINED SASH HAVING THE IDENTICAL PROFILE, WOOD SPECIES/ QUALITY, OPERATION. EXISTING SPRING BALANCE MECHANISM TO BE RETAINED, REFURBISHED & ADJUSTED FOR EASE OF OPERATION. NEW NEOPRENE BULB WEATHERSTRIPPING TO BE INSTALLED AT LOWER SASH TOP RAILS & BRASS SPRING WEATHERSTRIPPING TO BE INSTALLED AT LOWER STILES. (4 WINDOWS REQUIRE LOWER SASH REPLACEMENT)



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REV. DESCRIPTION DATE

PROJECT:

FRONTENAC
2022 LORNE STREET, REGINA, SK

TITLE:
**WINDOW / DOOR
SCHEDULE - RETURNS**

DRAWN BY: BWP

DATE: 06/06/2016

SCALE: 1/8" = 1'-0"

OWNER:

PR-A6-04

Section 04 52 40 - MASONRY RESTORATION

1.0 GENERAL

This specification outlines the condition, scope of work, general conditions, materials and execution requirements for the masonry rehabilitation.

1.1 Scope of Work: The following general scope of work for masonry applies:

Northeast Corner Structural Stabilization

1. Stabilization of the differential settlement will involve sequential underpinning of the existing concrete foundation - this will arrest any further diagonal step shear cracking.,
2. The existing diagonal shear cracks will be routed out with a rotational router bit tool or oscillating blade tool, and the joints repointed with a lime mortar matching the original mortar joint in mortar constituency, colour, texture and joint profile.
3. Any broken or cracked brick will be replaced in a matching salvaged brick, or a new matching brick cut down to the original size.

1.2 Related Documents: The Architect's rehabilitation drawings the structural engineer's stabilization drawings and details, investigation and recommendations, submittals, consultant field directives, Change Orders, and consultant restoration process field review shall form part of this specification.

1.3 Restoration Concept: Repointing mortar and stone spall repair mortar shall match the original in constituency, texture and colour.

1.4 Masonry Restoration Subcontractor Qualifications: Only reputable and experienced masonry restoration contractors specializing in masonry restoration of historic buildings shall do the work.

1.5 Submittals:

1.5.1 Edison Coatings or Jahn Mortar masonry mortar patch repair materials and mock-up spall repair at beltcourse and capitals,

1.5.2 Repointing mock-ups, as per section 3.2.,

1.6 Related Work Elsewhere Specified

Section 04 53 10
Section 07 62 10

Masonry Paint Removal
Ornamental Sheet Metal

1.7 Scheduling

As indicated in the bid documents by Nicor Development Group.

2.0 MATERIALS

2.1 Acceptable Stone Patching Materials

2.1.1 Isolated stone spall repair- Edison Coatings Custom System 45 latex modified cementious mortar patching compound as a substrate for Edison Coatings Custom System 55 latex modified cementious finish mortar patching compound or Jahn Masonry Patch Mortar Systems.

2.1.2 Repointing Mortar -

- 1) aggregate: Superfine Sand - fine sand washed, dried, and sterilized, grey or beige to match existing mortar colour (Target Products Ltd. or approved equal)
- 2) lime: hydrated lime type 'S' - Chemstar (Chemical Lime Company, Scottsdale, Ar)
- 3) Portland cement: white portland cement, low sulphate content (Federal White Cement Ltd.)
- 4) Grey Portland Cement, low sulphate content (Federal White Cement Ltd.)

The lime based mortar mix is to be 8:2:1 (sand/lime/portland cement) or as directed by Consultant.

2.2 Unacceptable Stone Restoration Materials

2.2.1 A 'portland cement mortar' for repointing is not acceptable; a lime mortar as specified is the only acceptable mortar material.

2.2.2 Any stone patching compounds, other than those specified or approved by the restoration consultant, are not acceptable.

3.0 EXECUTION

3.1 Stone Trim Spall Repair

The manufacturer's recommended application procedures are to be strictly followed in the installation of patching mortars. Surfaces to receive Edison Custom System 45 restoration mortar are to be sound and free of all dust, dirt, grease, laitance or other foreign matter which may prevent proper adhesion. Patch areas should be carefully scaled for any loose or delaminated clay body, cleaned if it has been exposed and is dirty, and blown clean with compressed air before patching. The patch area should be cut with manual or pneumatic cutting techniques to an additional 1/2" (13 mm) to a minimum depth of 3/4" (20 mm) and have edges that are cut square at ninety degrees. Mix and apply the Edison Coatings Custom System 45 restoration mortar as per manufacturer's recommendations. The patch should be finished with the Edison Coatings Custom 55 patching mortar and sanded for an invisible patch. Finish patch to same tooling as existing stone.

Edison Coatings restoration mortar application should only be made during an ambient temperature range of 40 deg. F to 90 deg. F with low to average humidity. The surface to be patched shall not be frosted or excessively hot; the applied mortar shall be protected from extreme heat, freezing,

excessive wind and direct sunlight or rain.

3.2 Repointing

Deteriorated mortar joints are to be raked with a thin zip-disk rotary grinder and cleaned out manually by chisel to a depth of 2-1/2 times the mortar joint width. Any unsound or spalled brick or hollow clay tile shall be patched at the mortar joint edge as noted above. The new mortar is to extend the full width of the joint without feathered edges. New mortar is to be hand pressed with a pointing tool to completely fill the raked cavity and finished with flush joint to match existing mortar joints. A course back mortar utilizing the course sand is to be used to fill the rear joint cavity, and the fine pointing mortar is to be used for surface pointing.

Brick Mortar ratio: 8:2:1 (sand/lime/portland cement) - adjustments for mortar hardness may be made following repointing mock-up, in conformance with ASTM C-270. Strike the joint concave using a 1-1/4" non-metallic tool.

END OF SECTION 04 52 40

Section 08611 - WOOD WINDOW RESTORATION

1.00 GENERAL

1.1 Scope of Work:

1.1.1 Existing Wood Window Rehabilitation

Original wood windows (double hung, casement and fixed operation) are showing isolated deterioration at window sills, jamb bottoms and sash, and will be rehabilitated as follows:

- i) retention of existing original frames and sills. Some isolated areas of some of the sills and lower jambs show minor surface deterioration and will require some surface patch repair and filling with an epoxy consolidant and filler, specified in Specification section 09900. The frames/sills/brick molding/exterior mullion trim are to be prepared and painted as per specification 09900. In some cases, sills may need to be surface honed approximately 1/4" to solid substrate, and in extreme jamb deterioration, new jamb bottoms scarf-patches of the identical jamb profile scarfed into place.
- ii) Any existing deteriorated wood sash are to be replaced with new sash of the same profile, reglazed with original salvaged antique glass, and using the same stop size and configuration,
- iii) recondition the spring balance mechanisms and adjust for balanced operation, and replace any missing cam closers, pulls, casement knife and plate closers and casement stays,
- iv) installation of a regletted weatherstripping retrofit on operable sash,
- v) ensure easy operation and tight fit
- vi) preparation and painting of existing frame and brick moulding, as well as the new wood sash.

1.2 Related Documents: The restoration drawings, restoration sub-contractor pre-qualifying application, shop drawings, submittals, job site mock-ups, and consultant restoration process field review shall form part of this specification.

1.3 Assumptions: The existing window frames are in generally good condition; removal of interior window casing may expose concealed window frame

deterioration, which may either require consolidation or replacement. Sills do not appear to be cavitated, but if necessary, a sill will be pulled to confirm this condition.

1.4 Restoration Concept:

Wood Window Rehabilitation

The overall concept is to retain the original wood window frames, with reconditioning/repair as needed, while preserving existing single glazed muntined sash in good condition and replacing deteriorated single glazed wood sash where they are deteriorated/failed-at-the-joints, recondition weight and pulley system for new/existing sash and undertake a weatherstripping upgrade to the operable original wood sash windows throughout the building..

- 1.5 Contractor Qualifications:** Only reputable and experienced window contractors with experience in historic woodwork shall do the work. The wood window restoration subcontractor shall pre-qualify by submitting a restoration pre-qualification application as part of the tender submission.

1.6 Submittals:

1.6.1 shop drawings indicating sash profile, elevation, weatherstripping details and construction detailing for replacement sash/members are required.

1.6.2 wood window manufacturer's submission of qualifications and experience to undertake this specialized area of work.

- 1.7 Job Mock-up:** After the above submittals have been reviewed by the restoration consultant, a complete sash replacement and window reconditioning should be mocked-up on site for consultant review, prior to proceeding with remainder.

1.8 Related Work Elsewhere Specified:

Section 09900

Painting

2.0 MATERIALS

2.1 Wood Window Frames/Sash

All wood sash, frame replacement and storefront window system is to be constructed of No.1 select fir

2.2 Weatherstripping

Neoprene gaskets set in rebated slots on the double glazed sash rails and brass spring weatherstripping installed at the sash stiles/jamb are required.

3.00 EXECUTION

3.1 Spring Balance Reconditioning

Recondition or change-out the spring balance mechanism. Ensure ease of operation and stop upper sash in place.

3.2 Hardware

Existing pulls and cam locks are to be removed from existing sash and re-installed on new sash. Any missing hardware is to match originals. Provide new brass square rod style casement stays, where missing.

3.3 Operation

3.3.1 Window contractor to ensure full and easily operable windows suitable for painting.

3.4 Finishing

All existing frames and sash are to be prepared for painting by removal of all loose and aligatored existing paint and surface sanding to eliminate previous paint ledges. The prepared wood frames and sash are to be primed with an oil based alkyd paint, and given three coats of oil-based alkyd overcoat. All finishing work is to be done under the Master Painters Association program.

3.5 Installation

Provide finish carpentry to Quality Standards of the Architectural Woodwork Manufacturer's Association of Canada(AWMAC), except where specified elsewhere.

END OF SECTION 08611

Section 09900 - EXTERIOR PAINTING

1.1 General

- A. **Scope of Work:** This section includes surface preparation and application of paint materials to exposed existing and new exterior wood window frames/trim and sash, wood exterior painted doors, wood soffit and soffit brackets, sheet metal parapet copings and conductor head/leader/gutters, , balcony railings, existing exposed steel window lintels, and any other exposed metal work scheduled for painting.
 - 1. **Surface preparation, prime and finish coats** are in addition to shop-priming and surface treatments.
- B. **Paint exposed surfaces of new or repaired elements** whether or not colours are designated in 'schedules', except where a surface or material is indicated not to be painted or is indicated to remain natural. Where an item or surface is not mentioned, paint the same as similar adjacent materials or surfaces. If colour or finish is not designated, the architect or owner will select standard colours or finishes available.
- C. **Painting is not required on pre-finished items, finished metal surfaces, concealed surfaces, operating parts, or labels.**
 - 1. **Labels:** Don not paint over Underwriter's Laboratories, Factory Mutual, or other code-required labels, or equipment name, identification, performance rating, or nomenclature plates.
- D. **'Paint' includes coating systems materials, primers, emulsions, enamels, stains, sealers and fillers, and any other materials** whether used as prime, intermediate or finish coats.

1.2 Submittals:

- A. **Prior to beginning work, architect will furnish colour samples for surfaces to be painted.** In addition to manufacturer's data, application instructions, and label analysis for each coating material, submit sample for preservation engineer's review of colour and texture only. Resubmit samples if requested until required sheen, colour, and texture is achieved.
- B. **On concrete, cement plaster and lime-based stucco surfaces, provide two 4"X 8" samples of masonry finish for each type of finish and colour, defining filler, primer, and finish**

coats.

- C. On actual wall surfaces and other building components, duplicate painted finishes of acceptable samples, as directed by architect.

1.3 Execution:

- A. Deliver materials to the job site in manufacturer's original, unopened packages and containers bearing manufacturer's name and label with trade name and manufacturer's instructions.
- B. Store materials not in use in tightly covered containers in a well ventilated area at a minimum ambient temperature of 45 deg F. Protect from freezing.
- C. Project Conditions: Do not apply paint in snow, rain, fog or mist, when the relative humidity exceeds 85 percent, at temperatures less than 5 deg F above the dew point, or to damp or wet surfaces.
- D. Examine substrates and conditions under which painting will be performed for compliance with requirements. Do not begin application until unsatisfactory conditions have been corrected.
- E. Preparation of Existing Surfaces to be Painted:
 - 1. Preparation: Remove hardware and hardware accessories, plates, machined surfaces, lighting fixtures, and items in place that are not to be painted, or provide protection prior to surface preparation and painting. Remove items if necessary for complete painting of the items or adjacent surfaces. Following completion of painting, reinstall items removed using workmen skilled in the trades involved.
 - 2. Surface Preparation: Clean and prepare surfaces to be painted in accordance with manufacturer's instructions for each particular substrate condition.
 - 3. Exterior
 - a) All repaired or new exterior surfaces to be thoroughly cleaned with the use of low pressure power washers; allow adequate time for surfaces to thoroughly dry before painting. All loose, cracked, or alligatored paint on

existing wood or metal surfaces is to be removed by hand scraping and followed with a low pressure water wash. Avoid excessive wetting and soaking. Care is to be taken to prevent intrusion of water into interior spaces including wall and soffit cavities. All new wood is to be tested for no more than 12% water content prior to painting.

- b) Surfaces previously painted and damaged through construction to be repainted as per requirements of new work. All bare wood to be back primed and re-primed. Prime coat may be eliminated where existing paint remains and has been inspected by the architect.
- c) Deteriorated wood sills to be surface honed if the deterioration has not penetrated deeper than 1/4". Deeper rot pockets are to be excavated to good wood substrate and patch repaired with a low viscosity epoxy consolidant, followed by an epoxy putty, with the sill molded back to its original profile. Rotten and punky wood to be removed prior to consolidant treatment. Deteriorated jamb bottoms can be repaired in the same manner, or by scarf-jointing new Dutchman patches at the base, where they are typically deteriorated.

Acceptable Materials:

Epoxy Consolidant:	Industrial Formulators - Rotfix
Epoxy Putty:	Industrial Formulators - Sculpwood

F. Surface Treatment

- 1. Cementitious Surfaces: Prepare concrete, concrete masonry, cement plaster, lime-based plaster, and similar surfaces to be painted by removing efflorescence, chalk, dust, dirt, grease, oils, and release agents. Roughen as required to remove glaze.
 - a) Determine alkalinity and moisture content of surfaces to be painted. Do not paint surfaces where moisture content exceeds that permitted in manufacturer's printed directions.
- 2. Wood: Seal new wood that is required to be job-painted. Seal and fill existing painted wood to remove irregularities and to create bond for new paint. In

general remove paint build-up in corners and drip edges.

3. **Ferrous Metals:** Clean non-galvanized ferrous metal surfaces that have not been shop coated; remove oil, grease, dirt, loose mill scale and other foreign substances. Use solvent or mechanical cleaning methods that complies with the recommendations of the Steel Structures Painting Council.
 - a) Touch-up shop applied prime coats that have been damaged, and bare areas. Wire-brush, clean with solvents and touch-up with the same primer as the shop coat.
 4. **Galvanized Surfaces:** Clean galvanized surfaces with non-petroleum based solvents so that the surface is free of oil and surface contaminants. Remove pretreatment from the galvanized sheet metal fabricated from coil stock, by mechanical methods.
- G. **Materials Preparation:** Mix and prepare paint in accordance with manufacturer's directions.
1. Stir material before application to produce a mixture of uniform density; stir as required during application. Do not stir surface film into material. Remove film, and if necessary, strain before using.
 2. Use only thinners approved by manufacturer, and only within recommended limits.
- H. **Application:** Apply paint in accordance with manufacturer's directions. Use applicators and techniques best suited for substrate and type of material being applied. Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions detrimental to formation of a durable paint film.
1. Paint colours, surface treatments and finishes indicated in 'schedules' and other directives issued by preservation engineer or owner.
 2. Provide finish coats compatible with primers used.
 3. The number of coats and film thicknesses required is the same regardless of application method. Do not apply succeeding coats until previous coat has cured. Sand between applications, where required, to produce a smooth, even surface.
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- 4. Apply additional coats when undercoats or other conditions show through final coat, until paint film is of uniform finish, colour and appearance.
 - 5. Omit primer on metal surfaces.
 - I. Scheduling Painting: Apply first coat to surfaces that have been cleaned, pretreated, or otherwise prepared for painting as soon as practicable, and before subsequent surface deterioration. Allow sufficient time between successive coats to permit proper drying. Do not recoat until paint has dried.
 - J. Minimum Coating Thickness: Apply materials at the manufacturer's recommended spreading rate. Provide total dry film thickness of the system as recommended by the manufacturer.
 - K. Block Fillers: Apply block fillers to ensure complete coverage with pores filled.
 - L. Prime Coats: Before application of finish coats, apply a prime coat as recommended by the manufacturer to material required to be painted or finished, and has not been prime coated by others.
 - 1. Re-coat primed and sealed substrates where there is evidence of suction spots or unsealed areas in the first coat to ensure a finish coat with not burn-through or other defects due to insufficient sealing.
 - M. Completed Work: Match approved samples for colour, texture and coverage. Remove, refinish or repaint work not in compliance with specified requirements.
 - N. Clean-Up: At the end of each work day, remove empty cans, rags, rubbish and other discarded paint materials from the site.
 - O. Upon completion of painting, clean glass and paint-splattered surfaces. Remove splattered paint by washing, scraping, or other proper methods, using care not to scratch or damage adjacent finish surfaces.

1.4 Paint Schedule: Provide the following paint systems for the various substrates indicated:

A. EXTERIOR PAINT SCHEDULE

1. **Painted Wood Trim,**
 1st coat - Exterior oil primer
 2nd coat - Alkyd exterior - semi-gloss
 3rd coat - Alkyd exterior - semi-gloss

2. **Ferrous Metal:**
 1st coat - Red lead pigmented primer (not required on items delivered
 shop primer)
 2nd coat - Alkyd enamel - semi-gloss
 3rd coat - Alkyd enamel - semi-gloss

3. **Zinc Coated Galvanized Metal - new & existing cornices, parapet caps,**
 1st coat - Galvanized iron primer
 2nd coat - Exterior alkyd - semi-gloss
 3rd coat - Exterior alkyd - semi-gloss

4. **Rendered concrete/cementitious stucco**
 1st coat - concrete conditioner
 2nd coat - exterior latex flat
 3rd coat - exterior latex flat

END OF SECTION 09 90 00

The Frontenac
Priority 1 Upgrade
Opinion of Probable
Construction Cost

CODE DESCRIPTION	TOTAL	\$/SF	%
			37,736
1000 GENERAL CONDITIONS	\$62,085	\$1.85	2.67%
2000 SITEWORK TOTAL	\$104,807	\$2.77	4.51%
3000 CONCRETE TOTAL	\$80,915	\$1.81	2.82%
4000 MASONRY TOTAL	\$27,000	\$0.72	1.16%
5000 STEEL TOTAL	\$7,000	\$0.19	0.30%
6000 CARPENTRY TOTAL	\$36,495	\$0.97	1.57%
7000 WEATHERPROOFING TOTAL	\$0	\$0.00	0.00%
8000 DOORS & WINDOWS TOTAL	\$449,460	\$11.91	19.38%
9000 FINISHES TOTAL	\$84,709	\$2.24	3.65%
10000 SPECIALTIES TOTAL	\$0	\$0.00	0.00%
11000 EQUIPMENT TOTAL	\$0	\$0.00	0.00%
12000 FURNISHINGS TOTAL	\$0	\$0.00	0.00%
13000 SPECIAL CONSTRUCTION TOTAL	\$0	\$0.00	0.00%
14000 CONVEYING SYSTEMS TOTAL	\$0	\$0.00	0.00%
15000 MECHANICAL TOTAL	\$181,620	\$4.81	7.82%
16000 ELECTRICAL TOTAL	\$78,837	\$2.09	3.40%
Subtotal	\$1,092,728	\$28.98	47.06%
OVERHEAD & PROFIT (8%)	\$87,418	\$25.94	42.16%
CONSTRUCTION TOTAL	\$1,180,146	\$54.90	89.23%
Project Management	\$11,801	\$3.50	5.89%
DESIGN FEES (10% of construction costs)	\$118,015	\$3.13	5.08%
SUBTOTAL	\$1,309,963		
GST @ 5%	\$65,498	\$19.44	31.59%
TOTAL REHABILITATION COST	\$1,375,461	\$61.53	100.00%

THE FRONTENAC - PRIORITY 1 UPGRADE OPINION OF PROBABLE CONSTRUCTION COST



Frontenac Priority 1 Upgrades

Electrical Service Upgrade, 600 Amp New Service, on-site transformer, New Switch Gear, New Distribution Breaker Boxes

Basement Sanitary/Storm Line Replacement - Replace all cast iron sanitary and storm drainage lines in basement slab

Northeast Sallent Foundation Underpinning/Masonry Rehab - Sectional needle pile installation under new reinforced grade beams under 96' of NE sallent basement foundation wall.

Construction Data

Basement Floor Area = 9674 s.f.

Ground Floor Area = 9554 s.f.

2nd Floor Area = 9354 s.f.

3rd Floor Area = 9154 s.f.

Structure: Brick exterior bearing walls, reinforced concrete bsmt. foundation wall and ground floor construction, steel joist floor framing supporting sheathing/finished floor and wood frame attic.

Cladding: wire cut face brick on principal elev, common brick elsew.

Windows: Original muntined sash wood windows, some new wood

Roof Cover: Original spanish tile

Interiors: Plaster & lath, wood trim

Plumbing: cast iron drain lines, galv. Supply, cast iron det. at bsmt.

Heating: hot water w/ w/ original cast iron radiators

Fire Protection: none

chimneys (1): Brick, E

electrical: New Service/switchgear required

2018-08-11

The Frontenac
Priority 1 Upgrade
Opinion of Probable
Construction Cost

CODE	DESCRIPTION	Unit rate	Unit	Quantity	Factor	TOTAL	\$/SF 37,736 SF	%
1000	GENERAL CONDITIONS							
1010	FIELD SUPERVISION (Basmt Drain Line Replacement)	\$65	hr.	40		\$2,600	\$0.07	0.11%
1020	GENERAL LABOUR (Basmt Drain Line Replacement)	\$40	hr.	40		\$1,600	\$0.04	0.07%
1010	FIELD SUPERVISION (Electrical Service Upgrade)	\$65	hr.	45		\$2,925	\$0.08	0.13%
1020	GENERAL LABOUR (Electrical Service Upgrade)	\$40	hr.	24		\$960	\$0.03	0.04%
1010	FIELD SUPERVISION (NE Salient Wall Underpinning)	\$65	hr.	44		\$2,860	\$0.08	0.12%
1020	GENERAL LABOUR (NE Salient Wall Underpinning)	\$40	hr.	44		\$1,760	\$0.05	0.08%
1030	EMPLOYEE TRAVEL	\$0				\$0	\$0.00	0.00%
1040	INSURANCE	\$5,500	lot	1		\$5,500	\$0.15	0.24%
1070	BONDS	\$6,500	lot	0		\$0	\$0.00	0.00%
1080	CONCRETE TESTS	\$600	allow	1		\$600	\$0.02	0.03%
1090	OTHER TESTS	\$0				\$0	\$0.00	0.00%
1100	SITE OFFICE EQUIPMENT	\$0				\$0	\$0.00	0.00%
1110	SURVEYS	\$0				\$0	\$0.00	0.00%
1120	SAFETY EQUIPMENT	\$0		0		\$0	\$0.00	0.00%
1130	SMALL TOOLS	\$0		1		\$0	\$0.00	0.00%
1140	PHONES & FAXES	\$600	allow	1		\$600	\$0.02	0.03%
1150	DRAWINGS	\$0		1		\$0	\$0.00	0.00%
1155	ENGINEERING(temporary support)	\$0				\$0	\$0.00	0.00%
1160	PRINTING & COPIES	\$3,000	allow	1		\$3,000	\$0.08	0.13%
1170	PHOTOGRAPHS	\$0	total	1		\$0	\$0.00	0.00%
1180	TEMPORARY OFFICES	\$0				\$0	\$0.00	0.00%
1190	TEMPORARY TOILETS	\$0	lot	0		\$0	\$0.00	0.00%
1200	TEMPORARY WATER	\$0	lot	0		\$0	\$0.00	0.00%
1210	TEMPORARY POWER SETUP	\$0				\$0	\$0.00	0.00%
1220	TEMPORARY POWER ONGOING	\$0	lot	0		\$0	\$0.00	0.00%
1230	TEMPORARY HEAT	\$0	lot	0		\$0	\$0.00	0.00%
1240	TEMPORARY ROADS	\$0				\$0	\$0.00	0.00%
1250	WATER PUMPING (Temporary& phased diversion of drain flow for pipe replacement project)	\$0				\$0	\$0.00	0.00%
1260	SCAFFOLD ACCESS - NE CORNER (- 1 mo period)	\$2,400	allow	1		\$2,400	\$0.06	0.10%
1260	SCAFFOLD ACCESS - REAR/ SIDE - 1 mo period	\$17,000	lot	1		\$17,000	\$0.45	0.73%
1270	FINISH PROTECTION(tarpping during design ph)	\$0	lot	1		\$0	\$0.00	0.00%
1280	SNOW REMOVAL	\$0				\$0	\$0.00	0.00%
1290	RENTALS (shoring/bracing)	\$0				\$0	\$0.00	0.00%
1300	RUBBISH REMOVAL BINS (DURING CONSTRUCTION)	\$2,000	lot	1		\$2,000	\$0.05	0.09%
1310	FINAL CLEANUP	\$800	bin	1		\$800	\$0.02	0.03%
1320	DELIVERIES	\$1,000	lot	1		\$1,000	\$0.03	0.04%
1340	SECURITY (gate/fence)	\$0				\$0	\$0.00	0.00%
1350	PERMITS & FEES (ESTIMATED)	\$0		0		\$0	\$0.00	0.00%
1360	HOARDING	\$5,700		1		\$5,700	\$0.15	0.25%
1370	CRANE & OPERATOR	\$0		0		\$0	\$0.00	0.00%
1380	HOIST & OPERATOR	\$0				\$0	\$0.00	0.00%
1400	SHORING/TEMPORARY SUPPORT	\$0				\$0	\$0.00	0.00%
		\$110	in.ft.	98		\$10,780	\$0.29	0.46%
1000	GENERAL CONDITIONS TOTAL					\$62,085	\$1.65	2.67%

The Frontenac
Priority 1 Upgrade
Opinion of Probable
Construction Cost

CODE	DESCRIPTION	Unit rate	Unit	Quantity	Factor	TOTAL	\$/SF 37,736	%
2000	SITWORK							
2050	CLEARING	0	hr.	0		\$0	\$0.00	0.00%
2100	DEMOLITIONS (basement 4" cast iron sanitary/storm line)	13	ln.ft.	508	1.4	\$9,246	\$0.25	0.40%
2100	DEMOLITIONS (basement 6" cast iron sanitary/storm line)	21	ln.ft.	210	1.4	\$6,174	\$0.16	0.27%
2100	DEMOLITIONS (bsmt. Partitions, plumbing fixtures for pipe replacement)	3	sq.ft.	9674	1.4	\$40,631	\$1.08	1.75%
2100	DEMOLITIONS (Existing elec service/switchgear, distribution switchgear)	65	hr.	22	1	\$1,430	\$0.04	0.06%
2100	DEMOLITIONS (86' perimeter wall slab edge removal & wall finish removal)	50	hr.	55	1	\$2,750	\$0.07	0.12%
2120	TEMPORARY FLOOR BRACING	0	hr.	0	1	\$0	\$0.00	0.00%
2150	SLAB/CONCRETE REMOVAL	0	sq.ft.	0	1.4	\$0	\$0.00	0.00%
2200	BULK EXCAVATION & TRUCKING	0	hr.	0		\$0	\$0.00	0.00%
2210	NATIVE BACKFILL	0	hr.	0		\$0	\$0.00	0.00%
2220	GRADING	0	hr.	0		\$0	\$0.00	0.00%
2230	GRANULAR DRAIN PIPE BASE	1.5	ln.ft.	718	1.4	\$1,077	\$0.03	0.05%
2230	GRANULAR FOOTING/SLAB BASE	2	sq.ft.	900	1.4	\$1,800	\$0.05	0.08%
2260	FOOTING EXCAVATION(hand excavation/tight conditions)	150	hr.	80		\$12,000	\$0.32	0.52%
2270	SERVICE EXCAVATION (bldg sewer to street connection)	100	hr.	34		\$3,400	\$0.09	0.15%
2270	SERVICE EXCAVATION (New elec service & ground rod installation)	100	hr.	19		\$1,900	\$0.05	0.08%
2280	SITE GRADING (at service excavation lines)	100	hr.	8		\$800	\$0.02	0.03%
2290	PILES (boring for mini-piles in basement @ 4'-0" o.c. - 15' depth @\$65/ln.ft.)	975	pile	24		\$23,400	\$0.62	1.01%
2300	SHOTCRETE AND UNDERPINNING					\$0	\$0.00	0.00%
2400	DRAIN TILE	\$0		0		\$0	\$0.00	0.00%
2500	SITE DRAINAGE & CATCH BASINS					\$0	\$0.00	0.00%
2530	ON SITE SERVICES(PUMPED SEPTIC FIELD)	\$0		0		\$0	\$0.00	0.00%
2550	OFF SITE SERVICES (min. 1" water supply)	\$0		0		\$0	\$0.00	0.00%
2560	SITE FILLS					\$0	\$0.00	0.00%
2570	CIVIL WORK					\$0	\$0.00	0.00%
2575	CUTTING & CORING	\$0		0		\$0	\$0.00	0.00%
2600	DRIVEWAYS	\$0	hr.	0		\$0	\$0.00	0.00%
2610	SITE PAVERS	\$0		0		\$0	\$0.00	0.00%
2620	SIDEWALKS & PATIOS (including bollard)	\$0	lot	0		\$0	\$0.00	0.00%
2650	RETAINING WALLS					\$0	\$0.00	0.00%
2700	FENCES & GATES	\$0	lot	0		\$0	\$0.00	0.00%
2760	WOOD RAMPS					\$0	\$0.00	0.00%
2770	PLAYGROUND EQUIPMENT					\$0	\$0.00	0.00%
2800	LANDSCAPING	\$0		0		\$0	\$0.00	0.00%
2000	SITWORK TOTAL					\$104,607	\$2.77	4.51%
3000	CONCRETE							
3100	REINFORCED CONCRETE COLUMN FOOTINGS (3'x3'x12")	\$0.00	footing	0	1.44	\$0	\$0.00	0.00%
3110	REINFORCED CONCRETE FOUND WALL	\$0.00	sq.ft.	0	1.44	\$0	\$0.00	0.00%
3115	REINFORCED CONCRETE STRIP FOOTING	\$0.00	ln.ft.	0	1.44	\$0	\$0.00	0.00%
3116	REINFORCED BASEMENT SLAB (re-instatment for pipe replacement)	\$9.00	sq.ft.	688	1.44	\$8,916	\$0.24	0.38%
3116	REINFORCED BASEMENT SLAB (re-instatment for wall underpinning replacement)	\$9.00	sq.ft.	590	1.44	\$7,646	\$0.20	0.33%
3116	SECTIONAL FOUNDATION WALL UNDERPINNING GRADEBEAM(6' Sections of New Underpinning Gradebeam - 16"X30")	\$160.00	ln.ft.	98	1.44	\$22,579	\$0.60	0.97%
3116	REINFORCED CONCRETE MINI-PILES (8" TO 10" DIA, 15 depth,)	\$42.00	ln.ft.	360	1.44	\$21,773	\$0.58	0.94%
3117	CRAWLSPACE 2" WATERPROOFING CONCRETE CAP	\$1.00	sq.ft.	0	1.44	\$0	\$0.00	0.00%
3150	EXPANSION JOINTS					\$0	\$0.00	0.00%
3200	REINFORCING STEEL(Wall dowels to ex. Foundation wall)	\$0.00	dowel	0		\$0	\$0.00	0.00%
3200	REINFORCING STEEL(angle dowels to exterior wall)	\$0.00	dowel	0		\$0	\$0.00	0.00%
3200	REINFORCING STEEL(strongback dowels to parapet roof slab)	\$0.00	dowel	0		\$0	\$0.00	0.00%

The Frontenac
 Priority 1 Upgrade
 Opinion of Probable
 Construction Cost

3600	ACCESSORIES					\$0	\$0.00	0.00%
3700	HARDNERS & CURING					\$0	\$0.00	0.00%
3000	CONCRETE TOTAL					\$60,915	\$1.81	2.62%

The Frontenac
Priority 1 Upgrade
Opinion of Probable
Construction Cost

CODE	DESCRIPTION	Unit rate	Unit	Quantity	Factor	TOTAL	\$/SF 37,736 SF	%
4000	MASONRY							
*	4100 SELECTIVE BRICK REPOINTING/REPAIR (NE corner crack repointing, brick repair)	\$45.00	sq.ft.	600	1	\$27,000	\$0.72	1.16%
*	4100 PATCH REPAIR OF EX. REAR FAÇADE RENDERING	\$8.00	sq.ft.	1920	0	\$0	\$0.00	0.00%
	4200 GLASS BLOCKS	\$0.00				\$0	\$0.00	0.00%
	4300 ACCESSORIES	\$0.00				\$0	\$0.00	0.00%
	4440 STONework	\$0.00	sq.ft.	0	1.44	\$0	\$0.00	0.00%
4000	MASONRY TOTAL					\$27,000	\$0.72	1.16%
CODE	DESCRIPTION	Unit rate	Unit	Quantity	Factor	TOTAL	\$/SF 37,736 SF	%
5000	STEEL & ORNAMENTAL METALS							
	5400 FIRE ESCAPE REHABILITATION	\$60,000.00	lot	0	1	\$0	\$0.00	0.00%
*	5800 UNDERPINNED FOUNDATIONS STEEL CONNECTIONS	\$7,000.00	lot	1	1	\$7,000	\$0.19	0.30%
*	5600 NEW LOWER SHEET METAL CORNICE	\$600.00	ln.ft.	0	1	\$0	\$0.00	0.00%
	5700 ENTRY GATES	\$0.00	ea.	0	1	\$0	\$0.00	0.00%
	5800 FLAGPOLE REPLACEMENT	\$0.00	ea.	0	1	\$0	\$0.00	0.00%
	5900 PARAPET SHEET METAL CAP & FACE	\$80.00	ln.ft.	0	1	\$0	\$0.00	0.00%
5000	STEEL TOTAL					\$7,000	\$0.19	0.30%
CODE	DESCRIPTION	Unit rate	Unit	Quantity	Factor	TOTAL	\$/SF 37,736 SF	%
6000	CARPENTRY							
	6100 WOOD TRIM	\$0	lot	0	1	\$0	\$0.00	0.00%
	6100 PATCH/REPAIR TO WALLS AT PIPE EXCAVATION AREAS	\$3	sq.ft.	9674	1	\$29,022	\$0.77	1.25%
	6100 NEW STUD PERIMETER WALL TO UNDERPINNED AREA	\$7	sq.ft.	768	1.39	\$7,473	\$0.20	0.32%
	6200 ROOF-TOP VENTILATION CUPOLAS REHABILITATION	\$0	sq.ft.	0	1	\$0	\$0.00	0.00%
*	6300 INTERIOR STAIR CODE-COMPLIANT PIPERAIL EXTENSION	\$23,000	lot	0	1	\$0	\$0.00	0.00%
	6300 EX. BALUSTRADE (W/ CODE UPGRADES RETENTION)	\$0	sq.ft.	0	1	\$0	\$0.00	0.00%
*	6300 INTERIOR STAIR/ ENTRY RETENTION & UPGRADE	\$0	sq.ft.	0	1	\$0	\$0.00	0.00%
6000	CARPENTRY TOTAL					\$36,495	\$0.97	1.57%

The Frontenac
Priority 1 Upgrade
Opinion of Probable
Construction Cost

CODE DESCRIPTION		Unit rate	Units	Quantity	Factor	TOTAL	\$/SF	%
							37,736 SF	
7000	WEATHERPROOFING							
7100	DAMPROOFING							
7200	BUILDING INSULATION	\$0	sq.ft.	0	1.44	\$0	\$0.00	0.00%
7330	2 ply SBS ROOF SURFACE ON CORNICE	\$0	sq.ft.	0	1.44	\$0	\$0.00	0.00%
7500	FLASHING & SHEET METAL (parapet flashing)	\$0	lot	0	1	\$0	\$0.00	0.00%
7650	GUTTERS, DOWNPIPES	\$0	ln.ft.	0	1.44	\$0	\$0.00	0.00%
7700	ALUM SIDING	\$0	ln.ft.	0	1.44	\$0	\$0.00	0.00%
7750	WOOD SOFFITS	\$0	0	1		\$0	\$0.00	0.00%
7900	CHAULKING	\$0	lot	0	1	\$0	\$0.00	0.00%
7000	WEATHERPROOFING TOTAL	\$0	lot	0	1	\$0	\$0.00	0.00%
						\$0	\$0.00	0.00%
8000	DOORS & WINDOWS							
*	8100 SOUTH FAÇADE - NEW DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,							
*	8100 SOUTH FAÇADE - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$3,200	ea.	6	1	\$19,200	\$0.51	0.83%
*	8100 SOUTH FAÇADE - NEW TWIN DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$2,800	ea.	4	1	\$11,200	\$0.30	0.48%
*	8100 SOUTH FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$4,400	ea.	1	1	\$4,400	\$0.12	0.19%
*	8100 SOUTH FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6, LOWER SASH REPLACEMENT	\$2,600	ea.	1	1	\$2,600	\$0.07	0.11%
*	8100 SOUTH FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$1,800	ea.	10	1	\$18,000	\$0.48	0.78%
*	8100 SOUTH FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 4-OVER-4,	\$500	ea.	12	1	\$6,000	\$0.16	0.26%
*	8100 SOUTH FAÇADE - REHABILITATED TWIN DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$440	ea.	4	1	\$1,760	\$0.05	0.08%
*	8100 SOUTH FAÇADE - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$800	ea.	1	1	\$800	\$0.02	0.03%
*	8100 SOUTH FAÇADE - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$450	ea.	2	1	\$900	\$0.02	0.04%
*	8100 SOUTH FAÇADE - REHABILITATED 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$500	ea.	6	1	\$3,000	\$0.08	0.13%
*	8100 WEST FAÇADE - NEW DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$350	ea.	1	1	\$350	\$0.01	0.02%
*	8100 WESTFAÇADE - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$3,200	ea.	10	1	\$32,000	\$0.85	1.38%
*	8100 WEST FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$2,800	ea.	6	1	\$16,800	\$0.45	0.72%
*	8100 WEST FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$2,600	ea.	2	1	\$5,200	\$0.14	0.22%
*	8100 WEST FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6, LOWER SASH REPLACEMENT	\$2,800	ea.	2	1	\$5,600	\$0.15	0.24%
*	8100 WEST FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$1,800	ea.	7	1	\$12,600	\$0.33	0.54%
*	8100 WEST FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 4-OVER-4,	\$500	ea.	18	1	\$9,000	\$0.24	0.39%
*	8100 WEST FAÇADE - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$450	ea.	12	1	\$5,400	\$0.14	0.23%
*	8100 WEST FAÇADE - NEW 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$400	ea.	6	1	\$2,400	\$0.06	0.10%
*	8100 WEST FAÇADE - REHABILITATED 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$1,900	ea.	3	1	\$5,700	\$0.15	0.25%
*	8100 NORTH FAÇADE - NEW DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$250	ea.	7	1	\$1,750	\$0.05	0.08%
*	8100 NORTH FAÇADE - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$3,200	ea.	5	1	\$16,000	\$0.42	0.69%
*	8100 NORTH FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$2,800	ea.	1	1	\$2,800	\$0.07	0.12%
*	8100 NORTH FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$2,400	ea.	0	1	\$0	\$0.00	0.00%
*	8100 NORTH FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6, LOWER SASH REPLACEMENT	\$2,600	ea.	1	1	\$2,600	\$0.07	0.11%
*	8100 NORTH FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$1,800	ea.	4	1	\$7,200	\$0.19	0.31%
*	8100 NORTH FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 4-OVER-4,	\$500	ea.	13	1	\$6,500	\$0.17	0.28%
*	8100 NORTH FAÇADE - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$400	ea.	7	1	\$2,800	\$0.07	0.12%
*	8100 NORTH FAÇADE - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$400	ea.	4	1	\$1,600	\$0.04	0.07%
*	8100 NORTH FAÇADE - NEW 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$350	ea.	3	1	\$1,050	\$0.03	0.05%
*	8100 NORTH FAÇADE - REHABILITATED 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$1,900	ea.	0	1	\$0	\$0.00	0.00%
*	8100 RETURN ELEVATION - NORTH - NEW DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$450	ea.	1	1	\$450	\$0.01	0.02%
*	8100 RETURN ELEVATIONS - NORTH - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$3,200	ea.	8	1	\$25,600	\$0.68	1.10%
*	8100 RETURN ELEVATIONS - NORTH - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$2,800	ea.	10	1	\$28,000	\$0.74	1.21%
*	8100 RETURN ELEVATIONS - NORTH - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$2,400	ea.	0	1	\$0	\$0.00	0.00%
*	8100 RETURN ELEVATION NORTH - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6, LOWER SASH REPLACEMENT	\$2,600	ea.	1	1	\$2,600	\$0.07	0.11%
*	8100 RETURN ELEVATIONS - NORTH - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$1,800	ea.	4	1	\$7,200	\$0.19	0.31%
*	8100 RETURN ELEVATIONS - NORTH - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 4-OVER-4,	\$500	ea.	10	1	\$5,000	\$0.13	0.22%
		\$400	ea.	14	1	\$5,600	\$0.15	0.24%

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* 8100	RETURN ELEVATIONS - NORTH - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$450	ea.	4	1	\$1,800	\$0.05	0.08%
* 8100	RETURN ELEVATIONS - NORTH - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$350	ea.	10	1	\$3,500	\$0.09	0.15%
* 8100	RETURN ELEVATIONS - NORTH - NEW 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 8 LIGHT	\$1,900	ea.	0	1	\$0	\$0.00	0.00%
* 8100	RETURN ELEVATIONS - NORTH - REHABILITATED 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 8 LIGHT	\$450	ea.	0	1	\$0	\$0.00	0.00%
* 8100	RETURN ELEVATION - SOUTH - NEW DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$3,200	ea.	3	1	\$9,600	\$0.25	0.41%
* 8100	RETURN ELEVATIONS - SOUTH - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$2,800	ea.	5	1	\$14,000	\$0.37	0.60%
* 8100	RETURN ELEVATIONS - SOUTH - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$2,400	ea.	0	1	\$0	\$0.00	0.00%
* 8100	RETURN ELEVATIONS - SOUTH - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$2,800	ea.	0	1	\$0	\$0.00	0.00%
* 8100	RETURN ELEVATION SOUTH- REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6, LOWER SASH REPLACEMENT	\$1,800	ea.	4	1	\$7,200	\$0.19	0.31%
* 8100	RETURN ELEVATIONS - SOUTH - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$500	ea.	6	1	\$3,000	\$0.08	0.13%
* 8100	RETURN ELEVATIONS - SOUTH - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 4-OVER-4,	\$450	ea.	7	1	\$3,150	\$0.08	0.14%
* 8100	RETURN ELEVATIONS - SOUTH - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$450	ea.	2	1	\$900	\$0.02	0.04%
* 8100	RETURN ELEVATIONS - SOUTH - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$350	ea.	5	1	\$1,750	\$0.05	0.08%
* 8100	RETURN ELEVATIONS - SOUTH - NEW 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$1,900	ea.	0	1	\$0	\$0.00	0.00%
* 8100	RETURN ELEVATIONS - SOUTH - REHABILITATED 1/2 LIGHT DOOR - BASEMENT, WD MUNTINED, SG, 6 LIGHT	\$350	ea.	0	1	\$0	\$0.00	0.00%
* 8100	EAST FAÇADE - NEW DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$3,200	ea.	4	1	\$12,800	\$0.34	0.55%
* 8100	EAST FAÇADE - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$2,800	ea.	1	1	\$2,800	\$0.07	0.12%
* 8100	EAST FAÇADE - NEW DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4 W/ DOUBLE ARCHES ABOVE,	\$2,800	ea.	1	1	\$2,800	\$0.07	0.12%
* 8100	EAST FAÇADE - NEW TWIN DOUBLE-HUNG WD MUNTINED, SG, 4-OVER-4,	\$4,300	ea.	8	1	\$34,400	\$0.91	1.48%
* 8100	EAST FAÇADE - NEW TWIN DOUBLE-HUNG WD MUNTINED, SG, 6-OVER-6,	\$4,500	ea.	5	1	\$22,500	\$0.60	0.97%
* 8100	EAST FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$2,400	ea.	1	1	\$2,400	\$0.06	0.10%
* 8100	EAST FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$2,600	ea.	1	1	\$2,600	\$0.07	0.11%
* 8100	EAST FAÇADE - NEW DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 6-OVER-6,	\$1,800	ea.	6	1	\$10,800	\$0.29	0.47%
* 8100	EAST FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6, LOWER SASH REPLACEMENT	\$500	ea.	10	1	\$5,000	\$0.13	0.22%
* 8100	EAST FAÇADE - REHABILITATED DOUBGLE-HUNG, WD MUNTINED, SG, 6-OVER-6,	\$400	ea.	2	1	\$800	\$0.02	0.03%
* 8100	EAST FAÇADE - REHABILITATED TWINNED DOUBGLE-HUNG, WD MUNTINED, SG, 4-OVER-4,	\$600	ea.	3	1	\$1,800	\$0.05	0.08%
* 8100	EAST FAÇADE - REHABILITATED TWIN DOUBLE-HUNG WD MUNTINED, SG, 6-OVER-6,	\$400	ea.	4	1	\$1,600	\$0.04	0.07%
* 8100	EAST FAÇADE - REHABILITATED DOUBLE-HUNG - BASEMENT, WD MUNTINED, SG, 4-OVER-4,	\$300	ea.	2	1	\$600	\$0.02	0.03%
* 8100	EAST FAÇADE - REHABILITATED LARGE FIXED ARCHED LEADED LIGHT WOOD WINDOWS	\$200	ea.	4	1	\$800	\$0.02	0.03%
* 8100	EAST FAÇADE - REHABILITATED SMALL FIXED ARCHED LEADED LIGHT WOOD WINDOWS IN ENTRY PAVILIONS	\$300	ea.	2	1	\$600	\$0.02	0.03%
* 8100	EAST FAÇADE - REHABILITATED 3/4 ARCHED LIGHT MAIN ENTRY DOOR - WD, SG,	\$5,000	ea.	2	1	\$10,000	\$0.26	0.43%
* 8100	EAST FAÇADE - NEW BALCONY FRENCH DOORS, WD MUNTINED, W/ MUNTINED TRANSOM,	\$4,200	ea.	3	1	\$12,600	\$0.33	0.54%
* 8300	RESIDENTIAL TILED ENTRY ALCOVE RESTORATION	\$3,600.00	lot	0	1	\$0	\$0.00	0.00%
* 8300	COMMERCIAL TILED ENTRY ALCOVE RESTORATION	\$4,400.00	ea.	0	1	\$0	\$0.00	0.00%
* 8300	WD STOREFRONT RESTORATION W/ CLEARSTORY & LEADED LIGHT CLEARSTORY RESTORATION	\$1,700.00	ln.ft.	0	1	\$0	\$0.00	0.00%
* 8700	DOOR/KITCHEN HARDWARE	\$0	lot	0	1	\$0	\$0.00	0.00%
* 8800	SKYLIGHT/ VENTILATORS REPLACEMENT & RE-INSTATEMENT W/ CONTEMPORARY NEW GLAZING	\$70,000	ea.	0	1	\$0	\$0.00	0.00%
8000	DOORS & WINDOWS TOTAL					\$449,460	\$11.91	19.36%
9000	FINISHES							
9670	CERAMIC TILE WALLS(bathrooms/kitchen splashback)	\$0.00	sq.ft.	0	1	\$0	\$0.00	0.00%
9670	NEW SHEET VINYL FLOORING THROUGHOUT BASEMENT	\$5.70	sq.ft.	3200	1.39	\$25,354	\$0.67	1.09%
9870	NEW GWB (restate GWB finishes at wall underpinning area)	\$6.00	sq.ft.	768	1.39	\$6,405	\$0.17	0.28%
9800	EXTERIOR PAINTING	\$46,000.00	lot	1	1	\$46,000	\$1.22	1.98%
9900	INTERIOR FINISHING (new bsmt wall and at wall repair at pipe replacement areas)	\$2.00	sq.ft.	2500	1.39	\$6,950	\$0.18	0.30%
9950	SEALING	\$0.00	lot	0	1	\$0	\$0.00	0.00%
9000	FINISHES TOTAL					\$84,709	\$2.24	3.65%

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CODE	DESCRIPTION	Unit rate	Units	Quantity	Factor	TOTAL	\$/SF 37,736 SF	%
10000	SPECIALTY ITEMS							
10250	FIREPLACE FACES							
10500	BATH ACCESSORIES	\$0.00	lot	0	1	\$0	\$0.00	0.00%
10550	MIRRORS	\$0.00	lot	0	1	\$0	\$0.00	0.00%
10700	STAINED AND SANDBLAST GLASS	\$0.00	lot	0	1	\$0	\$0.00	0.00%
10850	SHELVING	\$0.00	sq.ft.	0	1	\$0	\$0.00	0.00%
10920	NUMBERS & SIGNS	\$0.00	lot	0	1	\$0	\$0.00	0.00%
10950	SHOWER DOORS	\$0.00	lot	0	1	\$0	\$0.00	0.00%
10000		\$0.00	lot	0	1	\$0	\$0.00	0.00%
10000						\$0	\$0.00	0.00%
11000	EQUIPMENT							
11200	APPLIANCES							
11250	HOOD FANS	\$0.00	lot	0	1	\$0	\$0.00	0.00%
11600	CABINETS & VANITIES	\$0.00	lot	0	1	\$0	\$0.00	0.00%
11700	BUILT INS	\$0	lot	0	1	\$0	\$0.00	0.00%
11800	LAMINATE COUNTERS	\$0	lot	0	1	\$0	\$0.00	0.00%
11000		\$0	ln.ft.	0	1	\$0	\$0.00	0.00%
11000	EQUIPMENT TOTAL					\$0	\$0.00	0.00%
12000	FURNISHINGS							
12300	FURNITURE							
12500	WINDOW COVERINGS					\$0	\$0.00	0.00%
12000						\$0	\$0.00	0.00%
12000	FURNISHING TOTAL					\$0	\$0.00	0.00%
13000	SPECIAL CONSTRUCTION							
* 13200	NEON SIGN - SUPPLY & INSTALL							
13500	OUT BUILDINGS	\$60,000.00	ea	0	1	\$0	\$0.00	0.00%
13800	PONDS					\$0	\$0.00	0.00%
13000						\$0	\$0.00	0.00%
13000	SPECIAL CONSTRUCTION TOTAL					\$0	\$0.00	0.00%

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CODE	DESCRIPTION	Unit rate	Units	Quantity	Factor	TOTAL	\$/SF 37,736 SF	%
14000	CONVEYING SYSTEMS							
14100	ELEVATOR					\$0	\$0.00	0.00%
14000	CONVEYING SYSTEMS TOTAL					\$0	\$0.00	0.00%
15000	MECHANICAL							
15200	PLUMBING WORK(New 4" dia cast iron bsmt sanitary/storm line)	\$72.50	In.ft.	508	1.31	\$48,247	\$1.28	2.08%
15220	PLUMBING WORK(New 6" dia cast iron bsmt sanitary/storm line)	\$58.90	In.ft.	210	1.31	\$15,653	\$0.41	0.67%
15220	PLUMBING FIXTURES	\$1,170.00	fixture	36	1	\$42,120	\$1.12	1.81%
15220	NEW SEWER/STORM CONNECTION TO STREET MAIN	\$2,100.00	fixture	36	1	\$75,600	\$2.00	3.26%
15300	SPRINKLERS	\$0.00	sq.ft.	0	1.44	\$0	\$0.00	0.00%
15400	HVAC REPAIRS					\$0	\$0.00	0.00%
15450	VENTILATION	\$0	lot	1	1	\$0	\$0.00	0.00%
1550	HOT WATER HEATING	\$0.00	sq.ft.	0	1.44	\$0	\$0.00	0.00%
15800	GAS LINES					\$0	\$0.00	0.00%
15900	SPECIAL SYSTEM	\$0.00	lot	0	1	\$0	\$0.00	0.00%
15000	MECHANICAL TOTAL					\$181,620	\$4.81	7.82%
16000	ELECTRICAL							
16100	ELECTRICAL WORK (New SaskPower Service Connection)	\$22,000.00	Allow	1	1	\$22,000	\$0.58	0.95%
16100	ELECTRICAL WORK (3 PH, 120/208 V, 600 Amp Service Equipment)	\$12,600.00	ea	1	1.39	\$17,514	\$0.46	0.75%
16100	ELECTRICAL WORK (Grounding rod, cable, foundation connector system)	\$690.00	ea	1	1.39	\$959	\$0.03	0.04%
16100	ELECTRICAL WORK (Service Switchgear)	\$7,600.00	ea.	1	1.39	\$10,564	\$0.28	0.45%
16100	ELECTRICAL WORK (Distribution Switchgear)	\$3,980.00	ea.	1	1.39	\$5,532	\$0.15	0.24%
16100	ELECTRICAL WORK (Transformer, Dry Type, 50 kva)	\$5,700.00	ea.	1	1.39	\$7,923	\$0.21	0.34%
16100	ELECTRICAL WORK (Circuit Breakers, 240 -480 V, 125-225 Amp)	\$1,290.00	ea.	8	1.39	\$14,345	\$0.38	0.62%
16200	LIGHTING FIXTURE ALLOWANCE	\$0.00	lot	0	1	\$0	\$0.00	0.00%
16200	CUSTOM LIGHT FIXTURES - REMAINING BALANCE	\$0.00	lot	0	1	\$0	\$0.00	0.00%
* 16300	FAÇADE ILLUMINATION	\$20,000.00	lot.	0	1	\$0	\$0.00	0.00%
16400	FIRE ALARM SYSTEM	\$0.00	lot.	0	1	\$0	\$0.00	0.00%
16600	SECURITY ALARM SYSTEM	\$0.00	lot.	0	1	\$0	\$0.00	0.00%
16800	TELEPHONE	\$0.00	lot.	0	1	\$0	\$0.00	0.00%
16000	ELECTRICAL TOTAL					\$78,837	\$2.09	3.40%

Summary of the Sewer Line Replacement and Plumbing Work at the Frontenac

Reason the plumbing work is essential to the preservation of the physical and structural integrity of the Frontenac Apartments:

All the serious leakage from the original plumbing system was causing serious damage to the structure of the building and heaving of the basement slab. Replacement of the basement plumbing system has allow the stabilization of the moisture content in the soil and in combination with the underpinning of the foundation will serve to preserve the structural component.

In addition, having a working an updated plumbing system is essential to the building's continued use as a multi-unit residential property.

Summary of the work that was completed in relation to the above noted issues:

Sewer-line Replacement Project:

- 1) Relocation of basement suite tenants
- 2) Significant demolition of locker room area, work shop and 7 suites in the basement
- 3) Removal of a significant amount of concrete floor slab
- 4) Combination of shovel and hydrovac excavation work
- 5) Installation of new plumbing under the building as per mechanical engineer's drawings (England and Associates)
- 6) Replacement of both the domestic fresh water line from the city connection to the water meter inside the building, as well as replacement of the sewer line to the street connection.
- 7) Back fill all areas of excavation with sand / slurry.
- 8) Re-pour concrete floor in demolished areas
- 9) Reconstruct locker room area, work shop and 7 suites in the basement.

Electrical System Project:

- 1) Work with SaskPower to change the transformer to 208 3 phase power to be compatible
- 2) Replace distribution racks, disconnects and meter for all suites
- 3) Re-pull all line feeds from the distribution racks to the breaker panel in each suite
- 4) Replace remaining of fuse style breaker panel to current code compliant panels

Roof System:

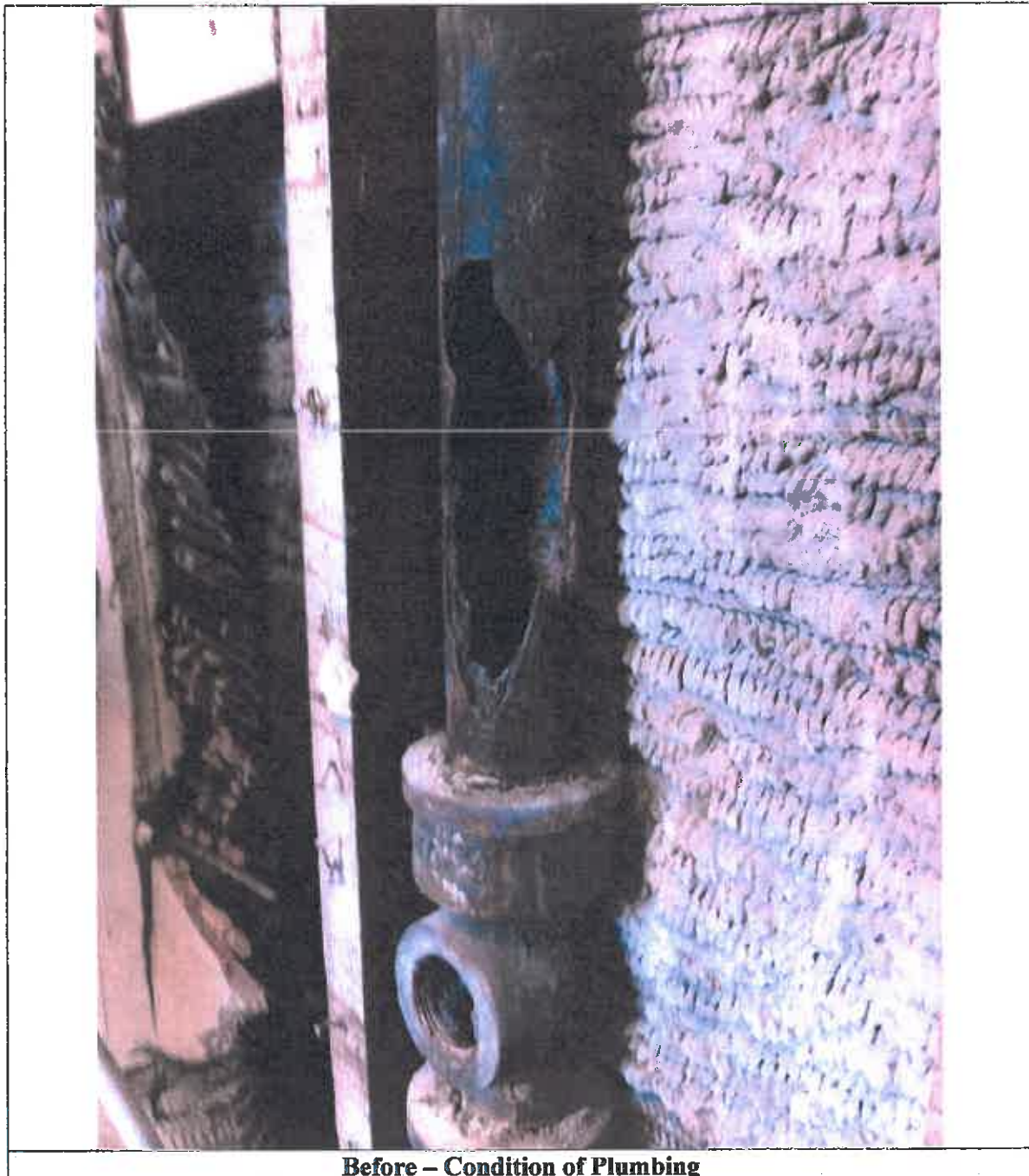
- 1) Install torch-on roofing system over-top of existing tar mopped area of the roof which was failing.

Foundation Stabilization Project:

- 1) Excavate areas as per detailed in BBK Engineering's drawing
- 2) Underpin the building footing as per engineer's specification
- 3) Blue-skin basement wall over and down the face of the footing
- 4) Install weeping tile system and sump pit

Additional Note:

To retain as much of the exiting basement's character, we selectively removed the floor slabs to facilitate trenching for the new waste and water lines. The trenching was completed using a combination of hydrovac techniques and hand trenching. This allowed us to trench under walls and corridor slabs, thus leaving the interior character defining elements of the building largely undisturbed.

Photographic Documentation



Before – Condition of Plumbing



Before – Condition of Plumbing



During Construction – Hydrovacing



During Construction – Outside Plumbing Replacement



During Construction – Outside Plumbing Replacement



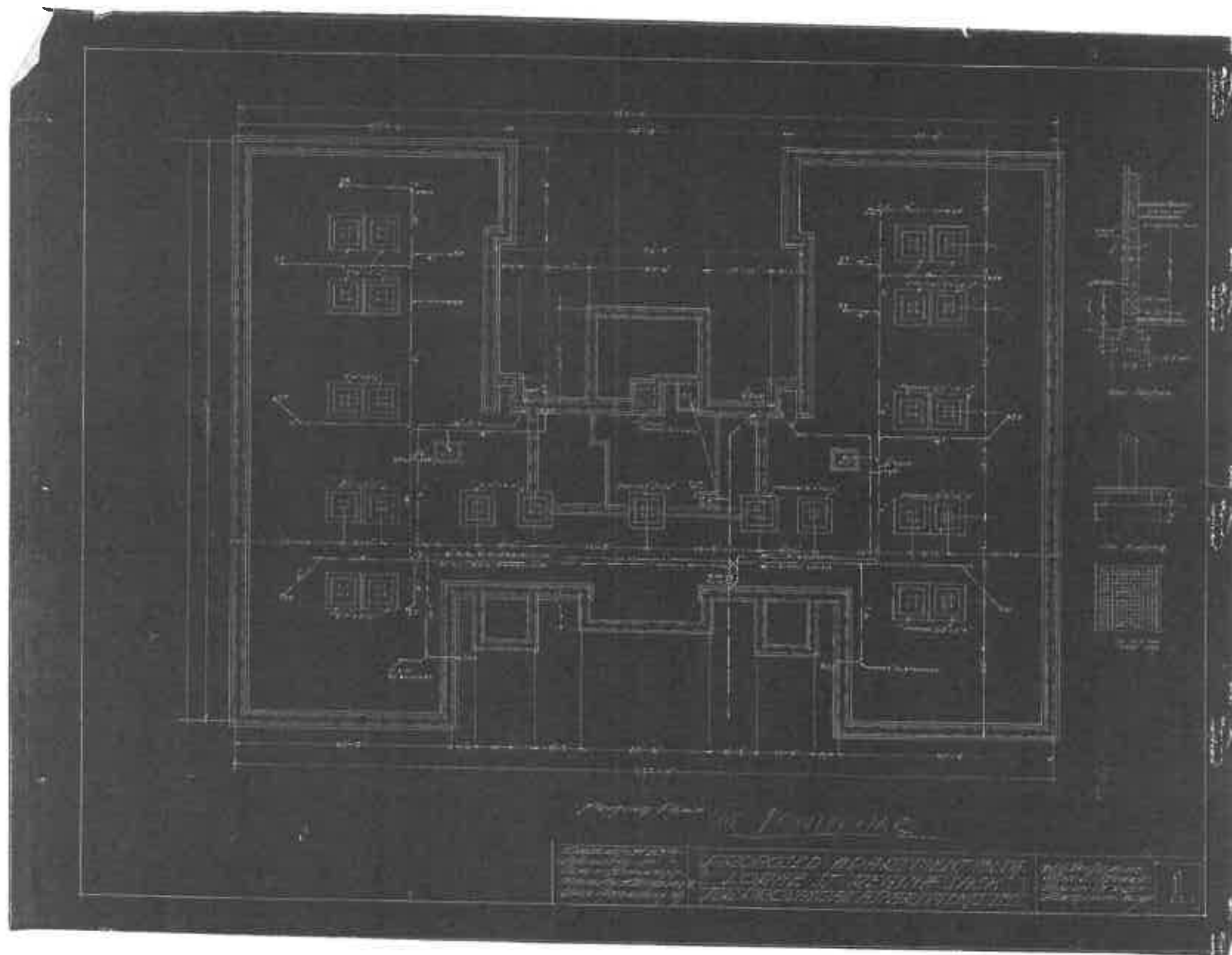
During Construction – Demolition of the slab

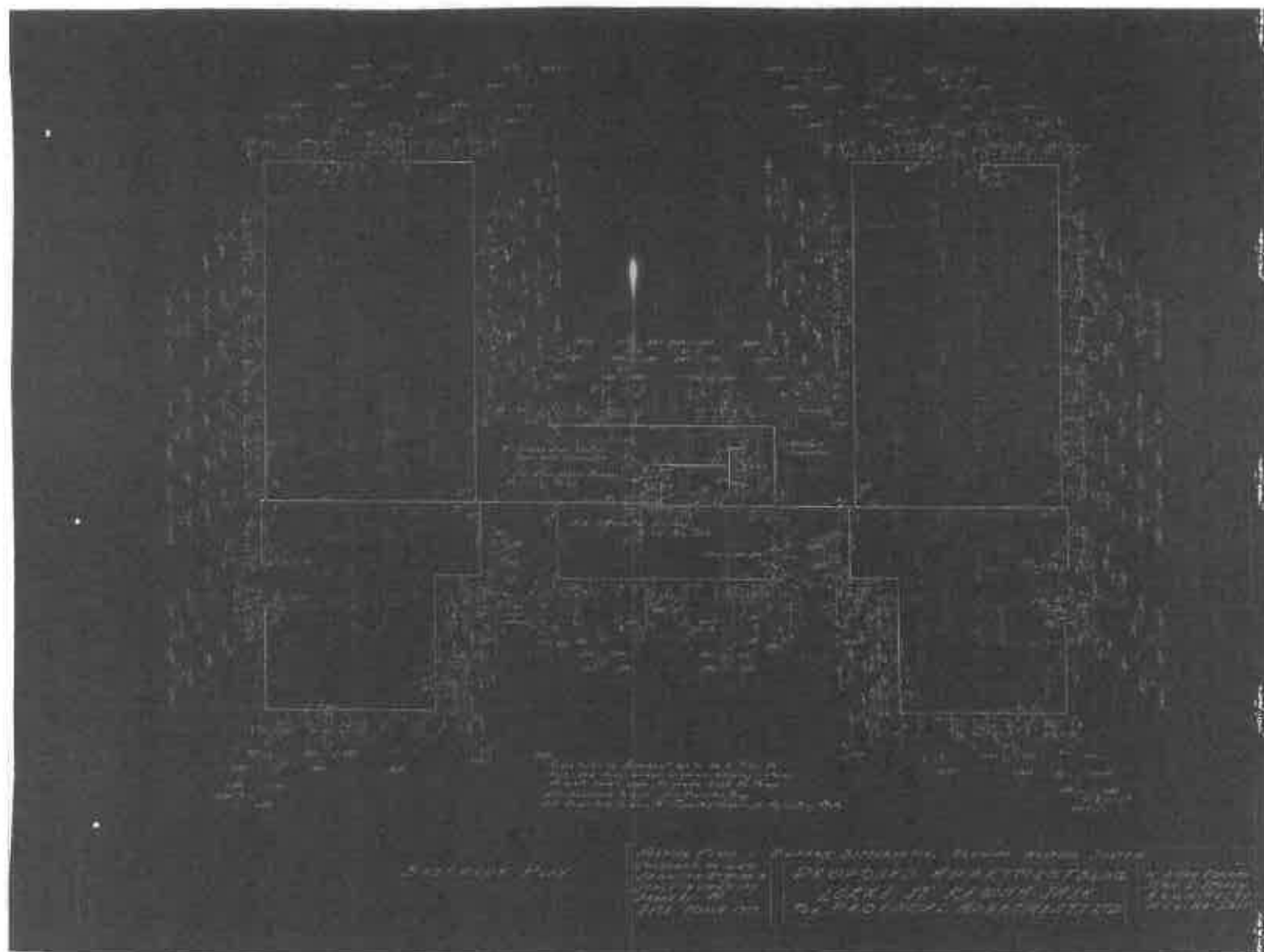


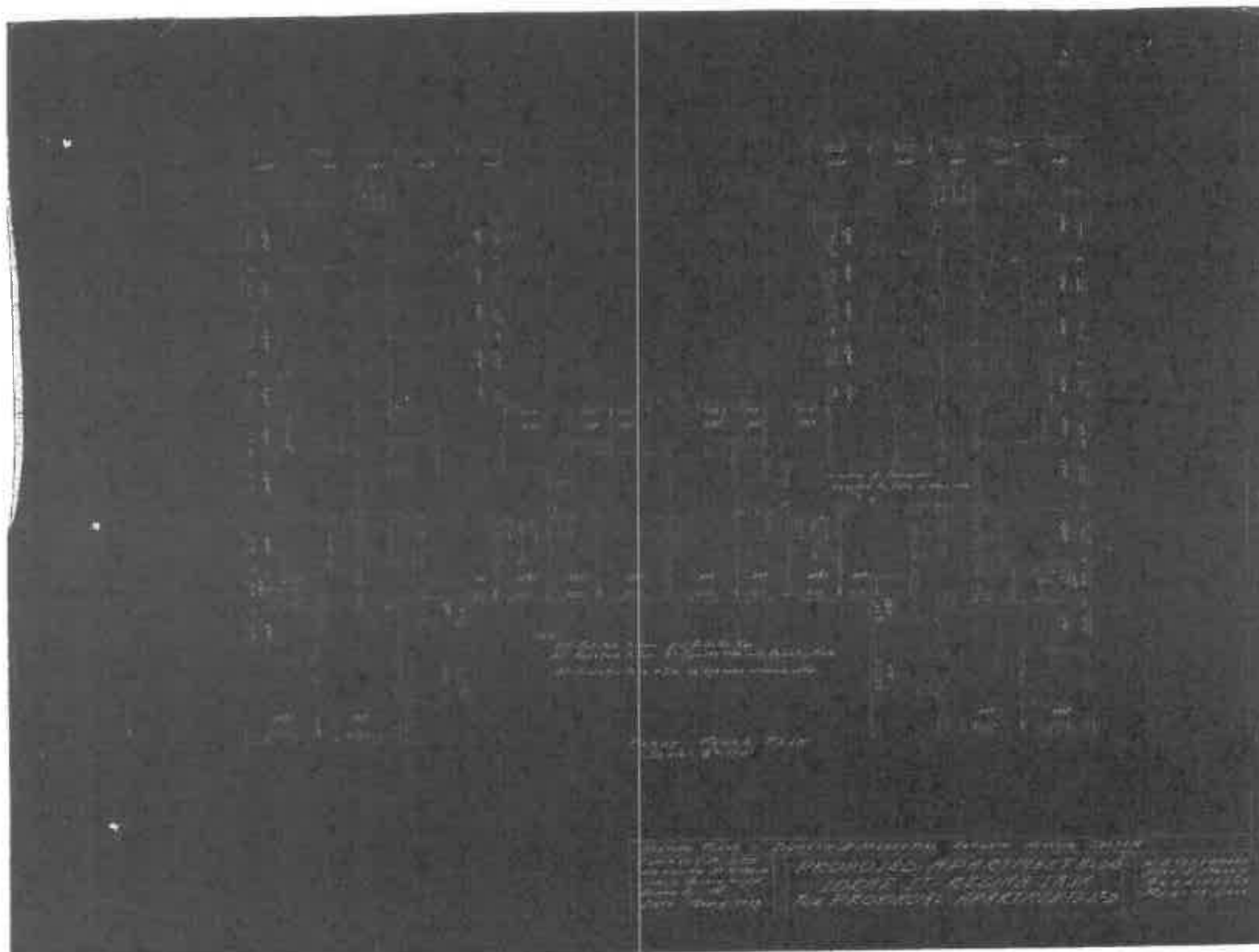
After - New Plumbing

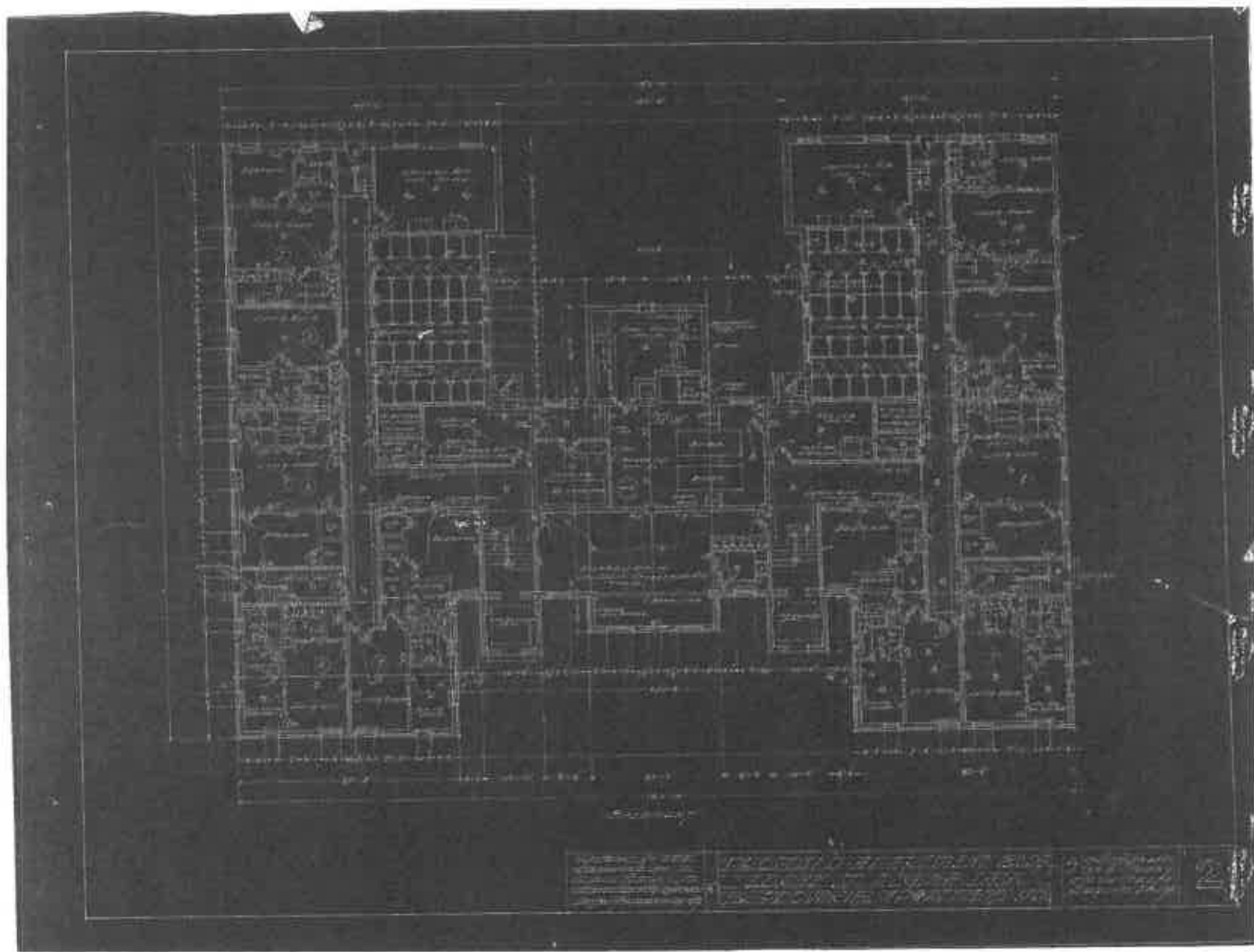


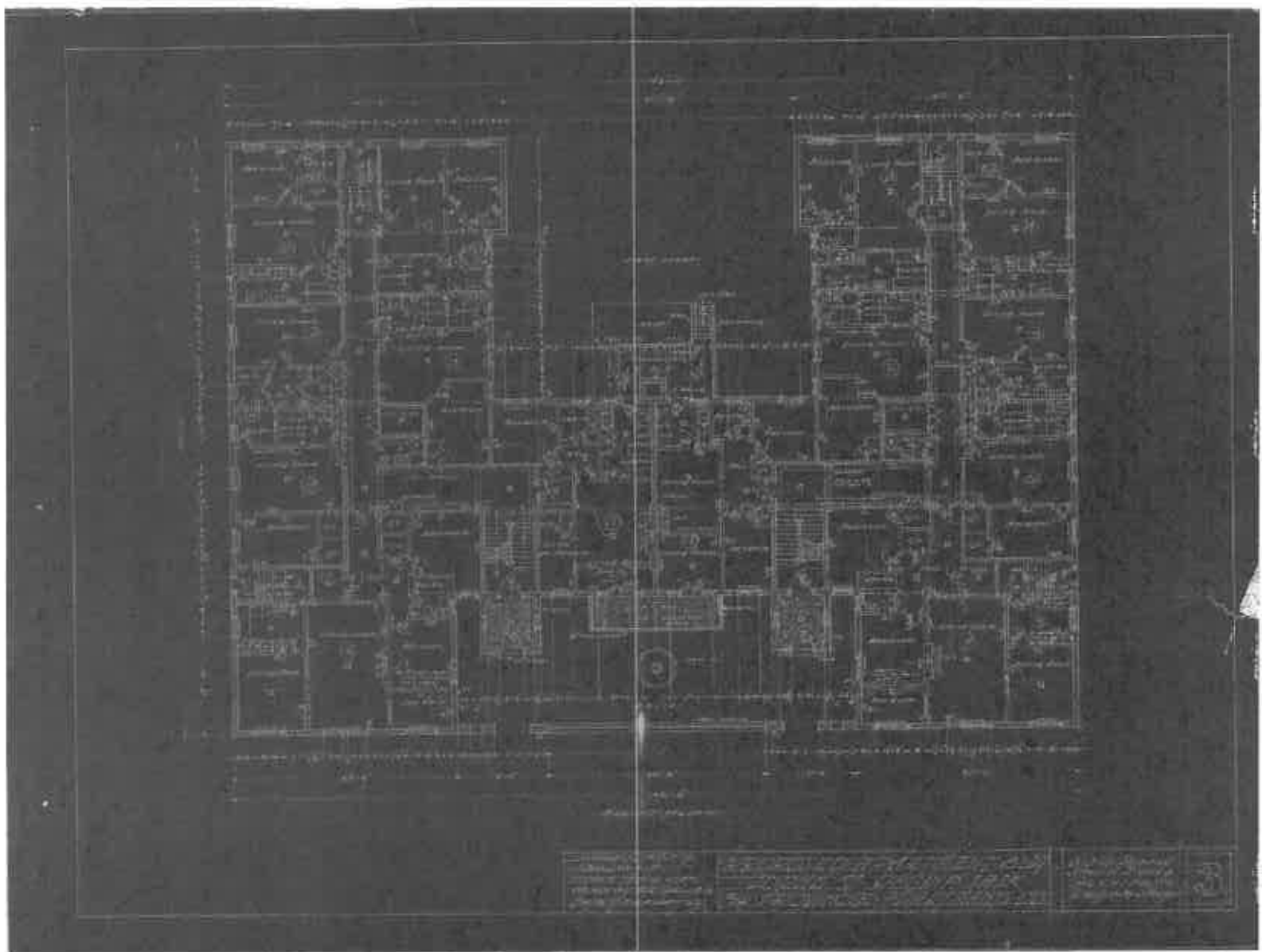
After - New Plumbing

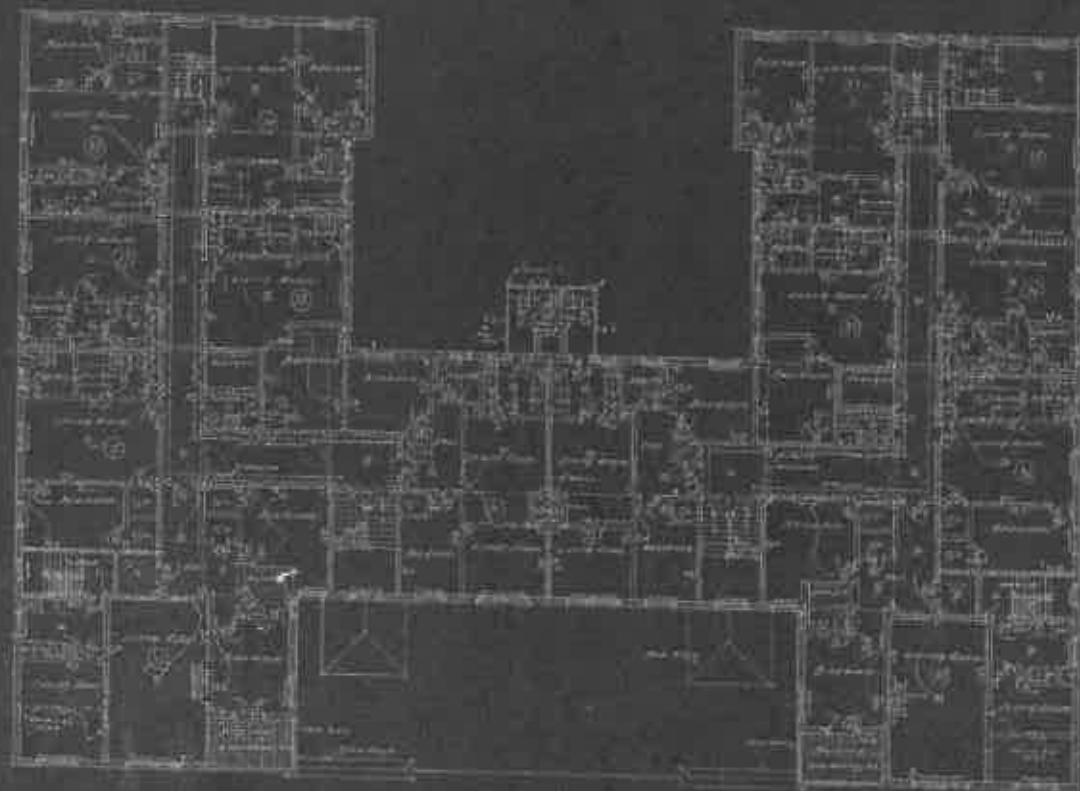






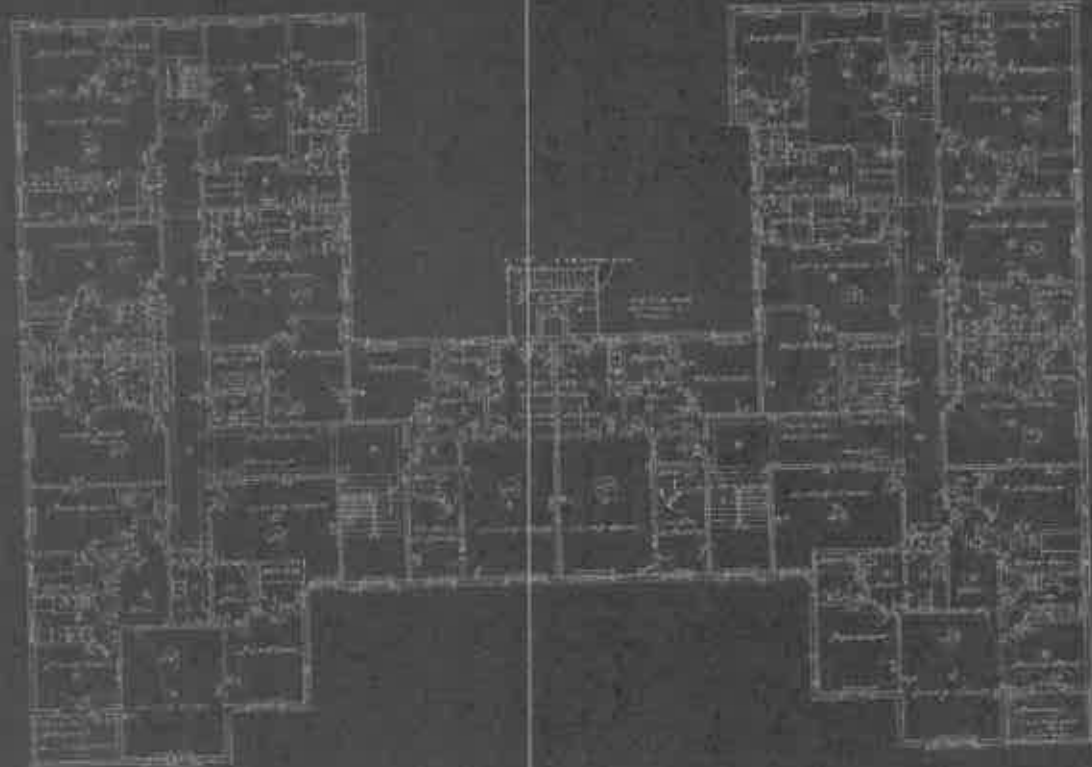




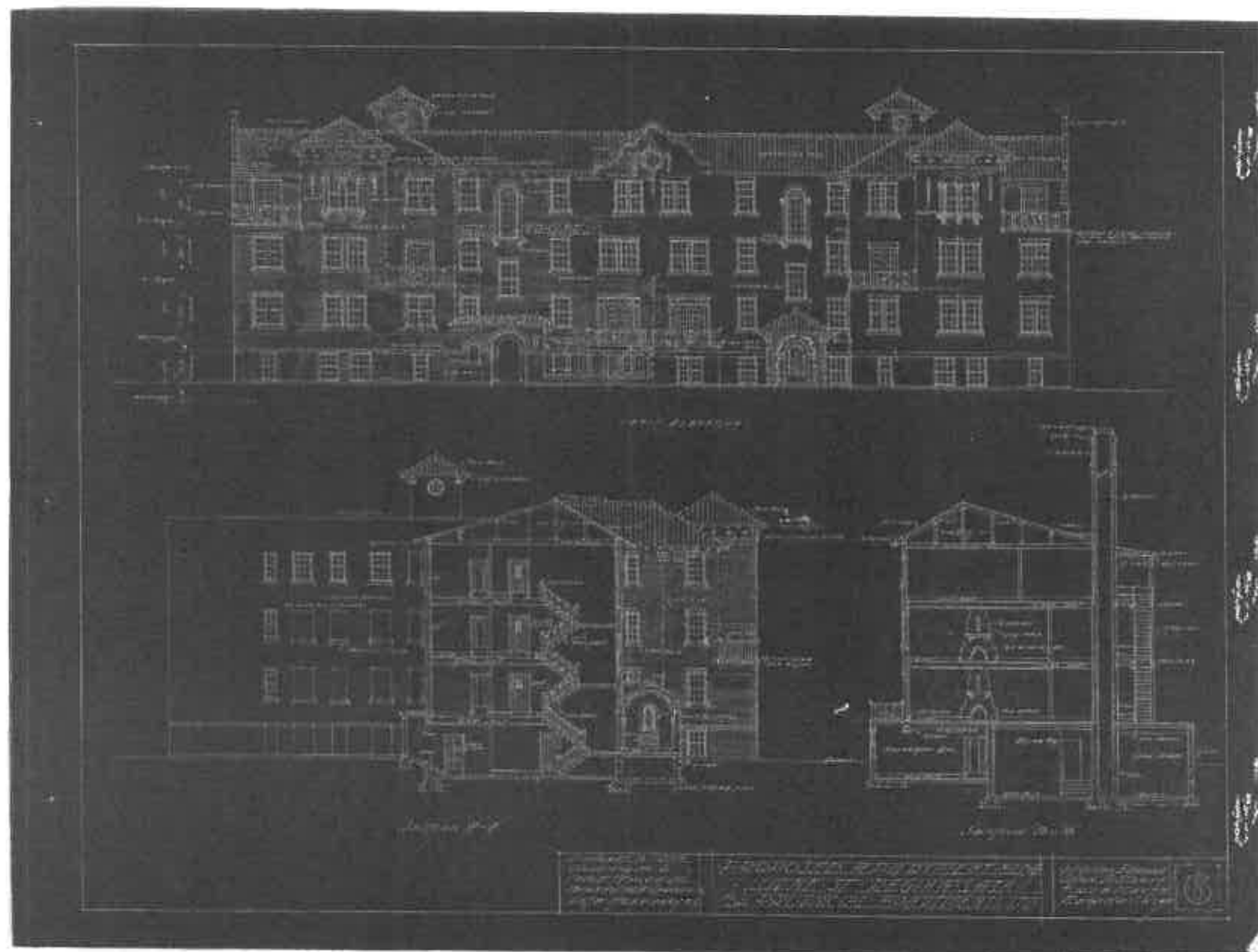


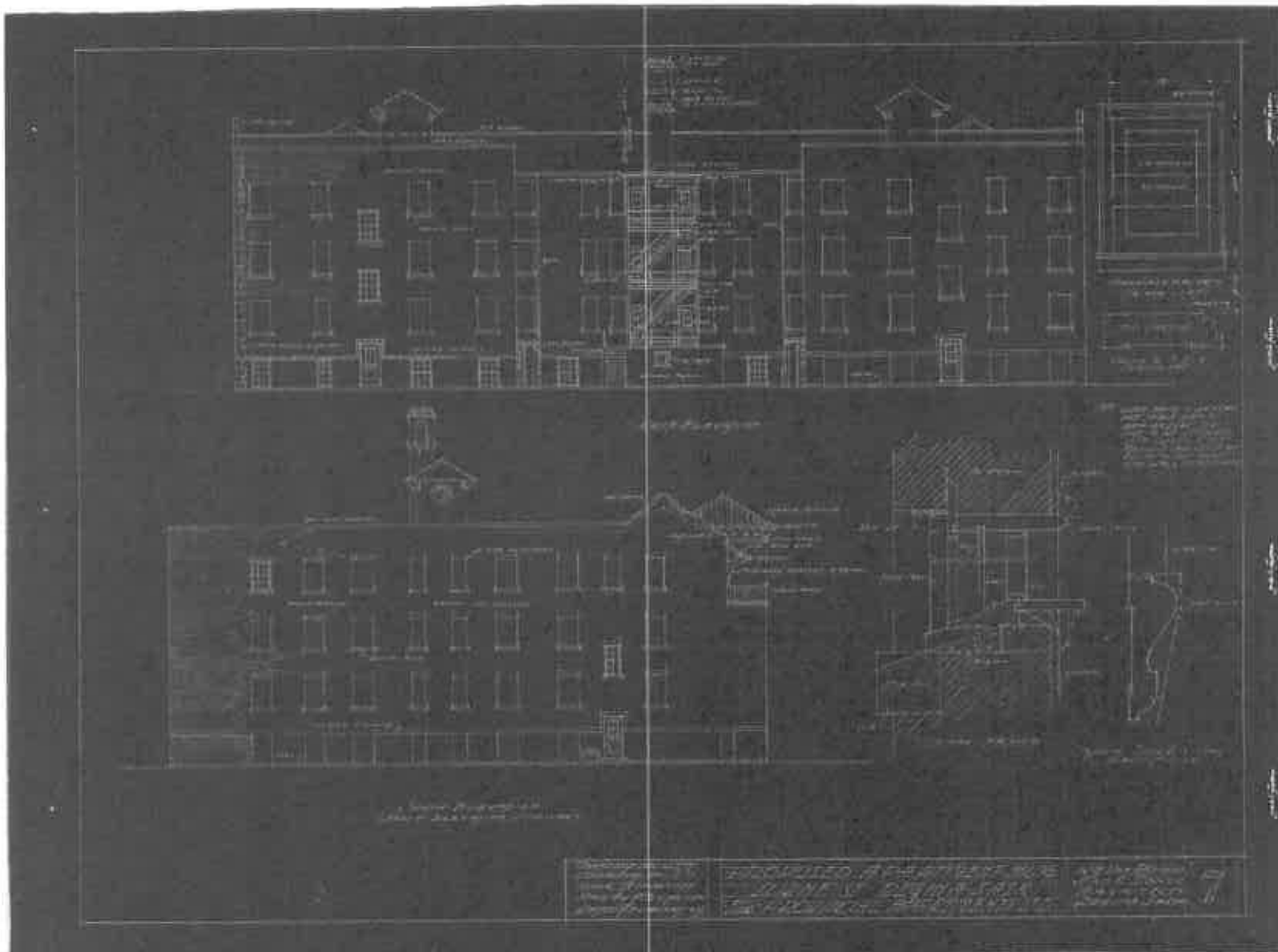
Architectural drawing showing a floor plan of a building complex, likely a government or institutional structure, with various rooms and corridors. The drawing is oriented horizontally on the page.

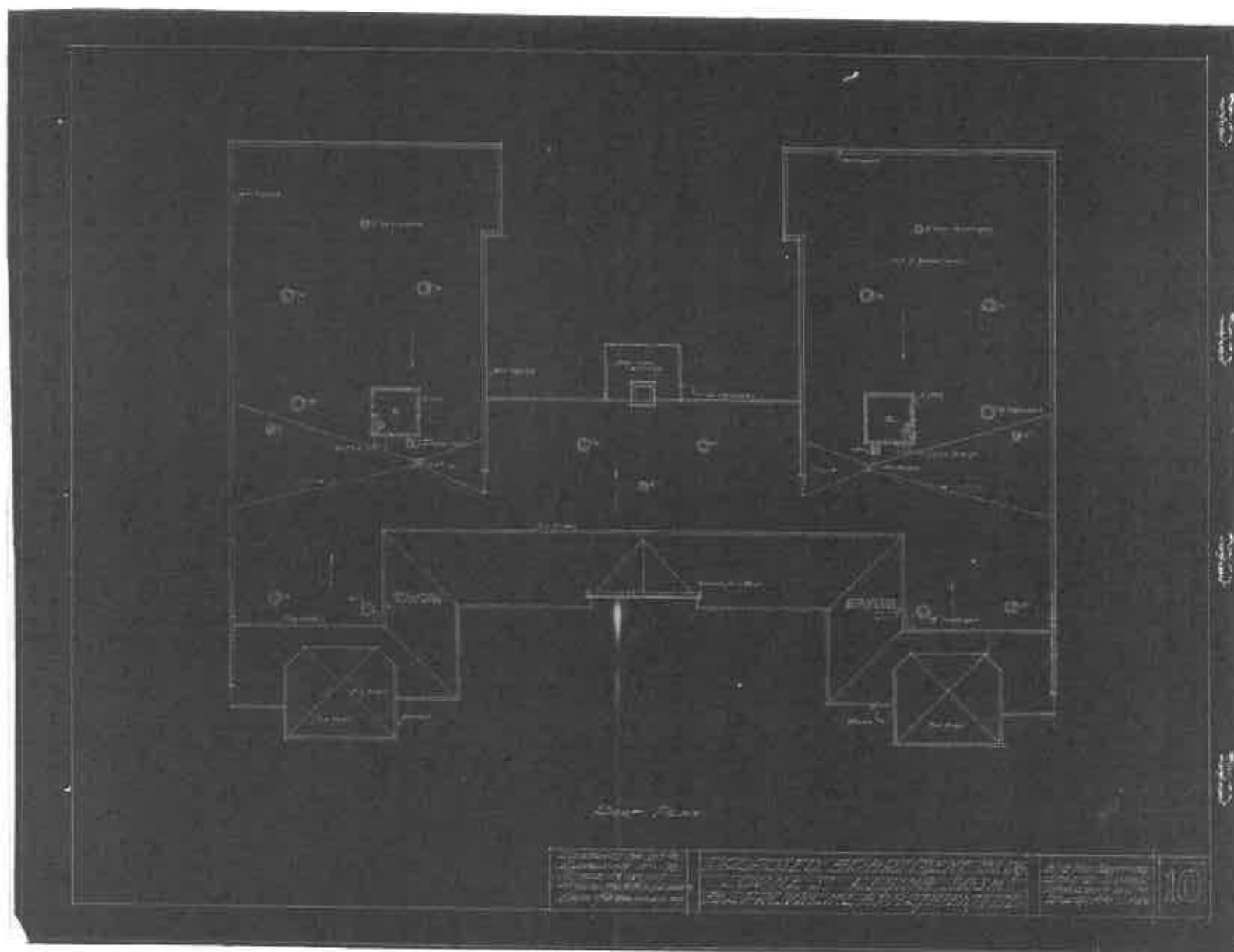
1. Main Entrance	2. Reception Room	3. Office of the Director	4. Conference Room	5. Library	6. Dining Room	7. Kitchen	8. Bathrooms	9. Storage Room	10. Corridor
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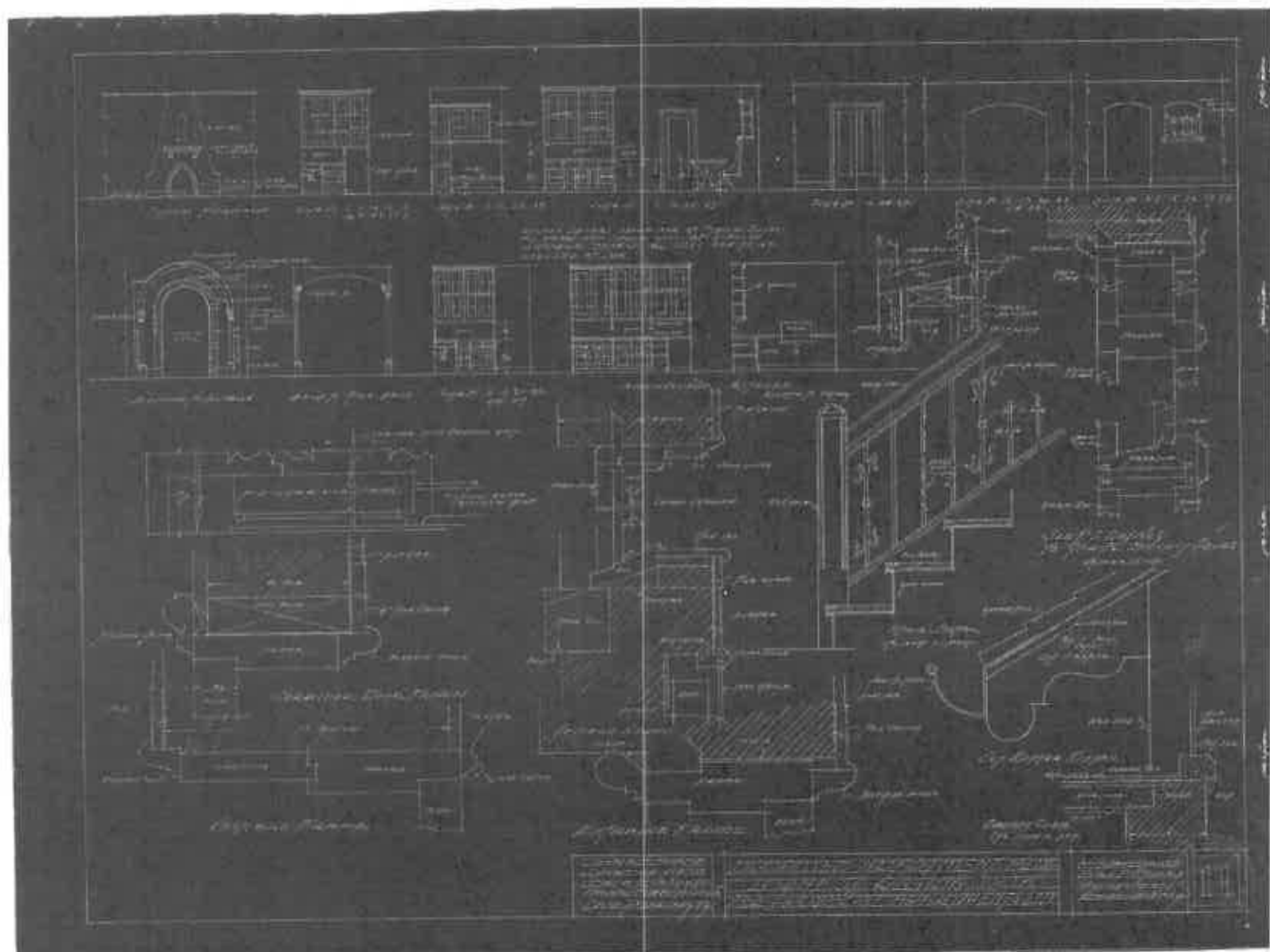


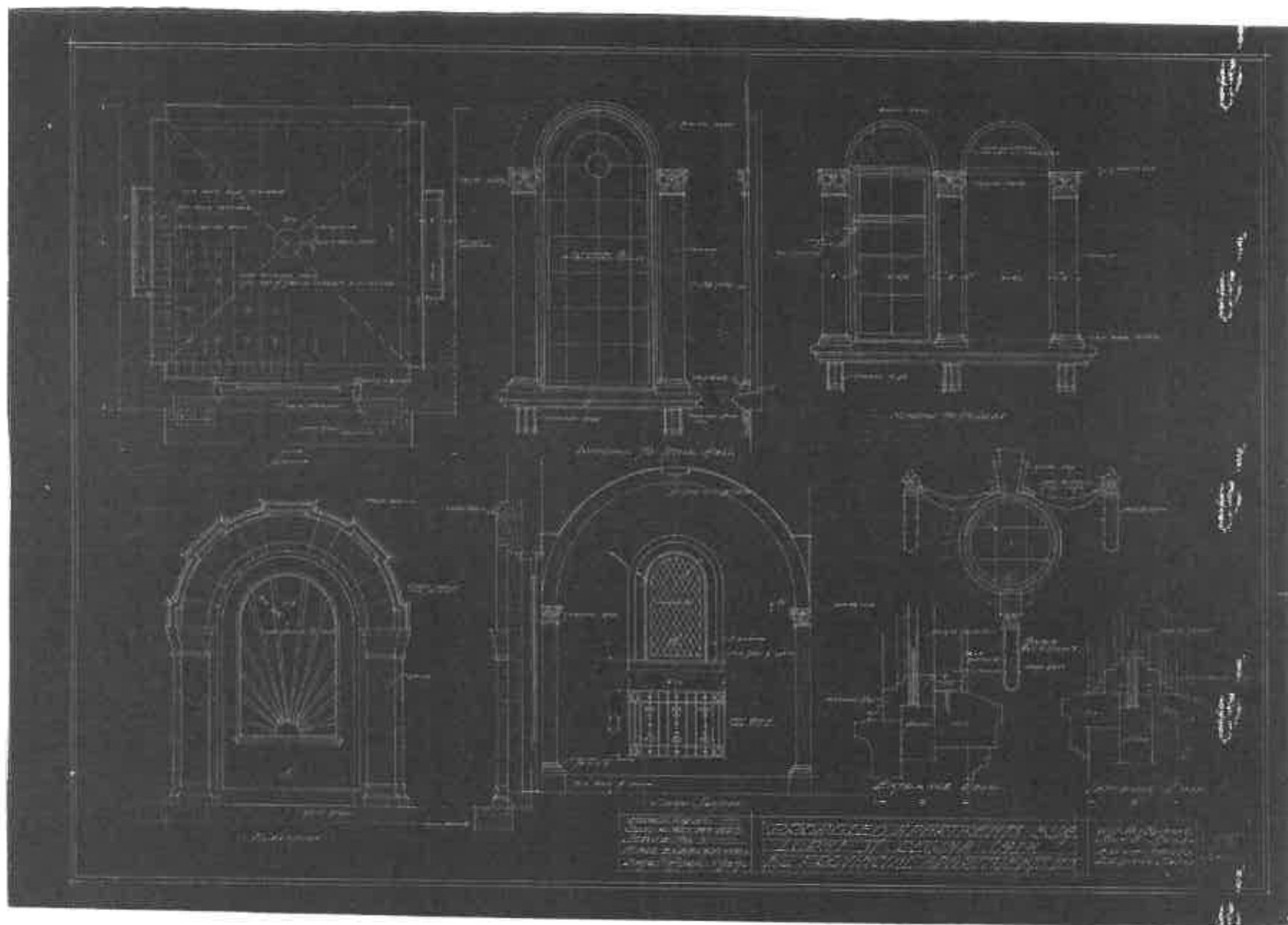
1. The building is a large, symmetrical complex, divided into two main wings by a central corridor or courtyard.	2. The left wing features a series of rooms, including a large hall or auditorium at the top, followed by several smaller rooms and a large rectangular area at the bottom.	3. The right wing is a mirror image of the left, with a large hall at the top and a large rectangular area at the bottom.	4. The central area contains a large rectangular space, possibly a courtyard or a large hall, with a smaller rectangular area at the top.
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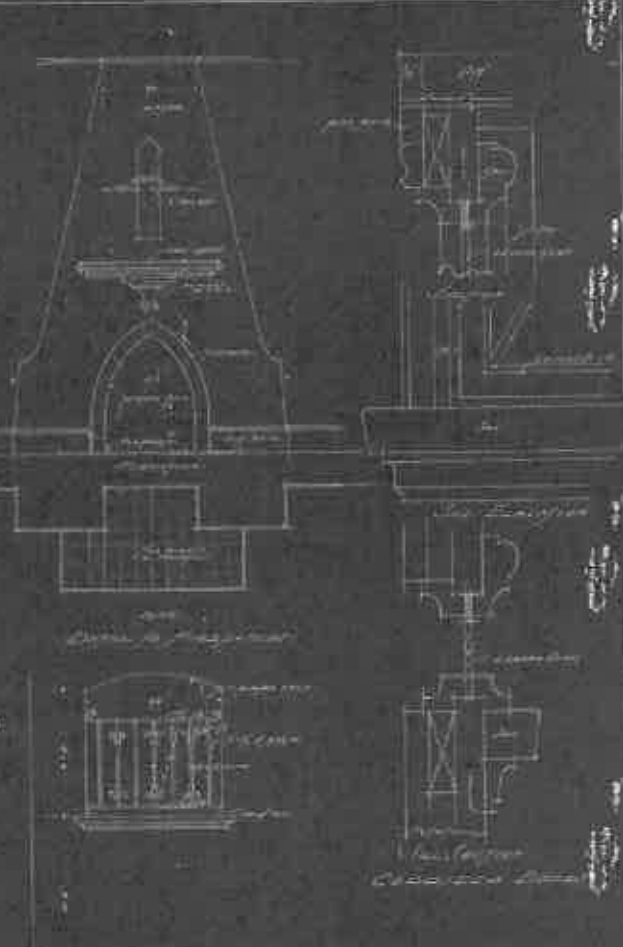
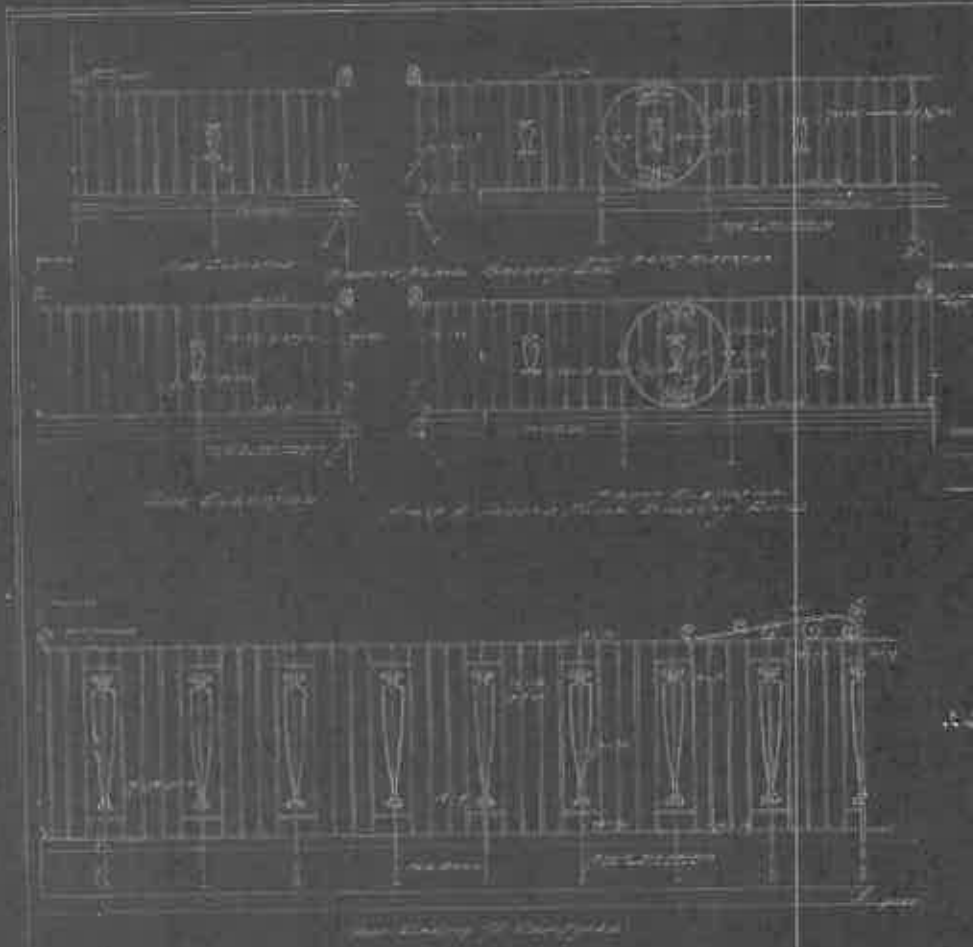




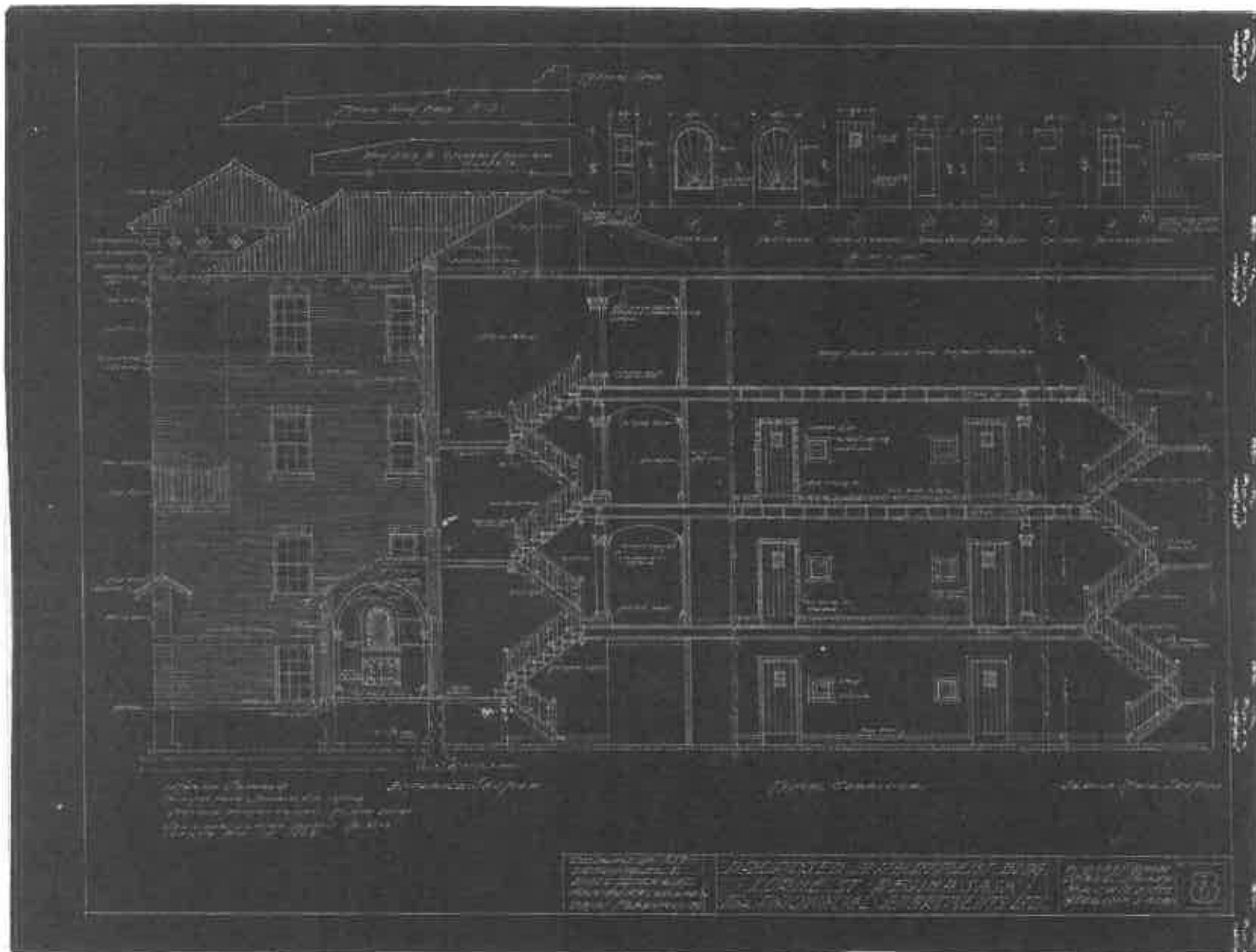


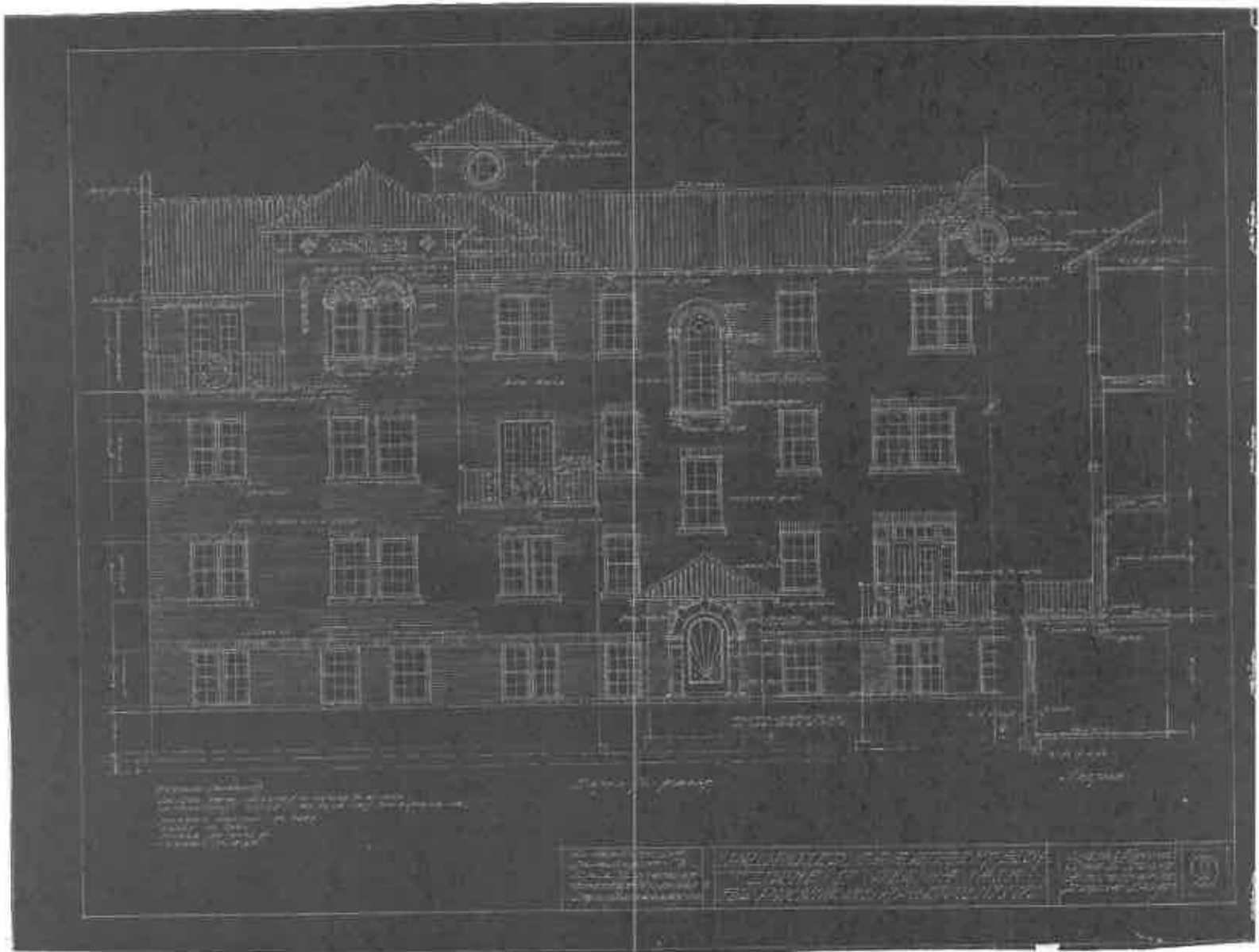






1. The building is a two-story structure with a central arched opening and a smaller arched opening above it. The building is constructed of brick and has a flat roof. The interior of the building is divided into several rooms, including a large central hall and several smaller rooms. The building is located on a lot that is 100 feet wide and 150 feet deep. The building is situated on the corner of the lot.



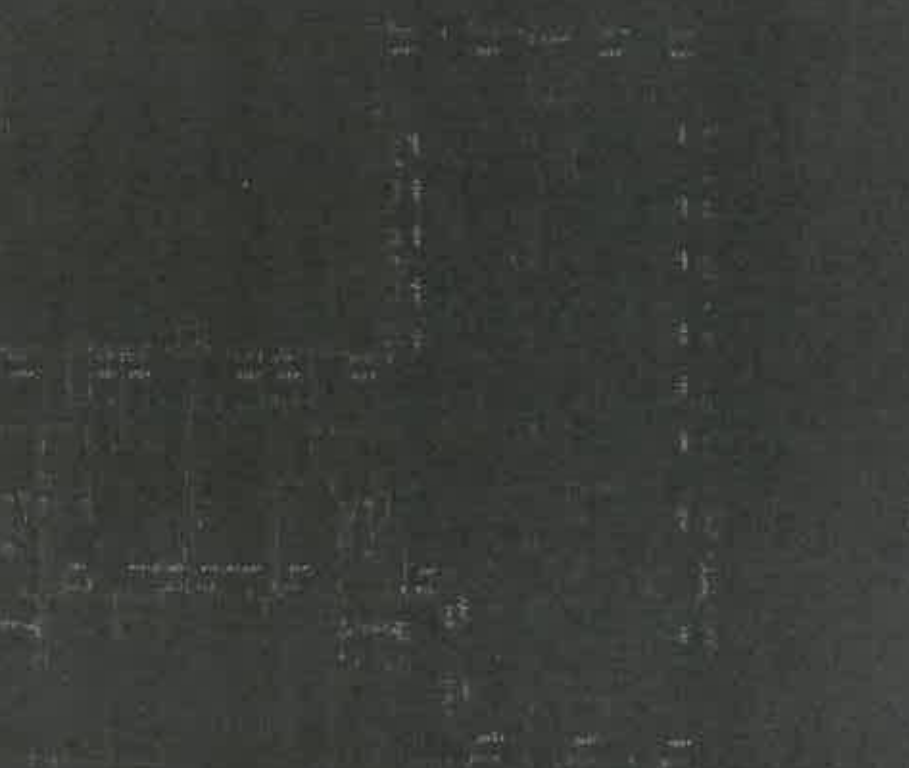


Architectural drawing of a building facade, showing multiple windows and a central entrance. The drawing is framed by a simple border.

Architectural drawing of a building facade, showing multiple windows and a central entrance. The drawing is framed by a simple border.

Architectural drawing of a building facade, showing multiple windows and a central entrance. The drawing is framed by a simple border.

Architectural drawing of a building facade, showing multiple windows and a central entrance. The drawing is framed by a simple border.	Architectural drawing of a building facade, showing multiple windows and a central entrance. The drawing is framed by a simple border.	Architectural drawing of a building facade, showing multiple windows and a central entrance. The drawing is framed by a simple border.
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1. The plan is a general site plan of the building and its surroundings.
 2. The plan is a general site plan of the building and its surroundings.
 3. The plan is a general site plan of the building and its surroundings.

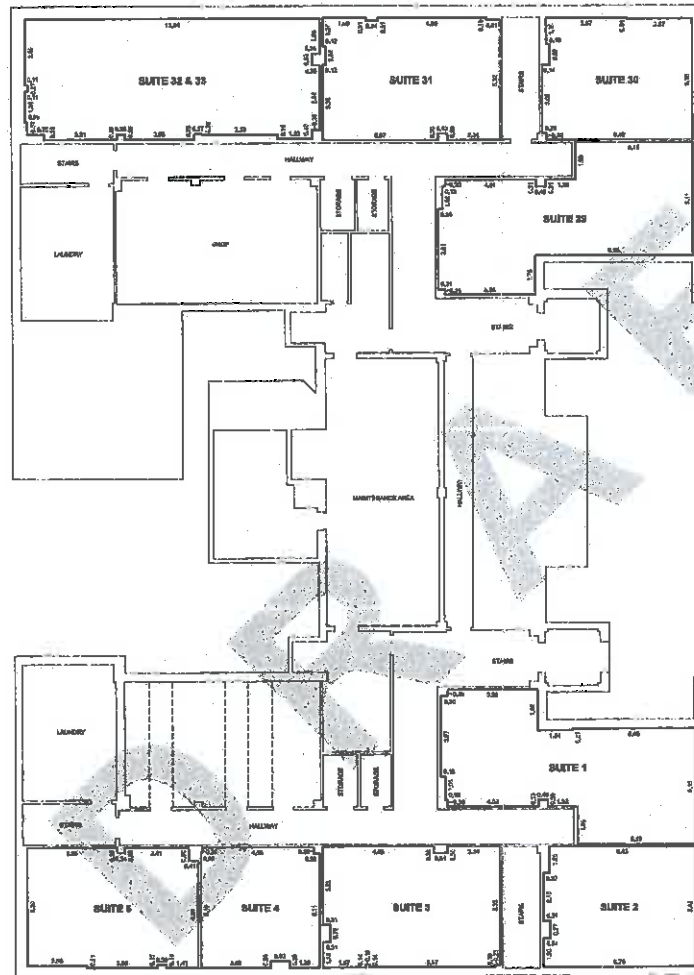
General Site Plan

1. The plan is a general site plan of the building and its surroundings. 2. The plan is a general site plan of the building and its surroundings. 3. The plan is a general site plan of the building and its surroundings.	1. The plan is a general site plan of the building and its surroundings. 2. The plan is a general site plan of the building and its surroundings. 3. The plan is a general site plan of the building and its surroundings.
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**FRONTENAC APARTMENTS
PLAN OF SURVEY
SHOWING FLOOR AREAS
LOT 42, BLOCK 968,
REG'D PLAN No. 98A28309
2292 LORNE STREET
REGINA, SASKATCHEWAN
BY:
DATE: 2015**

NOTE:

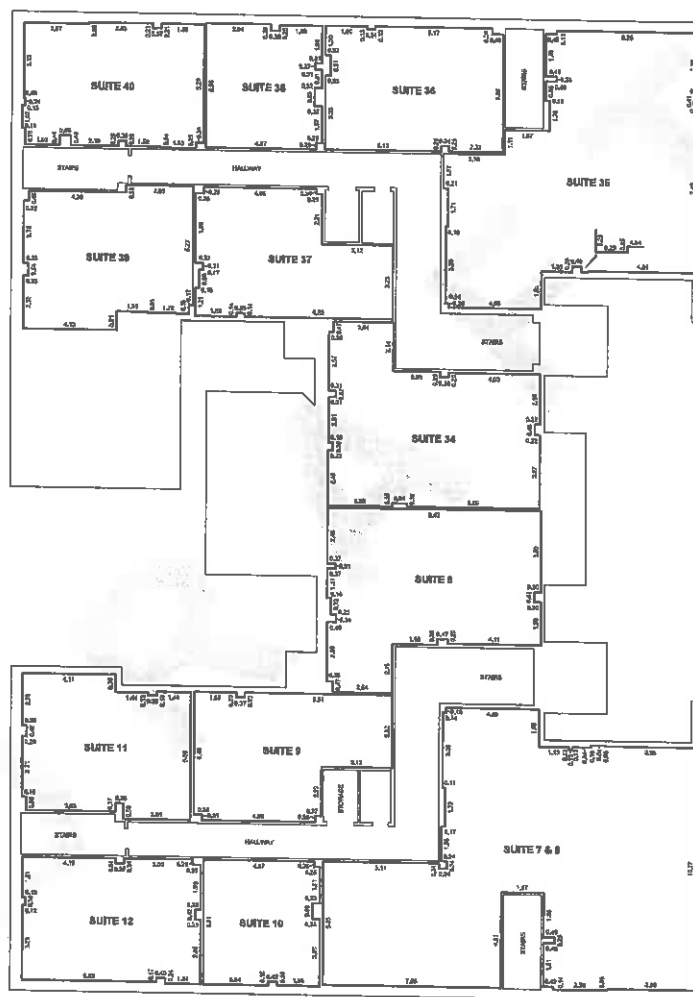
-Measurements are in metres and decimals thereof.
-Suite boundaries are described by reference to faces, walls or ceilings, and the locations of any doors, windows and other openings. Unless otherwise indicated in the floor plan, the only portion of a door, wall or ceiling that forms part of a suite is the portion measured to be in the exterior of the suite, including any bay and landing, corridor, common area, bearing, staircase, fire escape and any other structure that is attached to, laid on, placed on or applied to the door, wall or ceiling.
-Measurements and layout of a suite are as shown on the floor plan.
-Suite numbers are shown on the floor plan.



BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"

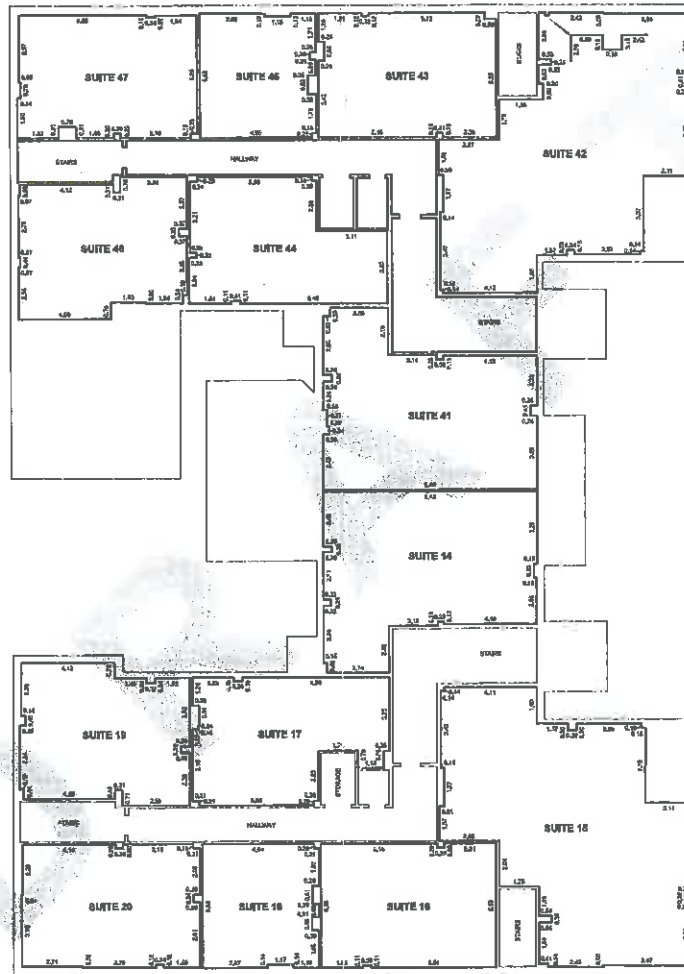
-Measurements are in metres and decimals thereof.
-Measurements are along outer boundary.
-Heavy line indicates suite boundary.

SUITE NUMBER	AREA	PERM
1	45.2	45.2
2	45.2	45.2
3	45.2	45.2
4	45.2	45.2
5	45.2	45.2
6	45.2	45.2
7	45.2	45.2
8	45.2	45.2
9	45.2	45.2
10	45.2	45.2
11	45.2	45.2
12	45.2	45.2
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94	45.2	45.2
95	45.2	45.2
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98	45.2	45.2
99	45.2	45.2
100	45.2	45.2



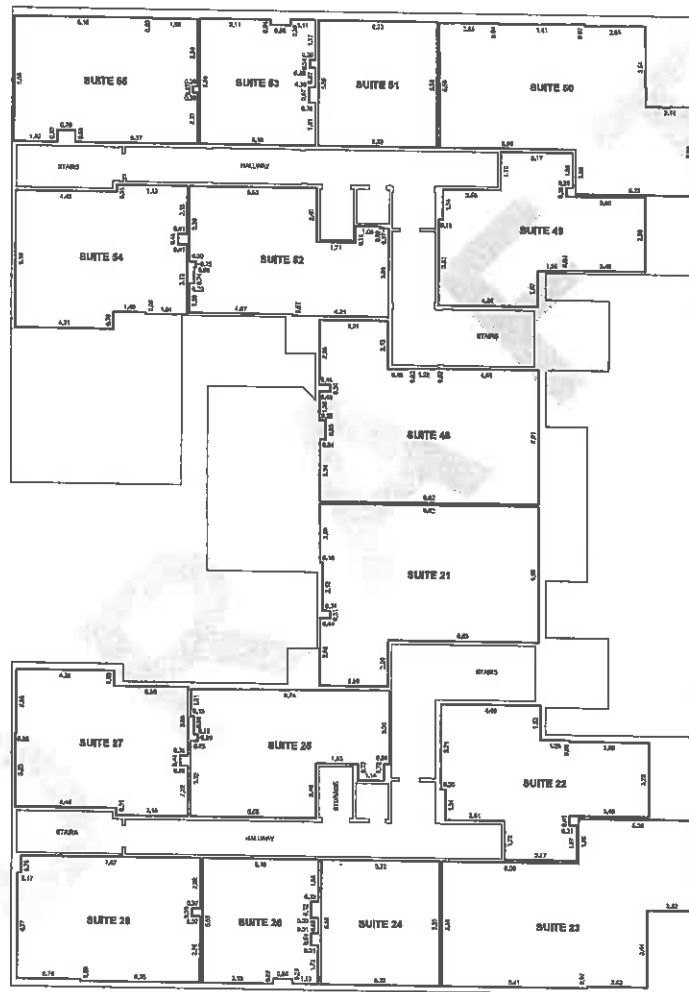
MAIN FLOOR PLAN

-Measurements are in meters and decimals thereof.
 -Measurements are along suite boundary.
 -Heavy line denotes suite boundary.



SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

-Measurements are to center and do not include
-Measurements are along suite boundary.
-Heavy line denotes suite boundary.



THIRD FLOOR PLAN

SCALE: 1/8"

-All measurements are in feet and decimals thereof.
 -All measurements are along suite boundary.
 -Heavy line denotes suite boundary.

Description of Historic Place Frontenac Apartments

The Frontenac Apartments, located at 2022 Lorne Street, southwest of Regina's Victoria Park, is a four-storey, buff-coloured brick apartment building. The building is distinguished by its Mediterranean architectural influences.



Heritage Value

Designed by Van Egmond and Storey, this H-shaped brick building was constructed in 1929 by Smith Bros. & Wilson. The aesthetic value of the building resides in its Spanish or Mediterranean Revival style. This type of architecture was popular throughout North America from the 1910s to the 1940s. The Frontenac Apartments exhibits many of the Mediterranean influences that are often rich with detail, such as the red tile roof, curvilinear false end gables, central front gable with round vent and Tyndall stone accents and garlands, and staggered balconies with large eave brackets and ornamental metal railings. Other features include the rounded-arch doors and window openings with inset decorative tile pattern and pilaster-like carved window surrounds and stone sills with brackets. A wide stucco band which is decorated with tile patterns is prominent below the front eaves. In addition, the property has a stylized flag pole and tower-like projections which punctuate the north and south wings.

The historical value of the property also resides in its construction during one of Regina's boom periods. A significant feature of the 1926-29 construction boom was the completion of many modern apartment blocks in Regina, such as The Balfour, Frontenac, Mayfair and Qu'Appelle, which catered to middle- and high-income tenants. Over 500 new suites were added to Regina's inventory between 1926 and 1929. A group of local businessmen formed a joint-stock company, Provincial Apartments Ltd., in the fall of 1928 to construct the Frontenac and Mayfair apartments specifically in response to the city's promise to General Motors of Canada to meet the expected housing needs of

workers transferred from Oshawa and other cities to work in the new GM car manufacturing plant on 8th Avenue. The Frontenac has enjoyed high occupancy rates over the past eighty years, with many long-term tenants.

Character-Defining Elements

Elements related to the design and construction of this apartment block, such as:

- free-standing, four-storey building height and H-shaped massing, allowing for greater access to natural light in each suite;
- set-back from the street, with formal planting in the area between the two main entrances;
- steeply pitched, red tile roof;
- curvilinear false end gables;
- central front gable with round vent and Tyndall stone accents and garlands;
- staggered balconies with large eave brackets and ornamental metal railings;
- rounded-arch doors;
- rounded-arch window openings with inset decorative tile pattern and pilaster-like carved window surrounds and stone sills with brackets;
- wide stucco band below the front eaves which is decorated with tile patterns;
- tower-like projections which punctuate the north and south wings;
- single-hung sash windows with clear glazing;
- stylized flag pole.

Elements which speak to the connection of the Frontenac with a significant period of construction activity in Regina, such as:

- continued use of the apartment block for its original purpose;
- proximity to the Balfour Apartments as part of an historic apartment block streetscape;
- the "Frontenac" sign above the main Lorne Street entrance.

**Frontenac Apartments
2022 Lorne Street**



Frontenac Apartments c.1930 (SAB R-A 33,690)

Supporting Documentation

IDENTIFICATION	
Unique F/P/T Identifier	
Name of Historic Place	Frontenac Apartments
Other Name(s)	
Formal Recognition Type	
Formal Recognition Enactment	City of Regina
Formal Recognition Date	
LOCATION	
Community	Regina
Street and Street Number	2022 Lorne Street
Other Street and Street Number	
Zoning District	
Local area within Regina	Southwest of Downtown
Cadastral Reference/Land Unit	
Location Desc/Cartographic Identifier	
DESCRIPTION	
Description of Boundaries	Lot 42, Block 369, Plan 98RA28309
Area (in square metres)	2,514.14
Number and Type of Contributing Resources	1 building
Functional Category (Original)	Residence
Functional Type (Original)	Multiple Dwelling
Functional Category (Current)	Residence
Functional Type (Current)	Multiple Dwelling
Construction Date Range (from - to)	1929

Source of Construction Date	Regina Morning Leader, March 19, 1929, p.5, "Construction to start today."; Regina <i>Morning Leader</i> , Oct. 30, 1929, p.11, "Frontenac Apartments completed."
Significant Dates (from - to)	
Associated Architect/Builder	Van Egmond & Storey/Smith Bros. & Wilson
Theme Category	Developing Economies
Theme Type	Trade and Commerce
Category of Property	
Website Link	
Location of Supporting Documentation	CORA; SAB
IMAGES	
Image(s)	IMG_01 to IMG_03
Image Description	IMG_01: view looking southwest; IMG_02: detail of roof line & corner balcony; IMG_03: main entrance detail
Misc. Info (Image)	All images by Ross Herrington (February & October, 2010)
Image Type	Exterior photos
RESEARCH FILE	
Building Permit	18-Apr-29
Water hook-up	1907; 1929
Title Search or Henderson Directory entries (history of ownership)	Current owner title; Henderson Directory 1928-2000
Sections of Maps or Plans	SAB: original architectural drawings, file R-P.1.579
Archival Photos	SAB: R-A 17,357 (1930); R-A 33,690 (1930); R-B 8860 (1948); CORA: RPL A-816 & 817 (1971)

Schedule "B"

Prominent residents of Frontenac Apartments, 2022 Lorne Street, as listed in the Henderson Directory from 1929 to the last edition in 2000.

PROFESSIONALS

Stanley E Storey of Van Egmond and Storey, the architectural firm that designed the Frontenac. Listed in suite #7, 1930-1935.

Hon. Howard McConnell, Saskatoon lawyer, who was a member of the Saskatchewan Legislative Assembly, 1927-1934. Listed at the Frontenac in 1934.

Dr. William Riddell, teacher, Regina College, while living at the Frontenac (mid-1930s). Became Principal of Regina College, University of Saskatchewan in 1950s, and made Officer of Order of Canada in 1974.

Hon J.H. Sturdy, Member of Legislative Assembly (Saskatoon City) 1944-1960. Minister of Reconstruction and Rehabilitation in Tommy Douglas's first Cabinet. Listed in Frontenac 1952-1958.

George Porteous, Saskatchewan's Lieutenant Governor 1976-78 and wife Kathleen (home Saskatoon, listed in Frontenac 1976.)

G.S. Kennedy, barrister in firm Secord and Kennedy (Frontenac 1930-1966 = 36 years.)

Miss R.B. Riddell, teacher, Central Collegiate, one of 11 women listed in Frontenac 1930.)

D.H. McCallum, Director, Laboratory, provincial Department of Agriculture (F, 1930s.)

Dr. D. Hart, physician (F, 1930s.)

Dr. C. Lingard, chief librarian, Regina Public Library (F, 1940s.)

Dr. Grant McFetridge, physician, listed as "on active service" when first listed in Frontenac in 1945. Last listed in 1971 (22 years in total.)

Dr. Palmer, retired (F, late 1940s and early '50s.)

Dr. J.W. Hedley (retired physician) and Evelyn (F, late 1940s and early '50s.)

Dr. R.T. Hosie, physician (F, early 1950s.)

Dr. W.D. MacDairmid, physician (F, 1950-1965 = 15 years.)

Dr. Dillenberg, medical bacteriologist, Public Health, Saskatchewan Government (F, mid 1950s.)

Dr. Donald Storey, chiropractor (F, late 1950s.)

Dr. Harold Spooner, orthopaedic surgeon (F, 1959-1963.)

Dr. J.S. Campbell, physician (F, 1960.)

Alex B. Mossing, band director, Regina Lions Junior Band, and wife Marion (F, 1972.)

Bessie Bissett, editor, "Women's Page," Regina Leader Post (F, 1975-1989 = 14 years.)

BUSSINESS

Frederick A. Davidson, secretary and assistant general manager, Saskatchewan Co-operative Creamers Ltd. Only listed resident in 1929. (Moved from Athol Street house.)

Frank R. Wood, manager, Wood Hardware Co (F, 1930.)

Harry F. Glass, manager, Oliver Ltd. (F, 1931.)

E.W. Beckett, manager, Western Spring Co. (F, 1931.)

Sam Promislow, sales manager, S&M Wholesale, when listed in 1932-36. (by 1938, "of Eskin and Promislow" and living at 268 Leopold; President and manager of Promislow Bros. [wholesale dry goods] by 1955 and 1960. Business sold in early 1970s, and still exists today as Promislow and Company Regina Ltd., though no longer a dry goods wholesaler.)

Frank Watchler, salesman, Waterman-Waterbury, listed at Frontenac 1934-1938. (eventually became vice-president and secretary, Waterman-Waterbury, and built several houses on Leopold Crescent, including 13 Leopold.)

William Fred Dunn, chairman, Workman's Compensation Board (F, 1936.)

Robert D. Martin, personnel assistant, Imperial Oil, listed in 1944. His widow, Dorothy, listed in same apartment in 1966, where she is last listed in 1990, for a total of 46 years.

Harry E. Drope of Drope and Hosie, Insurance and Financial Agents, Mortgage Loans, Bonds and Investments. (By 1960, company listed as Drope and Co., Limited, under

Harry and his son Thomas. By 1973, Harry is vice president and his son is president of Drope and Co.) Harry listed at Frontenac 1949-1977 = 28 years.

Harold Hague, manager, Loggie's Ltd. Harold first listed at Frontenac in 1984, and he and his wife, Jan, still listed in final Henderson Directory in 2000. Harold remains at the Frontenac in 2015, a total of 31 years.

OTHERS

Mrs. E.M. Storey, widow of Edgar M. Storey, founding partner of Storey and Van Egmond. Also mother of Stanley Storey, architect whose architectural company designed the Frontenac. Edgar died in 1913, his widow was first listed in Suite 14 in 1932, and she was last listed in 1946.

In 1948, Miss Allie Storey, secretary, Fraser and Keith (secretary, Fraser, Keith and Nicol in 1952,) was listed in Suite 14 and last listed in 1974, a total of 26 years.

Mrs. Maughan McCausland, widow of barrister Maughan McCausland who died in 1932. Widow listed in 1936. The McCauslands had built the College Avenue home purchased by Morris and Jacqui Shumiatcher in the 1970s.

Mrs. Anna Solomon, widow of Fred Solomon, who founded Solomon Construction and was Lieutenant Governor Vaughn Solomon's grandfather. Fred, who built a house at 11 Leopold Crescent in 1946, died in 1951. Anna, Fred's second wife, was listed at the Frontenac in 1952.

Edgar Petersmeyer listed in Suite 41 in 1943 and, by 1946, was listed in Suite 7, where the name remained listed until 1996, a total of 53 years. Ashley Petersmeyer, Edgar's great-grandson, states that Edgar married the daughter of C.W. Williams, who had bought 10 sections of land 10 miles south of Regina in the early 1900s. This land was divided among his family, who continued to prosper. Edgar and his wife Ruth Ann retired to the Frontenac when he was 50, leaving his son Karl to farm. The land is still farmed by Edgar's grandson Robert and great-grandson Ashley, and Ashley fondly remembers his visits with Edgar and Ruth Ann in the Frontenac. Edgar spent his last few years in Santa Maria, where his wife visited him from the Frontenac every day, and where he died when he was past 100. (More precise history available from Robert, who was not available.)

OVERVIEW

Based on the occupation of residents – four provincially prominent men, as well as many local doctors and business owners -- the Frontenac was one of Regina's prestigious apartment buildings from the day it opened in 1929 to the 1960s, and remained a highly respectable home for a few wealthy and many middle-class professionals through the 1980s. By the 1990s, the Henderson Directory listed many residents by initials only, and the occupations for most were not stated, which reveals little about the occupants.

Based on the length of time some residents remained at the Frontenac, the apartment building was also a well-loved home for some who could have afforded more. For example, lawyer G.S. Kennedy lived in the Frontenac for 36 years (1930-66,) and Dr. Grant McPetridge, an internal medicine specialist, returned from the Second World War in 1945 and remained at the Frontenac until 1977 (22 Years.) The prominent business man Harry E. Drope is listed from 1949 until 1977, a total of 28 years, most of that time serving as president of his company. Oil company office worker Robert Martin and, later, his widow were residents for a total of 46 years. And Edgar and Ruth Ann Petersmeyer, wealthy retired farmers, paid rent for 53 years. Harold Hague, a prominent business man when he first arrived in 1984, is still a resident after 31 years.

One indication of the apartment building's prestige, especially in the first three decades, is the residency of several women who moved into the Frontenac after their successful husbands died: Mrs. E.M. Storey, Mrs. Maughan McCausland and Mrs. Anna Solomon. Other wealthy widows remained in residence: Ruth Ann Petersmeyer, for example, retained her apartment after her husband was moved to Santa Maria.

Incidentally, the status of women over much of the 20th Century is evident in the history of the Frontenac as well. It wasn't until the 1950s that the names of occupants' wives were included in the Henderson Directory. Only 11 women were listed as residents of the Frontenac in 1930, all of them single. About the same number of women are listed until 1950, at which time 22 single female names appear. By 1963, 32 women as the prime resident were listed, a number that remain somewhat constant until the late 1980s, when gender usually cannot be identified because initials, not names, predominate.

Margaret Hryniuk
December 14, 2015

September 6, 2016

To: Members,
Finance and Administration Committee

Re: City of Regina Property - Land Sale - North Argyle Park

RECOMMENDATION

1. That the sale of that portion of City of Regina land referenced as SW ¼ Section 12, Township 18, Range 20, W2M in Appendix A to Capital Crossing Developments Ltd. be approved under the terms and conditions outlined in the body of this report.
2. That the City of Regina enter into a cost sharing agreement with Capital Crossing Developments Ltd. for the portion of infrastructure required on Big Bear Drive and Argyle Street.
3. That the City Manager or designate be authorized to finalize the terms and conditions of the property transactions.
4. That the City Clerk be authorized to execute the final documents, in a form approved by the City Solicitor.
5. That the report be considered at the September 26, 2016 meeting of City Council for approval, which will allow for sufficient time for public notice.

CONCLUSION

Capital Crossing Developments Ltd. as owner of the NW ¼ Section 1, Township 18, Range 20, W2M, Extension 6 as referenced in Appendix A, is interested in enlarging their site for an impending commercial development. In addition, this will accommodate the connection between Big Bear Boulevard with Argyle Street. Due to future roadway requirements, a larger site is only possible by acquiring the City-owned land to the north. The Administration recommends entering into an Agreement for Sale for the subject land and entering into a cost sharing agreement for the infrastructure required to service the subject lands and future development of the adjacent City-owned lands. Negotiations with the developer have been held and the sale and cost sharing agreement is recommended for approval.

Subsection 101 (1) of *The Cities Act* stipulates that “No council shall delegate: (k) the sale or lease of land for less-than-fair-market-value and without a public offering.” Accordingly, since the subject property has never been made publicly available for sale, City Council’s approval is required.

BACKGROUND

The City is the owner of land located south of Highway 11, between Pasqua Street and Albert Street. The land is legally described as NW 1-18-20-2 with Portions of the SW ¼ Section 12, Township 18, Range 20, W2M containing approximately 246 acres as shown in Appendix A.

The subject land area is within city limits, and currently leased to a tenant under a seasonal Licence Agreement.

Capital Crossing Developments Ltd. is the owner of the land to the north and east of the Sobeys/Wal-Mart site. These lands have proceeded with development and currently have an executed servicing agreement with a completion date for construction by the end of 2016. The purchaser has indicated that they require the additional land to support a proposed planned use that they are currently negotiating.

DISCUSSION

The purchaser has indicated that they require additional land for the purpose and intent of their immediate development plans. In addition, the purchaser has indicated that they intend to construct the remainder of Argyle Street northward to the Big Bear Boulevard intersection. Furthermore, they will construct the remainder of Big Bear Boulevard westward to the Vanstone Street intersection. The remainder lands to the north of Big Bear Boulevard would remain the property of the City of Regina.

Discussions have therefore been undertaken to resolve the terms and conditions by which the subject property could be made available for the development.

There are some issues that must be addressed in this potential property transaction:

1. Big Bear Boulevard connection with Argyle Street

The North West Sector Road Network Study identified the need for a new east-west road to be constructed roughly halfway between Rochdale Boulevard and the future Junor Drive. The City, acting as a developer, has constructed a portion of Big Bear Boulevard between Pasqua Street and Vanstone Street. If the recommendations in this report are approved, the developer will be required to construct Big Bear Boulevard east-ward to Argyle Street as referenced within Appendix A.

2. Concept planning subdivision and servicing requirements will be addressed through the typical land development approval processes.

Negotiations proceeded with the intent of completing the land sale transaction to address the purchaser's land needs and for the completion of the aforementioned road network. It was determined that the best course of action was an outright sale of property. A land appraisal was obtained valuing the subject land at \$150,000 per acre.

The following terms and conditions are being presented for approval:

Property Description:

City of Regina Land – Portion of SW ¼ Section 12, Township 18, Range 20, W2M Extension 6, approximately 10.1 acres depicted in Appendix A. Final land area configurations will be based on the Plan of Proposed Subdivision (PPSD).

Closing Date:

The transfer of land from the City to Capital Crossing Developments Ltd. shall occur within 30 days upon receipt of Transactional Approval Certificate (TAC) issued by Information Services Corporation of Saskatchewan (ISC), or such other date as resolved between the solicitors representing the purchaser and vendor.

Other Terms:

The sale of the subject property to Capital Crossing Developments Ltd. is conditional upon the subdivision approvals. The phasing of the proposed roadway developments will be resolved later.

The proposed terms specific for this land sale are as follow:

Capital Crossing Developments Ltd. purchases approximately 10.1 acres of un-serviced raw land for \$215,168/acre for a total price of \$2,173,196.80.

The sale of the subject property to Capital Crossing Developments Ltd. is conditional upon the subdivision approvals.

Capital Crossing Developments Ltd. to dedicate Big Bear Boulevard and Argyle Street to Her Majesty the Queen in Right of Saskatchewan coded as right-of-way.

Capital Crossing Developments Ltd. to enter into a formal Servicing Agreement and pay all associated costs.

Capital Crossing Developments Ltd. shall be responsible for all costs associated with the construction of the infrastructure requirements as determined in the Servicing Agreement.

The City Real Estate Branch, as the adjacent developer, shall participate in the costs associated with the construction of the Big Bear Boulevard and Argyle Street by reimbursing Capital Crossing Developments Ltd; or nominee, one half of the purchase price for the dedicated land portion of the roadway area comprising approximately 2.471 acres for a total cost of \$265,840. The City will also be responsible for one half of the construction costs associated with the Big Bear Boulevard and Argyle Street infrastructure build-outs estimated at \$1,212,594. In addition, the City will pay one half the costs associated with the Servicing Agreement Fees currently estimated to be \$346,000/hectare or \$308,178.00.

Total City of Regina costs shall be \$1,786,612.00. To be funded from the approved Hawkstone Land Development project budget.

Capital Crossing Developments Ltd. shall be responsible for all direct and indirect costs of all subsequent administrative and regulatory processes associated with the development of these lands.

The subject property is being sold to Capital Crossing Developments Ltd. on "as is" basis only. The City is not aware of any environmental issues associated with this property and has not undertaken any environmental studies or assessments. Nor is there any knowledge of action being taken in regards to environmental issues.

The City does not represent that the property or zoning is acceptable or suitable for the use as proposed by Capital Crossing Developments Ltd. Further, the City's role as administrator or regulator of subdivision application, zoning regulations, development approvals and building permits is not to be related in any way with its role as seller of the property.

No sales commissions shall be payable on this sale.

The proposed sale and conditions is subject to the approval of City Council and to the form and wording of a formal agreement to be prepared by the City Solicitor.

RECOMMENDATION IMPLICATIONS

Financial Implications

If the sale as outlined in this report is approved it will provide \$2,173,196 of revenue for the sale of the land.

There is requirement for cost sharing of the road and infrastructure with the City's 50% share being \$1,786,612 which will be funded through the approved capital budget for the Hawkstone Land Development Project.

For clarity, without this sale and agreement the City would have been responsible for the entire capital cost of the infrastructure of \$3,773,224 funded through the Hawkstone Land Development Project.

Environmental Implications

There are no known environmental implications associated with this report.

Policy and/or Strategic Implications

The subject property is surplus lands that is not serviced and does not have an approved concept plan. The street and infrastructure would have been entirely the responsibility of the City as land owner and developer. This agreement would reduce the costs for the City of Regina infrastructure that would be required for future development of the City owned lands.

This sale agreement advances construction of alternate transportation routes for the Hawkstone community.

Other Implications

None associated with this report

Accessibility Implications

None associated with this report

COMMUNICATIONS

Capital Crossing Developments Ltd. will be kept informed on the approval process. Public notice will be provided on September 10, 2016.

DELEGATED AUTHORITY

The recommendations contained in this report require City Council approval.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Don Barr".

Don Barr, Director / City Assessor
Assessment Tax and Real Estate

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Louise Folk".

Louise Folk, Acting Executive Director
City Planning & Development

Report prepared by:
Chuck Maher, Manager Real Estate

Appendix A

1:8,500

